

CERTIFICATIONS/APPROVALS

MUNICIPALITY
 THIS PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF FRANKLIN, SOMERSET COUNTY

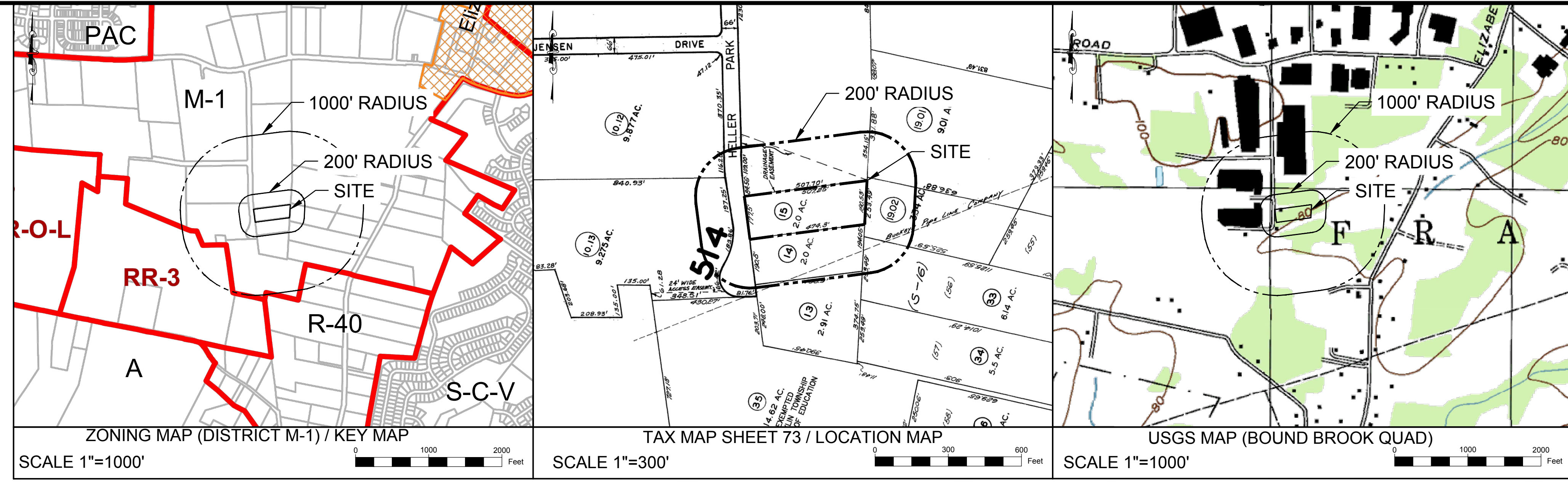
DATE _____ BOARD CHAIRMAN

DATE _____ BOARD SECRETARY

DATE _____ TOWNSHIP ENGINEER

I HEREBY CERTIFY THAT I AM THE PRESENT OWNER OF THE REFERENCED PROPERTY AND THAT I CONSENT TO THE FILING OF THIS MAJOR SITE PLAN WITH THE PLANNING BOARD OF THE TOWNSHIP OF FRANKLIN

DATE _____ DOMINIC DESANTIS



- GENERAL NOTES:**
1. APPLICANT: MILON BUILDERS, LLC
 PO BOX 6030
 SOMERSET, NJ 08875

OWNER:
 DOMINIC DESANTIS
 PO BOX 6030
 SOMERSET, NJ 08875
 PHONE: 732-764-1800

2. BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR 16 HELLER PARK LANE, BLOCK 514, LOT 15, FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY", BY ENGINEERING AND LAND PLANNING ASSOCIATES, INC., DATED 09/19/19.
3. THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
4. ALL ELEVATIONS GIVEN ARE ON NAVD 1988 DATUM.
5. THE SUBJECT PARCEL, BLOCK 514 LOT 15, CONSISTS OF 87,120 S.F. (2.00 ACRES).
6. NO DEED RESTRICTIONS OR COVENANTS ARE PROPOSED FOR THE SITE.

- NOTES:**
1. SEE ENGINEERING DETAIL SHEETS FOR ALL SITE DETAILS AND SUPPORTING NOTES.
 2. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."
 3. THE LOCATION, TYPE, LINE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES, ARE APPROXIMATE. LOCATION OF SERVICE LATERALS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION.

FRANKLIN TOWNSHIP ZONING REQUIREMENTS			
ITEM	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	M-1 (LIGHT MANUFACTURING)		
MIN. LOT AREA (AC)	5 AC	2 AC. (ENC)	2 AC. (ENC)
MIN. FRONTAGE (FT)	300 FT	177.50 (ENC)	177.50 (ENC)
MINIMUM SETBACKS - PRINCIPAL BUILDING			
FRONT YARD (FT)	50 FT	N/A	50.5 FT
SIDE YARD - ONE (FT)	40 FT	N/A	40.5 FT
SIDE YARD - BOTH (FT)	100 FT	N/A	102 FT
REAR YARD (FT)	100 FT	N/A	>100 FT
MINIMUM SETBACKS - ACCESSORY BUILDING			
SIDE YARD (FT)	40 FT	N/A	N/A
REAR YARD (FT)	50 FT	N/A	N/A
MAX. BUILDING HEIGHT (FT)	50 FT	N/A	29.5' (1)
MAX. LOT COVERAGE	50%	N/A	9.00%
MAX. IMPERVIOUS COVERAGE	60%	1.75%	36.00%
MAX. FLOOR AREA RATIO	0.5	N/A	0.11

(V) INDICATES THAT A VARIANCE IS REQUIRED
 (ENC) INDICATES AN EXISTING NON-CONFORMING CONDITION

(1) BUILDING HEIGHT IS 29'-6", AS MEASURED FROM GRADE (6" BELOW FINISHED FIRST FLOOR ELEVATION) TO TOP OF ROOF PARAPET

PRELIMINARY AND FINAL MAJOR SITE PLAN

16 HELLER PARK LANE

BLOCK 514 LOT 15
 FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

PREPARED BY
ENGINEERING & LAND PLANNING ASSOCIATES, INC.
 140 WEST MAIN STREET, HIGH BRIDGE, NEW JERSEY 08829

PLAN INDEX	
SHEET No.	TITLE
1.	COVER SHEET
2.	LEGEND AND NOTES
3.	DEMOLITION PLAN
4.	SITE PLAN
5.	GRADING & DRAINAGE PLAN
6.	UTILITY PLAN
7.	SOIL EROSION & SEDIMENT CONTROL PLAN
8.	LIGHTING & LANDSCAPING PLAN
9.	DRIVEWAY CENTERLINE PLAN AND PROFILE
10.	SIGHT DISTANCE PLAN AND PROFILES
11.	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS
12-17.	CONSTRUCTION DETAILS

- OUTSIDE AGENCY APPROVALS:**
1. SOMERSET COUNTY PLANNING BOARD
 2. SOMERSET COUNTY SOIL CONSERVATION DISTRICT
 3. NJDEP TRANSITION AREA AVERAGING PLAN WAIVER
 4. DELAWARE & RARITAN CANAL COMMISSION
 5. FRANKLIN TOWNSHIP SEWERAGE AUTHORITY

ADDITIONAL PARTIES TO BE NOTIFIED	
AGENCY	ADDRESS
BUCKEYE PIPE LINE COMPANY - ROW DEPT	PO BOX 368, EMMAUS, PA 18049
COMCAST CABLE - ATTN: BUSINESS MANAGER	279 AMWELL ROAD, HILLSBOROUGH, NJ 08844
SUNOCO PIPELINE LP - ATTN: ROW DEPT	MONTELLO COMPLEX, 525 FRITZTOWN RD, SINKING SPRING, PA 19608

200 FT CERTIFIED OWNERS' LIST			
BLOCK	LOT	PROPERTY OWNER	ADDRESS
514	10, 11	THREE ZERO TWO M FRANKLIN TOWNSHIP	205 MILL ROAD, EDISON, NJ 08837
514	10.12, 10.13	HELLER VII PARTNERSHIP LP	205 MILL ROAD, EDISON, NJ 08837
514	13, 14	HELLER, HELAINE & ET AL	205 MILL ROAD, EDISON, NJ 08837
514	19.03	928 HOLDINGS, LLC	500 METUCHEN ROAD, SOUTH PLAINFIELD, NJ 07080
514	33	BENITEZ, LAZARO	488 ELIZABETH AVE, SOMERSET, NJ 08873

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
 PH. 908-238-0544 FAX. 908-238-9572
 A PROFESSIONAL ASSOCIATION
 CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE

03/23/2020 DATE WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN
 16 HELLER PARK LANE
 BLOCK 514 LOT 15
 FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

TITLE: COVER SHEET

JOB NO.:	0119334	<div style="font-size: 2em; font-weight: bold;">1</div> <div style="font-size: 3em; font-weight: bold;">17</div>
SCALE:	N.T.S.	
DESIGNED:	JZ	
CHECKED:	WJI	
FILENAME:	01_COVER.DWG	
DATE:	03/23/2020	

STANDARD LEGEND

EXISTING		PROPOSED	
	RIGHT-OF-WAY / PROPERTY		
	SETBACK LINE		
	CURB		
	DEPRESSED CURB		
	UNDERGROUND ELEC.		
	UNDERGROUND GAS		
	UNDERGROUND WATER		
	UNDERGROUND TELEPHONE		
	OVERHEAD WIRES		
	WOOD FENCE		
	CHAIN LINK FENCE		
	UNDERGROUND PIPE		
	TREE LINE		
	CONTOUR		
	BOLLARD		
	P.S.E & G. MANHOLE		
	SEWER MANHOLE		
	WATER MANHOLE		
	MANHOLE		
	BELL MANHOLE		
	WATER METER		
	ELEC. METER		
	WATER VALVE		
	GAS VALVE		
	VALVE		
	SAN. SEWER VENT		
	CLEAN-OUT		
	FIRE HYD.		
	"A" SEWER INLET		
	"B" SEWER INLET		
	D.O.T. BOX		
	TRAFF. LIGHT STANDARD		
	TRAFF. SIGN		
	UTILITY POLE		
	OVERHEAD LIGHT		
	ROOF DRAIN		
	HEADWALL		
	HEADWALL AND APRON		
	DITCH		

STANDARD ABBREVIATIONS

AH., BK.	AHEAD, BACK	J.B.	JUNCTION BOX	RCP, R.C.P.	REINFORCED CONCRETE PIPE
\, B.L.	BASELINE	LT., RT.	LEFT, RIGHT	RMC, R.M.C.	RIGID NON-METALLIC CONDUIT
B.M.	BENCH MARK	L.O.P.	LIMIT OF PAVEMENT (PAVING)	RNMC, R.N.M.C.	RIGHT OF WAY
B.T.	BELL TELEPHONE	L.O.M.	LIMIT OF MILLING	ROW, R.O.W.	RAILROAD
BIT., BITUM.	BITUMINOUS	M.B.	MAILBOX	R.R.	ROUTE
BLDG.	BUILDING	M.P.	MILE POST	RTE., RT.	SANITARY
. C.L.	CENTERLINE	MAX.	MAXIMUM	SAN.	SIDEWALK
C.I.P.	CAST IRON PIPE	MIN.	MINIMUM	S.H.D.	STATE HIGHWAY DEPARTMENT
D.I.P.	DUCTILE IRON PIPE	NO.	NUMBER	SHLD.	SHOULDER
CONC.	CONCRETE	N.T.S.	NOT TO SCALE	. S.L.	SURVEY LINE
CULV.	CULVERT	PAVT.	PAVEMENT	S.O.D.	SUBBASE OUTLET DRAIN
D. DIA.	DIAMETER	PERF.	PERFORATED	STY.	STORY
D.C.	DROP CURB	P.G.L.	PROFILE GRADE LINE	T	TANGENT
DE	DITCH EXCAVATION	\, P.L.	PROPERTY LINE, PROFILE LINE	TBA	TO BE ABANDONED
DEP., DP	DEPRESSED CURB	PK	PARKER KAYLON MASONRY NAIL	TBR	TO BE REMOVED
DH	DRILL HOLE	POC, P.O.C.	POINT ON CURVE	TEL.	TELEPHONE
DWY	DRIVEWAY	POL, P.O.L.	POINT ON LINE	TEMP.	TEMPORARY
E.B., W.B.,	EASTBOUND, WESTBOUND	POT, P.O.T.	POINT ON TANGENT	THK., TH.	THICK
N.B., S.B.	NORTHBOUND, SOUTHBOUND	PRC, P.R.C.	POINT OF REVERSE CURVE	TYP.	TYPICAL
EL., ELEV.	ELEVATION	PROP.	PROPOSED	U.D.	UNDERDRAIN
EXIST.	EXISTING	PT, P.T.	POINT OF TANGENCY	UP, U.P.	UTILITY POLE
GR.	GRATE	PVC, P.V.C.	POLYVINYL CHLORIDE PIPE,	VAR.	VARIABLE, VARIES
HT.	HEIGHT	PVI, P.V.I.	POINT OF VERTICAL INTERSECTION	WM	WATER METER
H.W.	HEADWALL	PVT, P.V.T.	POINT OF VERTICAL TANGENCY, PAVEMENT		
HYD.	HYDRANT	R	RADIUS		
INV.	INVERT	RCCP, R.C.C.P.	REINFORCED CONCRETE CULVERT PIPE		
IP	IRON PIN				

GENERAL NOTES:

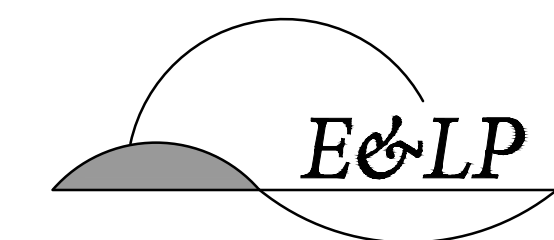
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- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
- ALL CROSSWALKS, SIDEWALKS, AND CURB RAMPS WITHIN THE PROJECT LIMITS SHALL CONFORM TO ADA RULES AND REGULATIONS.
- THE CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITIES WITHIN THE LIMIT OF WORK AND/OR THE RIGHT-OF-WAY. ALL DISTURBED AREAS ARE TO BE RESTORED TO EXISTING CONDITIONS OR AS INDICATED IN THE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT LIMITS AND RIGHT-OF-WAY. THESE FEATURES INCLUDE BUT ARE NOT LIMITED TO TREES, SHRUBS, LANDSCAPING, DRIVEWAYS, MAILBOXES, SIGNAGE, CURBING, SIDEWALKS, UTILITIES, JUNCTION BOXES, POLES, LIGHTING, HYDRANTS, VALVE BOXES, AND STRIPPING.
- THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY LOCAL, COUNTY OR STATE JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLICATION, PAYMENT AND APPROVAL OF SAID PERMITS. NO ADDITIONAL PAYMENT SHALL BE MADE BY THE OWNER.
- THE CONTRACTOR SHALL NOTIFY THE TOWN AND MUNICIPAL ENGINEER'S OFFICE 72 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, INCLUDING THE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
- HOURS OF WORK SHALL BE BETWEEN 7:00AM AND 5:00PM EASTERN STANDARD TIME, UNLESS OTHERWISE PERMITTED BY THE TOWNSHIP.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PROJECT SITE, CONTRACTOR PROPERTY, EQUIPMENT, AND WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STREETS OF CONSTRUCTION DIRT AND DEBRIS AT CLOSE OF EACH WORK DAY.
- THE CONDITION OF THE ADJACENT ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF THE JOB SHALL BE AS GOOD AS OR BETTER THAN PRIOR TO STARTING WORK.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR, ALONG WITH CONCURRENCE FROM THE OWNER, SHALL DETERMINE HIS/HER LAY-DOWN AND/OR STAGING AREA LOCATIONS.
- THE CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS A MINIMUM OF 24 HOURS PRIOR TO BLOCKING DRIVEWAYS OR ENTERING UTILITY EASEMENTS.
- TRAFFIC INGRESS AND EGRESS FOR DRIVEWAYS AND PEDESTRIAN ACCESS FACILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPLACED WITH LIKE-KIND OR BETTER AT THE CONTRACTOR'S EXPENSE. TREES, BUSHES, SHRUBBERY AND OTHER DAMAGED PLANTINGS TO REMAIN SHALL BE REPLACED WITHIN 72 HOURS OF REMOVAL AND ARE TO BE THOROUGHLY WATERED-IN.
- PAVED SURFACES, PAVEMENT MARKERS AND MARKINGS SHALL BE PROTECTED FROM DAMAGE BY TRACKED EQUIPMENT.
- PROPERTY MARKERS DISTURBED DURING CONSTRUCTION ARE TO BE REPLACED BY A REGISTERED PUBLIC LAND SURVEYOR FOR THE ORIGINAL PROPERTY OWNER AT NO SEPARATE PAY.
- CONSTRUCTION STAKING WILL BE PROVIDED BY THE CONTRACTOR. TWO COPIES OF STAKING NOTES TO BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN UPDATED RED-LINED RECORD DRAWINGS ON SITE FOR INSPECTION BY THE ENGINEER.
- MAINTENANCE AND CLEAN-UP OF THE PROJECT IS REQUIRED FOR THE PROJECT LIMITS AND DURATION, REGARDLESS OF THE CONTRACTOR'S SCOPE OF ACTIVITIES WITHIN THE PROJECT LIMITS.
- THE REMOVAL OF ANY ABANDONED UTILITIES REQUIRED TO COMPLETE THE WORK SHALL BE INCIDENTAL AND NO SEPARATE PAYMENT SHALL BE MADE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOCKPILE NECESSARY MATERIAL ON-SITE OR AT A SECURED OFF-SITE LOCATION AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE "ON THE JOB" SAFETY FOR HIS EMPLOYEES, EMPLOYEES OF THE OWNER AND ALL OTHER PERSONS HAVING AUTHORIZED OR UNAUTHORIZED ACCESS TO THE WORK AND THE PUBLIC. CONTRACTOR SHALL PERFORM HIS WORK IN A SAFE MANNER AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- THE LOCATION, TYPE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION SITE 3 DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. FOR UTILITY MARKOUT, CALL 8-1-1 OR 1-800-272-1000. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ALL DEVIATIONS OF SITE CONDITIONS AND/OR IF DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO SUCH DEVIATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS. EXERCISING PRECAUTION TO VERIFY ALL DIMENSIONS SHOWN ON DRAWING.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER SHOULD DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO CIRCUMSTANCES WHICH ARISE DURING CONSTRUCTION.
- ITEMS NOT SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR THE SAME AS IF SPECIFIED.

SITE/CIVIL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF THE PROJECT SITE AND ALL UPGRADIENT AREAS TO THE SITE.
- CATCHBASIN GRATE AND HEADERS SHALL BE RESET AS REQUIRED TO MATCH FINISH GRADE ELEVATIONS, UNLESS OTHERWISE NOTED OR DIRECTED BY THE THE ENGINEER. PLACEMENT GRATES AND HEADERS SHALL BE ALIGNED WITH ADJACENT CURBING AND PAVEMENT.
- MILLINGS, STONE, SOIL, CONSTRUCTION DEBRIS, AND ALL OTHER RELATED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR OFF-SITE DISPOSAL.
- INADEQUATE INSPECTION OF WORKMANSHIP SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND REGULATIONS AND TO OBTAIN WRITTEN APPROVAL OF MUNICIPAL OFFICIALS, AND ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. OR AS REQUIRED BY THE A/E.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING 1-800-272-1000.
- TOPSOIL SHALL NOT BE REMOVED FROM THE SITE OR USED AS SPOIL, UNLESS DIRECTED BY THE ENGINEER AND IN CONFORMANCE TO AN APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF [P.L. 652, NO. 287 DECEMBER 10 1974 AS AMENDED ON DECEMBER 12, 1986].
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- NO EXCAVATION OR FILL SHALL BE MADE WITH A FACE STEEPER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1) UNLESS A RETAINING WALL, CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS IS PROVIDED TO SUPPORT THE FACE OF SLOPE OF SAID EXCAVATION OR FILL.
- BURYING OF TREES, STUMPS, OR CONSTRUCTION MATERIAL IS PROHIBITED. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND SPREAD ON THE SITE.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO ANY OTHER DISTURBANCE ON THE SITE.
- EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM UTILITY COMPANY AS-BUILTS AND/OR FIELD SURVEY AT THE SITE. COMPLETENESS AND/OR ACCURACY CANNOT BE GUARANTEED. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL CONFIRM LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.

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A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE


DATE: 03/23/2020
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

PROJECT:
**PRELIMINARY AND FINAL
MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP**

SOMERSET COUNTY NEW JERSEY

LEGEND AND NOTES	
JOB NO.:	0119334
SCALE:	AS SHOWN
DESIGNED:	JZ
CHECKED:	WJI
FILENAME:	02_LEGEND & NOTES.DWG
DATE:	03/23/2020

2
17

- LEGEND**
- PROPERTY LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING CURB
 -  EXISTING TREE TO BE REMOVED

- DEMOLITION NOTES:**
- ALL EXISTING VEGETATION TO BE REMOVED AS NECESSARY TO FACILITATE SITE IMPROVEMENTS.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

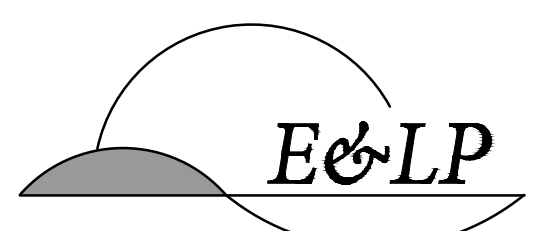
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PO BOX 6030
SOMERSET, NJ 08875

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DOMINIC DESANTIS
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PHONE: 732-794-1800

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REFERENCES:

- THIS PLAN REFERENCES A SURVEY ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR 16 HELLER PARK LANE, BLOCK 514, LOT 15, FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY", BY ENGINEERING AND LAND PLANNING ASSOCIATES, INC., DATED 09/19/19. COPYRIGHT 2020 ENGINEERING & LAND PLANNING ASSOC., INC. ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC. THIS DRAWING IS THE SOLE PROPERTY OF ENGINEERING & LAND PLANNING ASSOC., INC. AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC.



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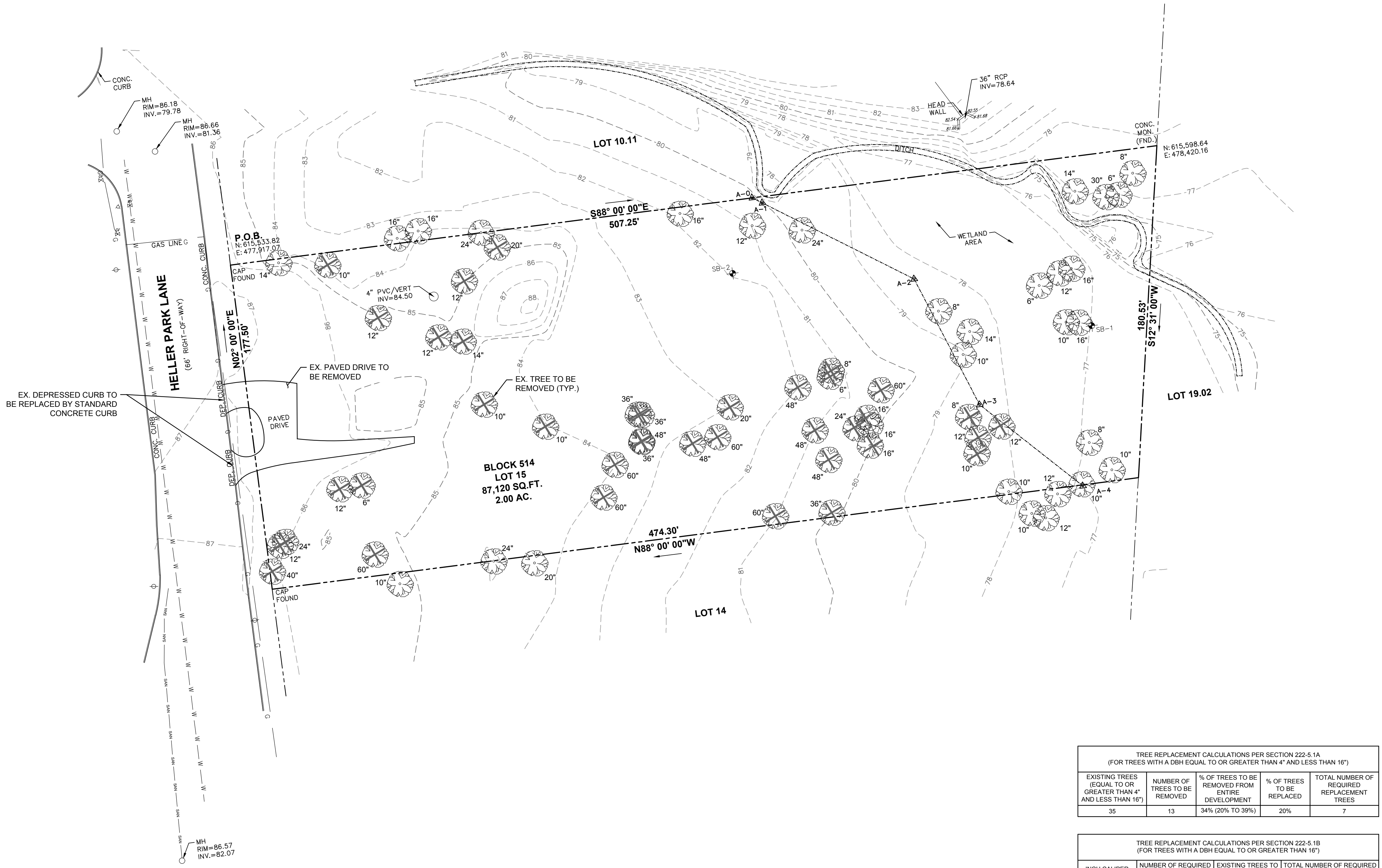
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PRELIMINARY AND FINAL
MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

TITLE:
DEMOLITION PLAN

JOB NO.: 0119334
SCALE: 1"=30'
DESIGNED: JZ
CHECKED: WJI
FILENAME: 03_DEMO.DWG
DATE: 03/23/2020

DRAWING NO.:
3
17



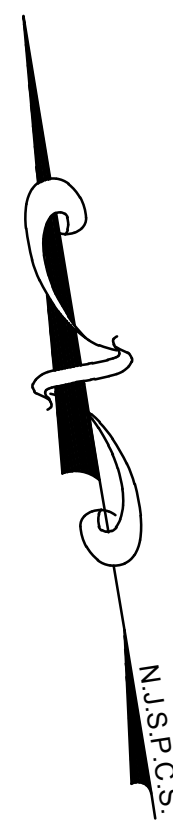
TREE REPLACEMENT CALCULATIONS PER SECTION 222-5.1A
(FOR TREES WITH A DBH EQUAL TO OR GREATER THAN 4" AND LESS THAN 16")

EXISTING TREES (EQUAL TO OR GREATER THAN 4" AND LESS THAN 16")	NUMBER OF TREES TO BE REMOVED	% OF TREES TO BE REMOVED FROM ENTIRE DEVELOPMENT	% OF TREES TO BE REPLACED	TOTAL NUMBER OF REQUIRED REPLACEMENT TREES
35	13	34% (20% TO 39%)	20%	7

TREE REPLACEMENT CALCULATIONS PER SECTION 222-5.1B
(FOR TREES WITH A DBH EQUAL TO OR GREATER THAN 16")

INCH CALIPER	NUMBER OF REQUIRED REPLACEMENT TREES	EXISTING TREES TO BE REMOVED	TOTAL NUMBER OF REQUIRED REPLACEMENT TREES
LESS THAN 21"	4	2	8
LESS THAN 27"	6	1	6
LESS THAN 37"	11	4	44
LESS THAN 41"	14	1	14
41" OR GREATER	15	10	150
TOTAL	50	18	222

NOTE: MINIMUM SIZE OF REPLACEMENT TREES IS 2.5" CALIPER



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB

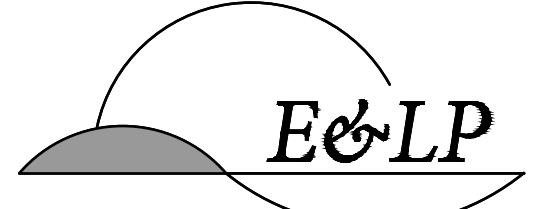
GENERAL NOTES:

1. APPLICANT: MILON BUILDERS, LLC
PO BOX 6030
SOMERSET, NJ 08875
- OWNER: DOMINIC DESANTIS
PO BOX 6030
SOMERSET, NJ 08875
PHONE: 732-754-1800

2. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

REFERENCES:

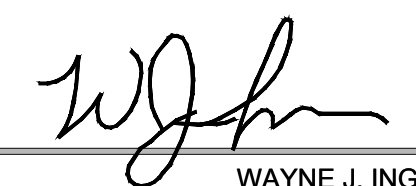
1. THIS PLAN REFERENCES A SURVEY ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR 16 HELLER PARK LANE, BLOCK 514, LOT 15, FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY", BY ENGINEERING AND LAND PLANNING ASSOCIATES, INC., DATED 09/19/19. COPYRIGHT 2020 ENGINEERING & LAND PLANNING ASSOC., INC. ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC. THIS DRAWING IS THE SOLE PROPERTY OF ENGINEERING & LAND PLANNING ASSOC., INC. AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC.



E&LP

140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
 PH. 908-238-0544 FAX. 908-238-9572
 A PROFESSIONAL ASSOCIATION
 CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE

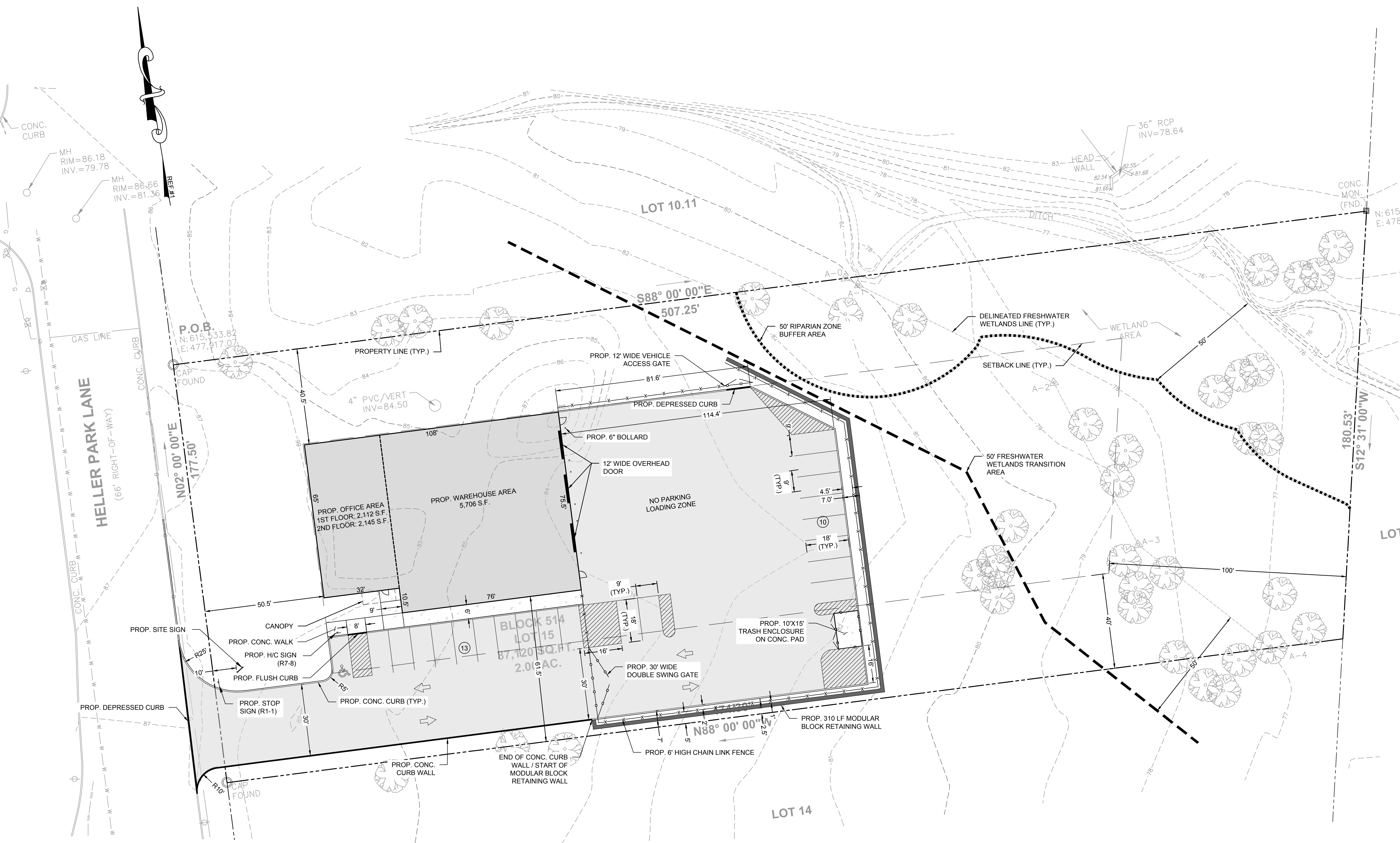
03/23/2020 DATE 
 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN
 16 HELLER PARK LANE
 BLOCK 514 LOT 15
 FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

TITLE: **SITE PLAN**

JOB NO.:	0119334	DRAWING NO.:	4 17
SCALE:	1"=20'		
DESIGNED:	JZ		
CHECKED:	WJI		
FILENAME:	04-SITE.DWG		
DATE:	03/23/2020		



SITE TRAFFIC GENERATION (PER NJDOT HAPS TRIP GENERATION RATE SCHEDULE)

LAND USE CODE AND DESCRIPTION	UNITS OF MEASURE	AM PEAK HOUR	PM PEAK HOUR	WEEKDAY DAILY TRIPS	WEEKEND PEAK HOUR	WEEKEND DAILY TRIPS
151 MINI WAREHOUSE	SF OF FLOOR AREA	1.15	1.15	8.62	1.77	11.27
Y52 GENERAL OFFICE BUILDING	SF OF FLOOR AREA	6.25	6.05	49.66	2.26	9.41
TOTAL TRIPS		7.40	7.20	58.28	4.03	20.68

THESE RATES SHOULD BE USED IN DETERMINING WHAT TYPE OF NJDOT ACCESS PERMIT IS NEEDED AND ANY TRAFFIC ANALYSIS. THESE ARE THE RATES AND EQUATIONS THAT WERE BEING USED BY THE HAPS PROGRAM AS OF FEBRUARY 08, 2019 AND THEY WILL BE UPDATED AS NEW INFORMATION IS AVAILABLE.

LAND USE CODE	LAND USE DESCRIPTION	UNITS OF MEASURE (X)	AM PEAK HOUR *	PM PEAK HOUR *	WEEKDAY DAILY TRIPS *	WEEKEND PEAK HOUR *	WEEKEND DAILY TRIPS *
151	MINI WAREHOUSE	SQ. FEET	X/1000*0.20	X/1000*0.20	X/1000*1.51	X/1000*0.31	(X/1000)*1.95
Y52	GENERAL OFFICE BUILDING	SQ. FEET	(X/1000)*1.47	(X/1000)*1.42	EXP(0.97*LN(X/1000)+2.50)	0.53*(X/1000)	2.21*(X/1000)

* THE UNITS OF MEASURE IS THE QUANTITY THAT SHOULD BE SUBSTITUTED FOR THE "X" IN THE EQUATIONS. IT SHOULD BE NOTED THAT THE ACTUAL SF SHOULD BE ENTERED INTO THESE EQUATIONS UNLIKE THE EQUATIONS IN THE ITE BOOKS WHICH ARE BASED UPON 1,000 SF.

FREESTANDING SIGNAGE SCHEDULE PER FRANKLIN TOWNSHIP SCHEDULE 5 (GENERAL AND PROFESSIONAL OFFICES, MANUFACTURING, WAREHOUSES AND LABORATORIES)

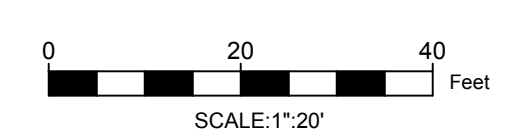
ITEM	PERMITTED	PROPOSED
MAX. NUMBER OF FREESTANDING SIGN	1	1
MAX. SIGN AREA (SF)	100	6
MAX. SIGN HEIGHT (FT)	10	3
MIN. LOT LINE SETBACK (FT)	10	10

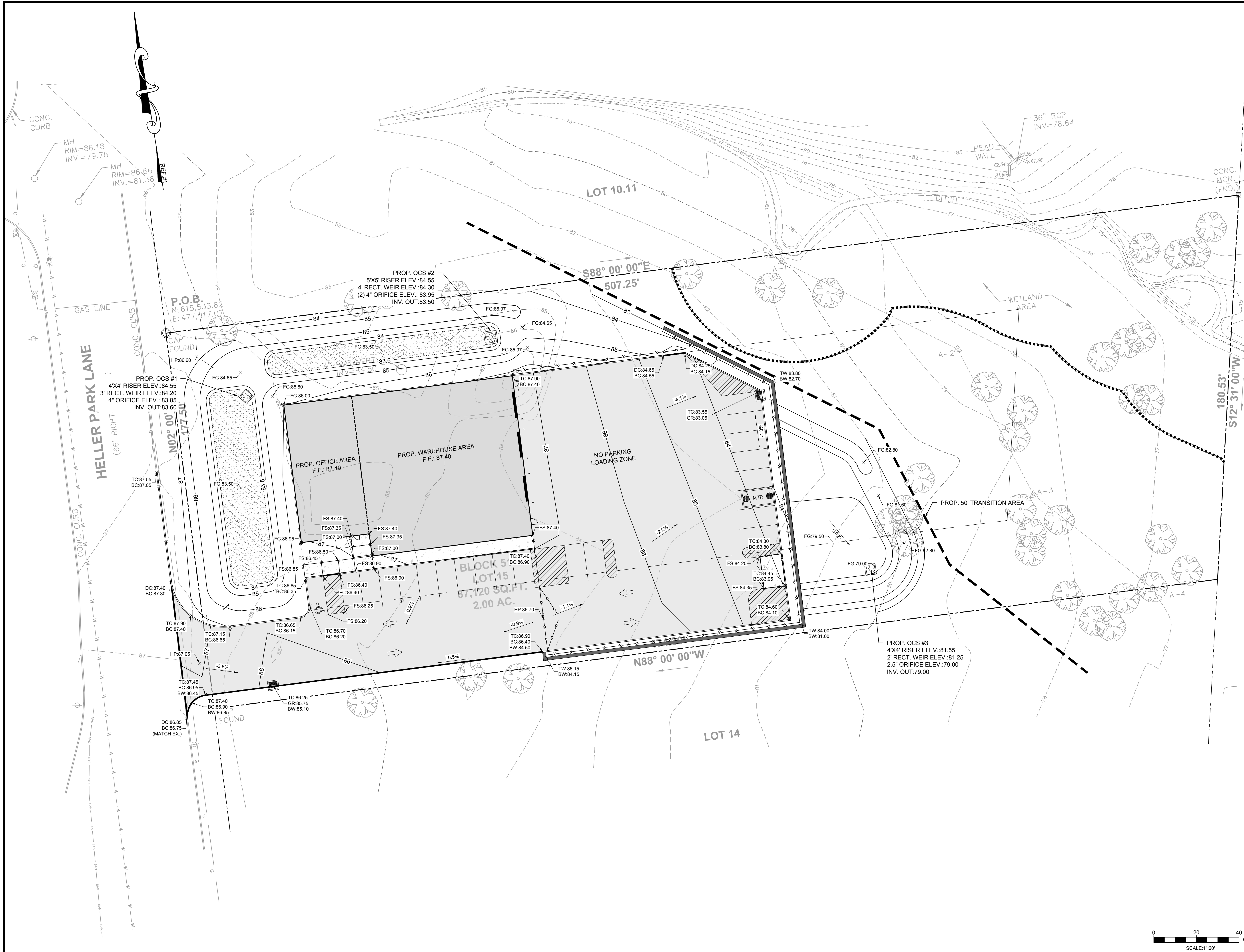
IMPERVIOUS COVERAGE CALCULATIONS

EX. ITEM	EXISTING COVERAGE (S.F.)	PERCENTAGE (%)	PROP. ITEM	PROPOSED COVERAGE (S.F.)	PERCENTAGE (%)
STRUCTURES	0	0.00	STRUCTURES	7,818	8.97
PAVEMENT DRIVEWAY / CONC. CURB	1,525	1.75	PAVEMENT DRIVEWAY / CONC. CURB	21,616	24.81
CONCRETE WALKWAYS / CONCRETE PAD	0	0.00	CONCRETE WALKWAYS / CONCRETE PAD	892	1.02
RETAINING WALL	0	0.00	RETAINING WALL	445	0.51
TOTAL	1,525	1.75	TOTAL	30,771	35.32

PARKING SCHEDULE CALCULATIONS (PER FRANKLIN TOWNSHIP ORDINANCE)

LAND USE	REQUIRED	UNITS	REQUIRED SPACES
GENERAL OFFICE OR PROFESSIONAL OFFICE BUILDING	1 SPACE FOR EACH 250 SF OF NET USABLE FLOOR AREA	4,257 SF	17 SPACES
WAREHOUSE	1 SPACE FOR EACH 1,000 SF OF GROSS FLOOR AREA FOR THE FIRST 5,000 SF THEN 1 SPACE FOR EACH 2,500 SF THEREAFTER	5,706 SF	6 SPACES
		TOTAL NUMBER OF PARKING SPACES REQUIRED	23 SPACES
		TOTAL NUMBER OF PARKING SPACES PROVIDED	23 SPACES
		TOTAL NUMBER OF ACCESSIBLE SPACES REQUIRED	1 SPACES
		TOTAL NUMBER OF ACCESSIBLE SPACES PROVIDED	1 SPACES





LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	EXISTING GRADE
---	PROPOSED GRADE
X FS:85.00	FINISHED SURFACE ELEVATION (PAVEMENT)
X FG:85.00	FINISHED GRADE ELEVATION (LAWN)
X FC:85.00	FLUSH CURB ELEVATION
X TC:85.00	TOP OF CURB ELEVATION
X BC:85.00	BOTTOM OF CURB ELEVATION
X DC:85.00	DEPRESSED CURB ELEVATION

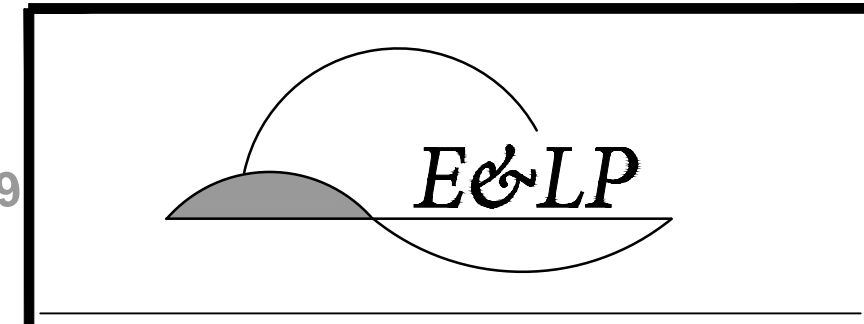
GENERAL NOTES:

1. APPLICANT: MILON BUILDERS, LLC
PO BOX 6030
SOMERSET, NJ 08875
2. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

OWNER:
DOMINIC DESANTIS
PO BOX 6030
SOMERSET, NJ 08875
PHONE: 732-764-1800

REFERENCES:

1. THIS PLAN REFERENCES A SURVEY ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR 16 HELLER PARK LANE, BLOCK 514, LOT 15, FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY," BY ENGINEERING AND LAND PLANNING ASSOCIATES, INC., DATED 09/19/19. COPYRIGHT 2020 ENGINEERING & LAND PLANNING ASSOC., INC. ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC. THIS DRAWING IS THE SOLE PROPERTY OF ENGINEERING & LAND PLANNING ASSOC., INC. AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC.



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CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

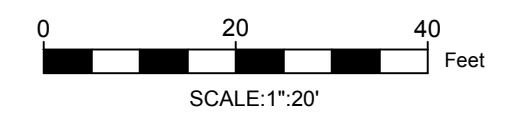
NO.	REVISION	BY	DATE

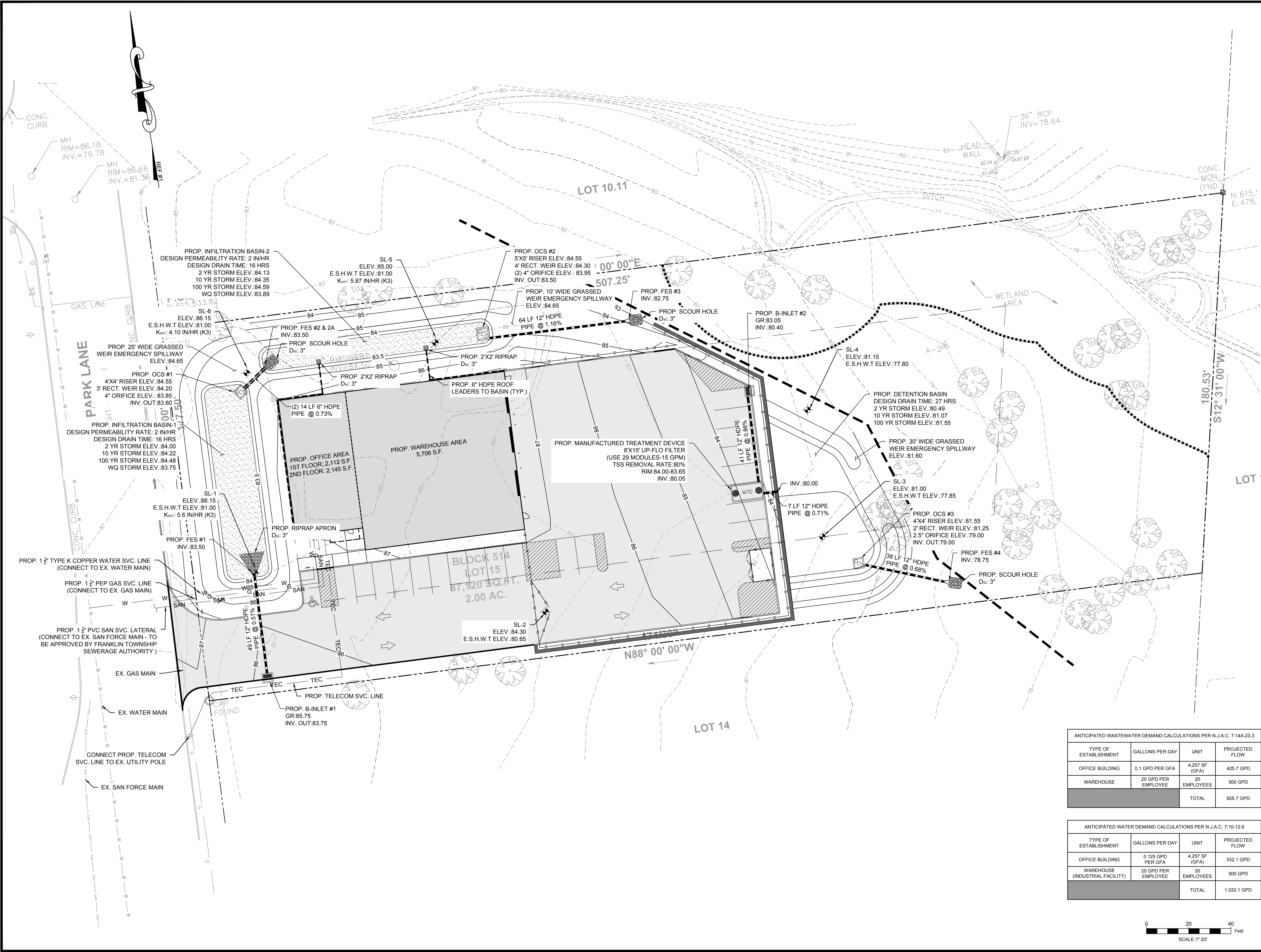
03/23/2020
DATE
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

PROJECT:
PRELIMINARY AND FINAL
MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP
SOMERSET COUNTY NEW JERSEY

TITLE:
GRADING AND DRAINAGE PLAN

JOB NO.:	0119334	DRAWING NO.:	5 17
SCALE:	1"=20'		
DESIGNED:	JZ		
CHECKED:	WJI		
FILENAME:	05_GRADING.DWG		
DATE:	03/23/2020		





LEGEND

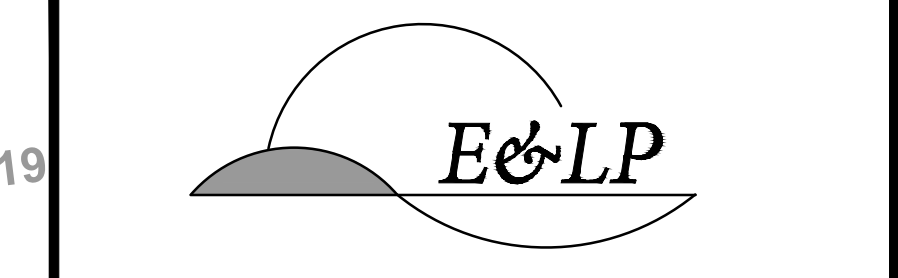
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---	SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	EXISTING GRADE
---	PROPOSED GRADE
---	PROPOSED GAS LINE
---	PROPOSED ELECTRIC/TELECOM
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATER LINE

- UTILITIES NOTES:**
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - ALL EXISTING PUBLIC UTILITIES SHALL HAVE MAIN LOCATIONS VERIFIED BY THE RESPECTIVE UTILITY COMPANY RESPONSIBLE PRIOR TO ANY CONSTRUCTION.

- GENERAL NOTES:**
- APPLICANT: MILON BUILDERS, LLC
PO BOX 6030
SOMERSET, NJ 08875
PHONE: 732-754-1800
 - OWNER: DOMING DESANTIS
PO BOX 6030
SOMERSET, NJ 08875
PHONE: 732-754-1800

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A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE

DATE: 03/23/2020
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

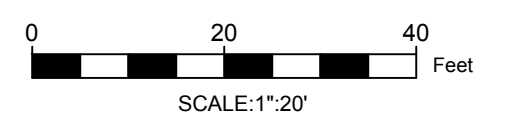
UTILITY PLAN

ANTICIPATED WASTEWATER DEMAND CALCULATIONS PER N.J.A.C. 7-14A-23.3

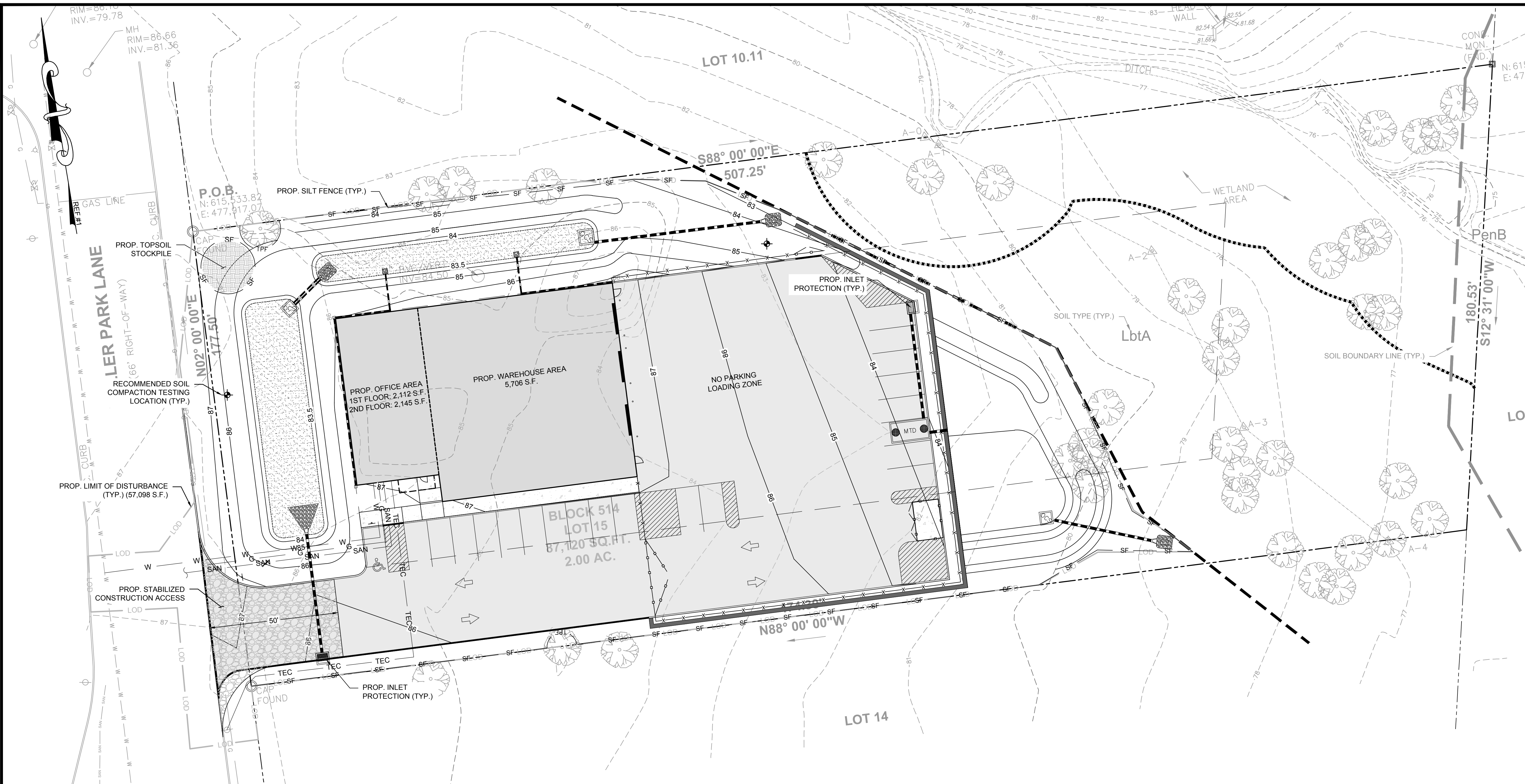
TYPE OF ESTABLISHMENT	GALLONS PER DAY	UNIT	PROJECTED FLOW
OFFICE BUILDING	0.1 GPD PER GFA	4,257 SF (GFA)	425.7 GPD
WAREHOUSE	25 GPD PER EMPLOYEE	20 EMPLOYEES	500 GPD
TOTAL			925.7 GPD

ANTICIPATED WATER DEMAND CALCULATIONS PER N.J.A.C. 7-10-12.6

TYPE OF ESTABLISHMENT	GALLONS PER DAY	UNIT	PROJECTED FLOW
OFFICE BUILDING	0.125 GPD PER GFA	4,257 SF (GFA)	532.1 GPD
WAREHOUSE (INDUSTRIAL FACILITY)	25 GPD PER EMPLOYEE	20 EMPLOYEES	500 GPD
TOTAL			1,032.1 GPD



JOB NO.:	0119334	DRAWING NO.:	6 17
SCALE:	1"=20'		
DESIGNED:	JZ		
CHECKED:	WJI		
FILENAME:	06 UTILITIES.DWG		
DATE:	03/23/2020		



LEGEND

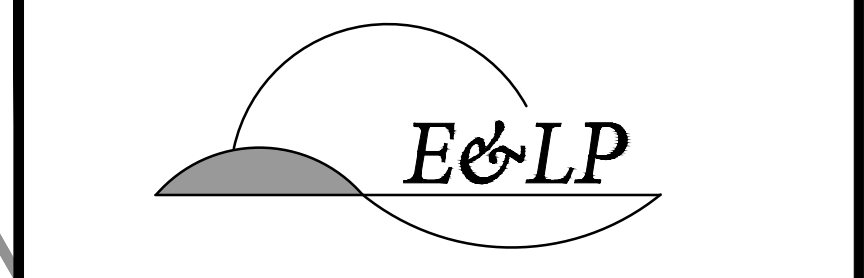
---	PROPERTY LINE
---	SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	EXISTING GRADE
---	PROPOSED GRADE
---	PROPOSED GAS LINE
---	PROPOSED ELECTRIC/TELECOM
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED CONSTRUCTION ENTRANCE
---	PROPOSED TOPSOIL STOCKPILE

GENERAL NOTES:

1. APPLICANT: MILON BUILDERS, LLC
PO BOX 6030
SOMERSET, NJ 08875
2. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

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A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE

DATE: 03/23/2020
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

PROJECT:
PRELIMINARY AND FINAL
MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

TITLE:
SOIL EROSION &
SEDIMENT CONTROL
PLAN

JOB NO.:	0119334	DRAWING NO.:	7 17
SCALE:	1"=20'		
DESIGNED:	JZ		
CHECKED:	WJI		
FILENAME:	07_EROSION.DWG		
DATE:	03/23/2020		

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

GENERAL CONSTRUCTION NOTES

1. SEE SHEET 1 FOR GENERAL NOTES.
2. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE "ON THE JOB" SAFETY FOR HIS EMPLOYEES, EMPLOYEES OF THE OWNER AND ALL OTHER PERSONS HAVING AUTHORIZED OR UNAUTHORIZED ACCESS TO THE WORK AND THE PUBLIC. CONTRACTOR SHALL PERFORM HIS WORK IN A SAFE MANNER AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
3. THE LOCATION, TYPE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION SITE 3 DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. FOR UTILITY MARKOUT, CALL 1-800-272-1000. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ALL DEVIATIONS OF SITE CONDITIONS AND/OR IF DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE SUCH DEVIATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS, EXERCISING PRECAUTION TO VERIFY ALL DIMENSIONS SHOWN ON DRAWING.
5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER SHOULD DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO CIRCUMSTANCES WHICH ARISE DURING CONSTRUCTION.
6. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL FEES INCLUDING INSPECTION FEES, AND IN GENERAL, SHALL PROCURE ALL REQUIRED PERMITS, LICENSES AND INSPECTIONS, PAY ALL CHARGES AND FEES AND GIVE NOTICES FOR AND INCIDENTAL TO THE DUES.
8. ITEMS NOT SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR THE SAME AS IF SPECIFIED.
9. THE CONTRACTOR SHALL MAINTAIN ON SITE SANITARY UNITS FOR PUBLIC HEALTH PURPOSES.
10. THE CONTRACTOR SHALL MAINTAIN TRIMMED GRASSED AREAS (WEEKLY BASIS) AND CLEAR SITE OF LITTER (DAILY BASIS)
11. THE CONTRACTOR SHALL SWEEP ALL SOIL AND SILT OR DEBRIS FROM ROADWAY PERIODICALLY THROUGHOUT THE DAY, AND IF WARRANTED OR DIRECTED SWEEP ROAD WITH MECHANICAL STREET SWEEPER.

SIMPLIFIED TESTING METHODS

PROBING WIRE TEST- 15.5 GA STEEL WIRE (SURVEY FLAG)

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.

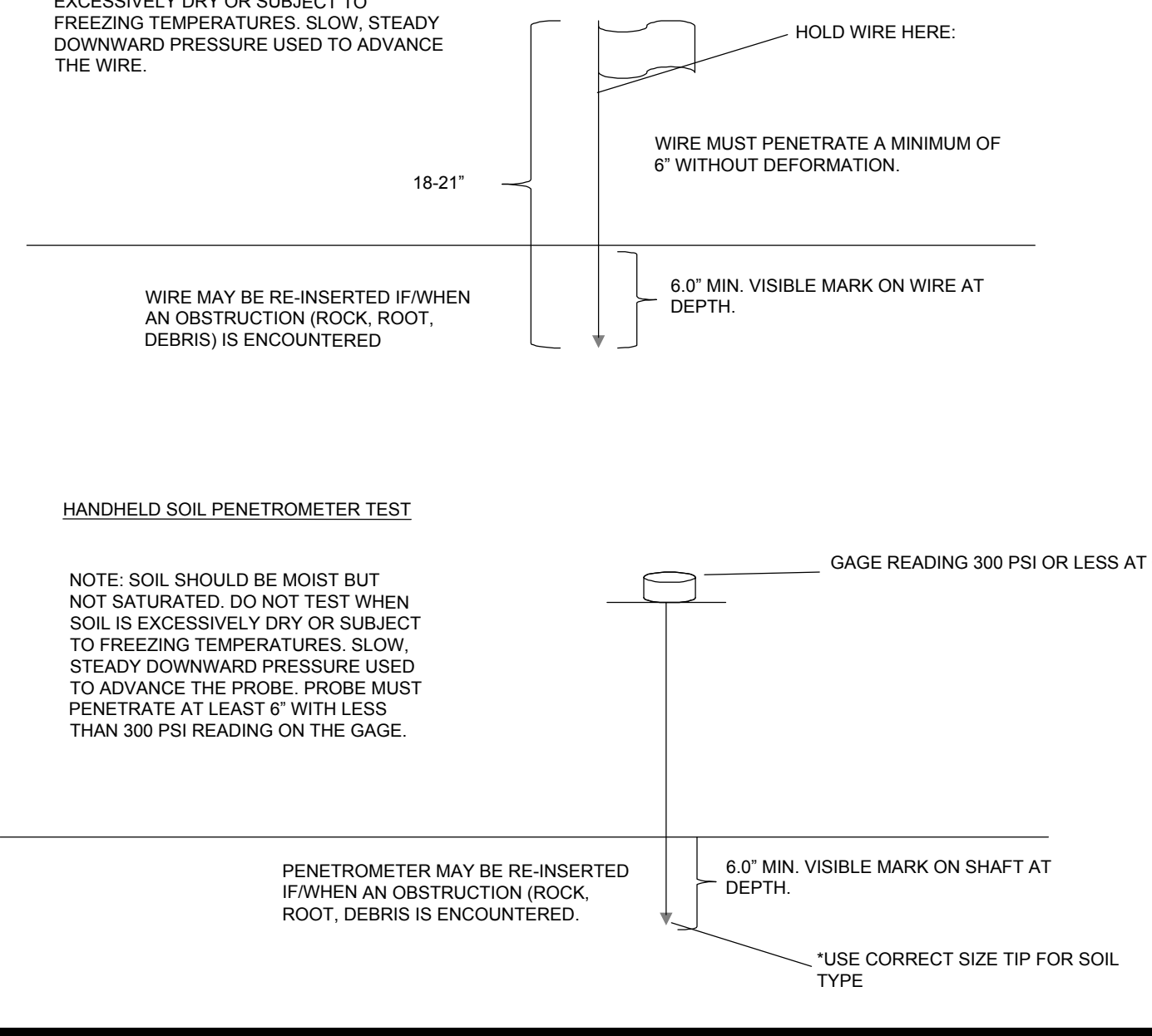
WIRE MAY BE RE-INSERTED IF WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS) IS ENCOUNTERED.

HANDHELD SOIL PENETROMETER TEST

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6" WITH LESS THAN 300 PSI READING ON THE GAGE.

PENETROMETER MAY BE RE-INSERTED IF WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS) IS ENCOUNTERED.

*USE CORRECT SIZE TIP FOR SOIL TYPE

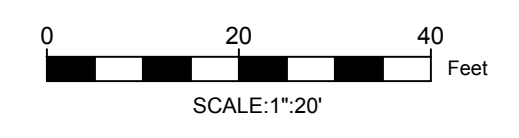


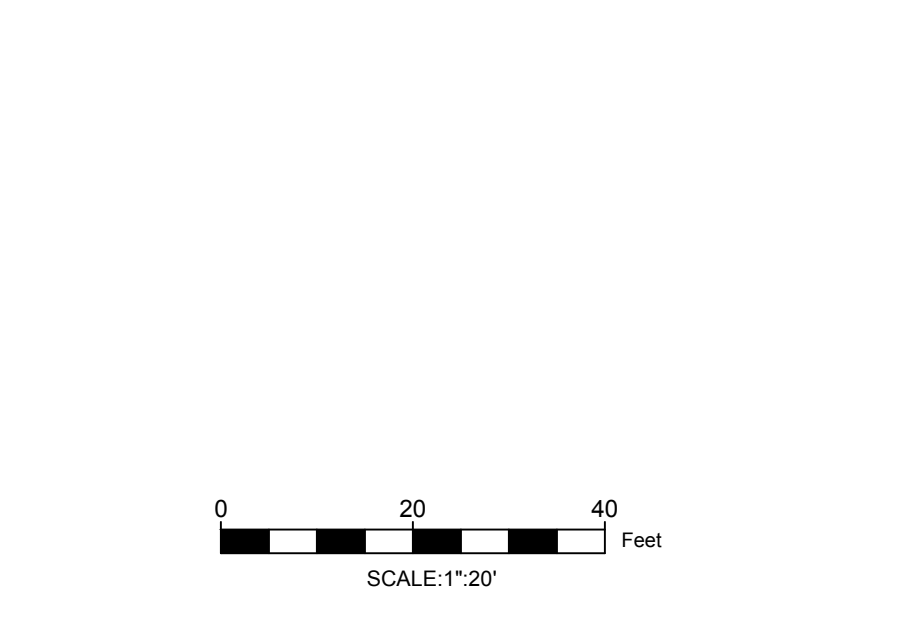
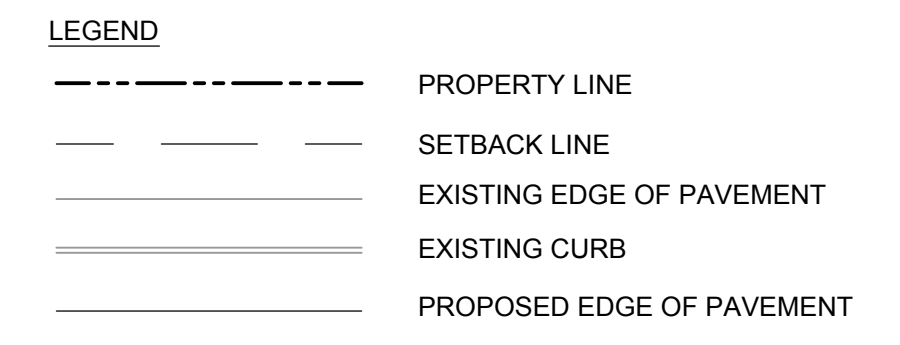
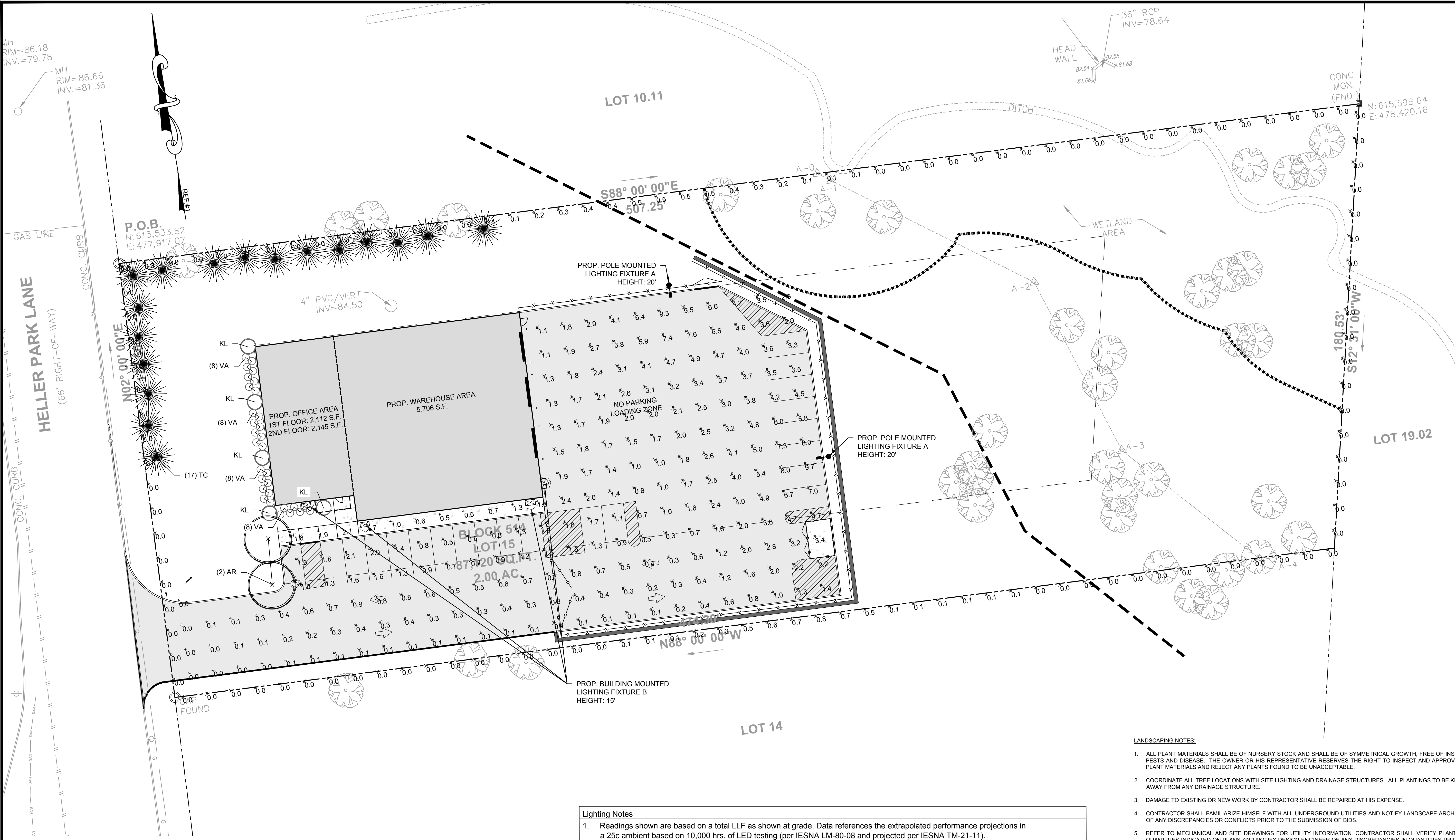
SOIL TABLE

SYMBOL	SOIL TYPE NAME	HSG RATING
LbtA	LANDSDOWNE SILT LOAM, 0 TO 2 PERCENT SLOPES	C
PenB	PENN SILT LOAM, 2 TO 6 PERCENT SLOPES	C

SOIL EROSION AND SEDIMENT CONTROL NOTES:

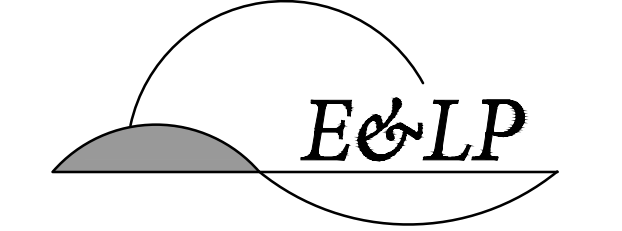
1. THIS PLAN IS TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.





- GENERAL NOTES:**
1. APPLICANT: MILON BUILDERS, LLC
PO BOX 6030
SOMERSET, NJ 08875
 2. OWNER: DOMINIC DESANTIS
PO BOX 6030
SOMERSET, NJ 08875
PHONE: 732-754-1800
 3. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

- REFERENCES:**
1. THIS PLAN REFERENCES A SURVEY ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR 16 HELLER PARK LANE, BLOCK 514, LOT 15, FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY", BY ENGINEERING AND LAND PLANNING ASSOCIATES, INC., DATED 09/19/19. COPYRIGHT 2020 ENGINEERING & LAND PLANNING ASSOC., INC. ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC. THIS DRAWING IS THE SOLE PROPERTY OF ENGINEERING & LAND PLANNING ASSOC., INC. AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC.



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PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE

DATE: 03/23/2020
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP
SOMERSET COUNTY NEW JERSEY

TITLE: LIGHTING & LANDSCAPING PLAN
JOB NO.: 0119334
SCALE: 1"=20'
DESIGNED: JZ
CHECKED: WJI
FILENAME: 08_L&L.DWG
DATE: 03/23/2020
DRAWING NO.: 8
17

- LANDSCAPING NOTES:**
1. ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK AND SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE.
 2. COORDINATE ALL TREE LOCATIONS WITH SITE LIGHTING AND DRAINAGE STRUCTURES. ALL PLANTINGS TO BE KEPT 8' AWAY FROM ANY DRAINAGE STRUCTURE.
 3. DAMAGE TO EXISTING OR NEW WORK BY CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
 4. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO THE SUBMISSION OF BIDS.
 5. REFER TO MECHANICAL AND SITE DRAWINGS FOR UTILITY INFORMATION. CONTRACTOR SHALL VERIFY PLANT LIST QUANTITIES INDICATED ON PLANS AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES IN QUANTITIES PRIOR TO SUBMISSION OF BIDS.
 6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY WITH REGARDS TO THE CARTING, STORING AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AREAS.
 7. PLANT MATERIALS SHALL BE MAINTAINED BEFORE, DURING AND AFTER IN THE BEST HORTICULTURAL CONDITION. CONTRACTOR SHALL PRUNE ALL DEAD OR DISEASED LIMBS, BRANCHES AND CANES FROM EXISTING DECIDUOUS AND CONIFEROUS TREES. METHODS SHALL REFLECT BEST HORTICULTURAL PRACTICES AS OUTLINED IN THE AMERICAN NURSERYMEN ASSOCIATION CERTIFICATION AND STANDARDS LATEST EDITION.
 8. THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH ROOT BALL AND BURLAP INTACT.
 9. THE CONTRACTOR SHALL PRUNE ALL NEW MATERIAL REMOVING APPROXIMATELY ONE-THIRD OF THE GROWTH AND REMOVE ALL DEAD AND BROKEN CANES AND BRANCHES. GRADE NEW PLANTING AREAS TO MAINTAIN THE EXISTING DRAINAGE PATTERN.
 10. ALL TOPSOIL SHALL BE PER NJDEP REQUIREMENTS.
 11. THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS PER THE PLANTING DETAILS.
 12. THE CONTRACTOR SHALL REPLACE ANY PLANT MATERIALS WITHIN ONE GROWING SEASON FOR PLANT MATERIALS THAT ARE NO LONGER VIABLE.
 13. ALL PLANT HOLES SHALL BE BACKFILLED WITH A MIXTURE OF 3 PARTS TOPSOIL TO 1 PART PEATMOSS UNLESS SPECIFIED ON PLAN ALL PLANTING BEDS TO BE MULCHED WITH 4 INCHES CLEAN FRESH SHREDED HARDWOOD BARK, FREE OF STICKS, LEAVES AND OTHER FOREIGN MATERIALS.
 14. ALL PLANT MATERIAL SHALL CONFORM TO THE HORTICULTURAL STANDARDS AS SET FORTH BY THE AMERICAN NURSERYMEN AND LANDSCAPING ASSOCIATION (ANLA 2000). CONTRACTOR SHALL REMOVE ALL NON-BIODEGRADABLE ROOT WRAPPING PRIOR TO PLANTING.
 15. TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR AREAS OF EQUIPMENT STORAGE EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY AREAS OF SEEDING. PROVIDE TOPSOIL TO 6" DEPTH IN ALL LAWN AREA AND 20" DEPTH IN SHRUB BEDS AND GARDEN.
 16. ALL REMAINING DISTURBED AREAS SHALL BE SEEDDED UNLESS NOTED OTHERWISE. ALL LAWN AREAS TO BE FERTILIZED PRIOR TO FINAL SEEDING WITH A 10-6-4 FERTILIZER AT THE RATE OF 20 LBS/1000 SF. IN TWO APPLICATIONS.

- Lighting Notes**
1. Readings shown are based on a total LLF as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs. of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
 2. Please refer to the "luminaire locations" for mounting heights.
 3. Product information can be obtained at www.Lithonia.com or through your local agency.
 4. Final location of site lighting to be confirmed in field prior to construction, after all underground and above ground utilities are confirmed through markout. Final light locations to be reviewed by design engineer and approved by Township engineer.
 5. Time of illumination: Dusk to 10 PM. (lights to be dimmed for security after 10 pm).

PLANT SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	NOTES
TREES						
AR	2	RED MAPLE	ACER RUBRUM	5" CAL.	SEE PLAN	B&B
TC	17	CANADIAN HEMLOCK	TSUGA CANADENSIS	3" CAL.	SEE PLAN	B&B
SHRUBS						
VA	32	MAPLELEAF VIBURNUM	VIBURNUM ACERIFOLIUM	2 GAL.	SEE PLAN	CONT.
KL	5	MOUNTAIN LAUREL	KALMIA LATIFOLIA	2 GAL.	SEE PLAN	CONT.

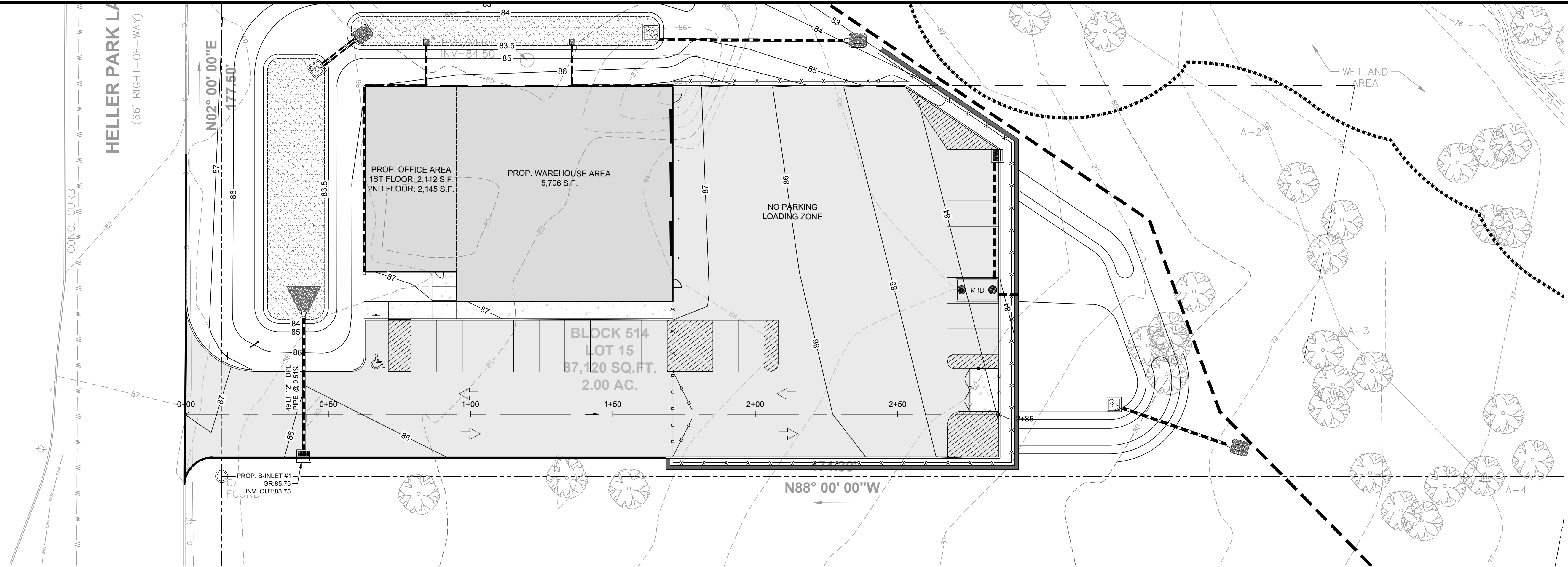
TREE REPLACEMENT NOTE:
A VARIANCE IS REQUIRED FOR THE NUMBER OF REPLACEMENT TREES AS REQUIRED PER 222-5.1.
PROPOSED TREES TO BE REMOVED = 18
PROPOSED REPLACEMENT TREES = 19
NUMBER OF REPLACEMENT TREES REQUIRED = 229

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
LOADING AREA	X	2.7 fc	9.5 fc	0.5 fc	19.0:1	5.4:1
PARKING LOT AREA	X	1.8 fc	9.7 fc	0.1 fc	97.0:1	18.0:1
PROPERTY LINE	X	0.1 fc	0.8 fc	0.0 fc	N/A	N/A
SITE CALCULATIONS	+	1.9 fc	9.7 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
!	A	2	American Electric Lighting	ATB2 80BLEDE10 XXXXX R4 4K5K	ATB2 SERIES LED 1000MA TYPE 4 4000K/5000 K CCT	LED Array	1	ATB2_80BLE DE10_XXXXX_R4_4K_5K.ies	32327	0.9	268
✉	B	4	Holophane	HLWPC2 P10 40K XX TFTM	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Forward Throw Medium	LED	1	HLWPC2_P10_40K_XX_TF TM.ies	3209	0.9	28



DRIVEWAY CENTERLINE PLAN VIEW
SCALE 1"=20'

LEGEND

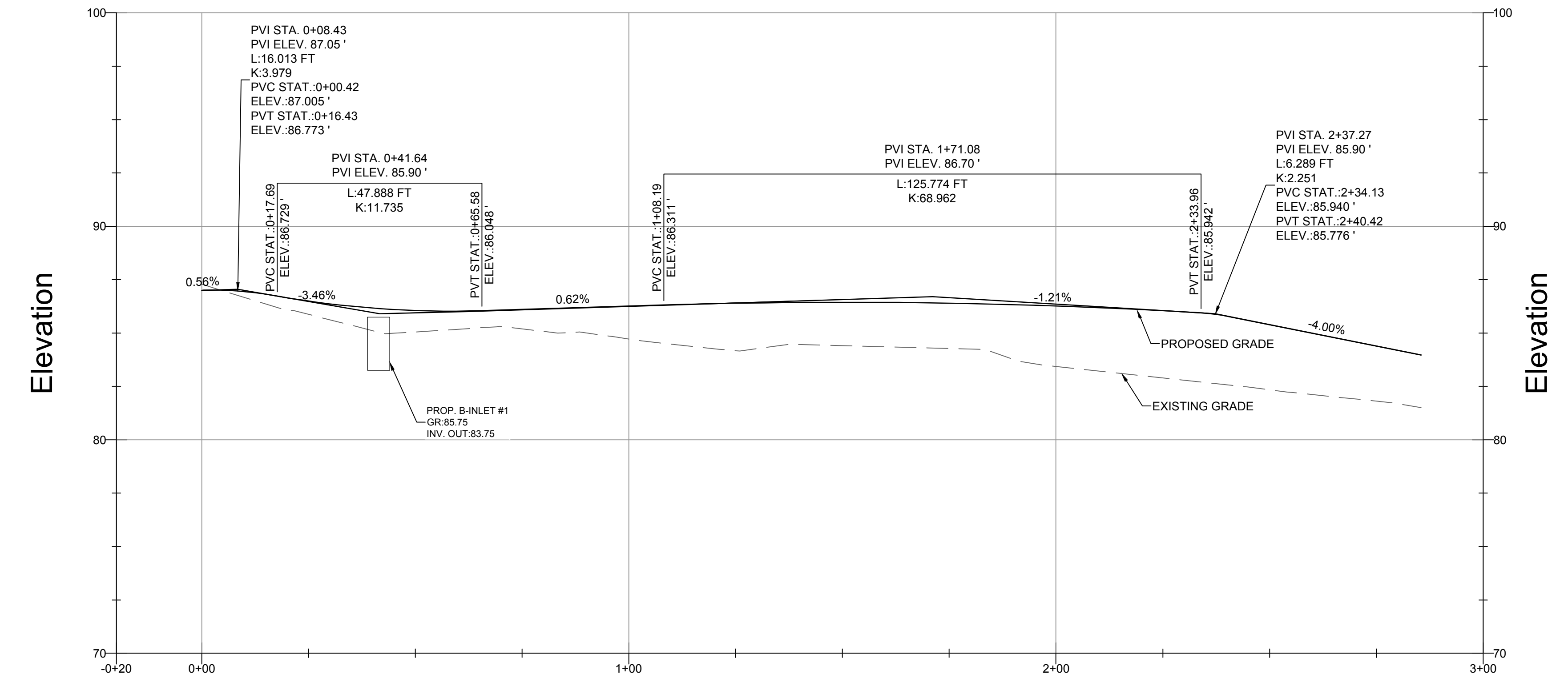
	PROPERTY LINE
	SETBACK LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	400 EXISTING GRADE
	400 PROPOSED GRADE

- GENERAL NOTES:**
1. APPLICANT: MILON BUILDERS, LLC
PO BOX 6030
SOMERSET, NJ 08875

OWNER: DOMINIC DESANTIS
PO BOX 6030
SOMERSET, NJ 08875
PHONE: 732-754-1800
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DRIVEWAY CENTERLINE PROFILE VIEW
VERTICAL SCALE 1"=4'
HORIZONTAL SCALE 1"=20'

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DATE

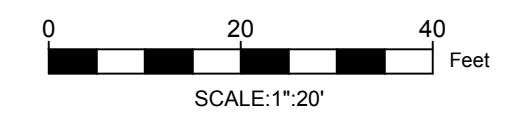
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

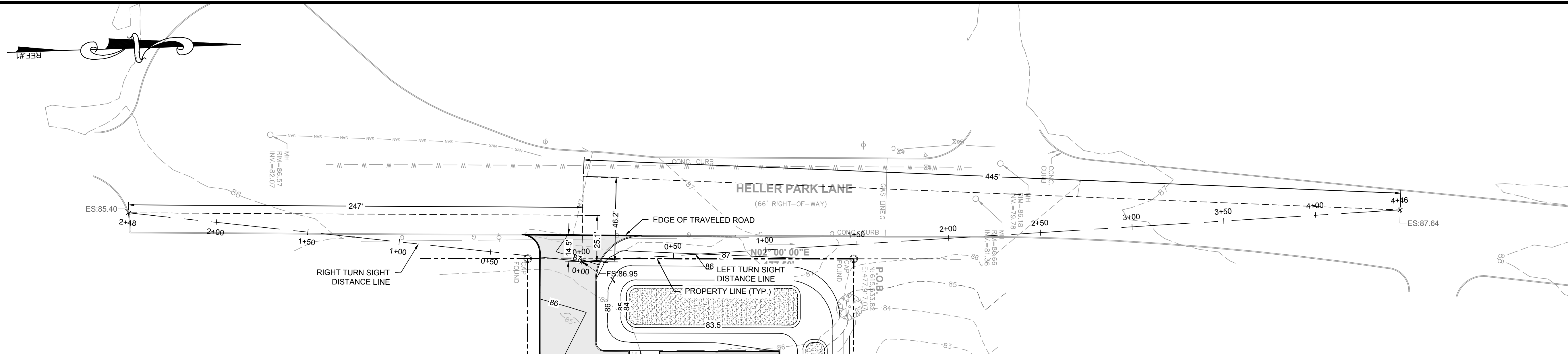
PROJECT:
**PRELIMINARY AND FINAL
MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP**

SOMERSET COUNTY NEW JERSEY

TITLE:
**DRIVEWAY CENTERLINE
PLAN AND PROFILE**

JOB NO.: 0119334	DRAWING NO.:
SCALE: 1"=20'	9 17
DESIGNED: JZ	
CHECKED: WJI	
FILENAME: 09-DRIVEWAY.DWG	
DATE: 03/23/2020	





SIGHT DISTANCE PLAN VIEW
SCALE 1"=30'

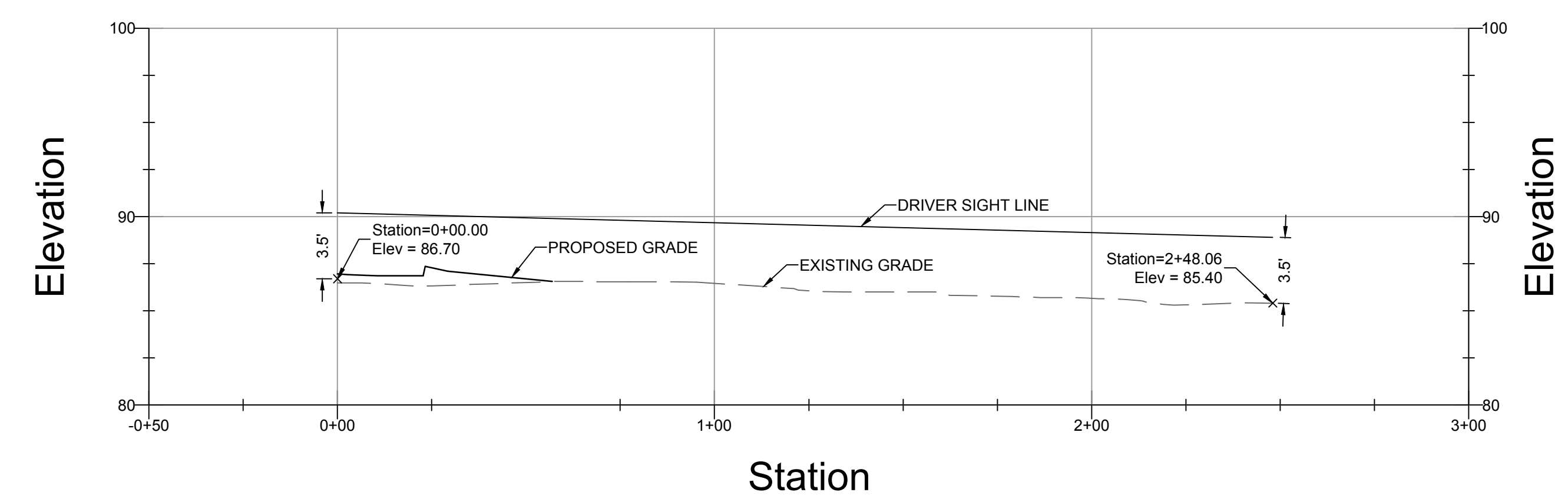
LEGEND

---	PROPERTY LINE
- - -	SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
- - - 400	EXISTING GRADE
— 400	PROPOSED GRADE

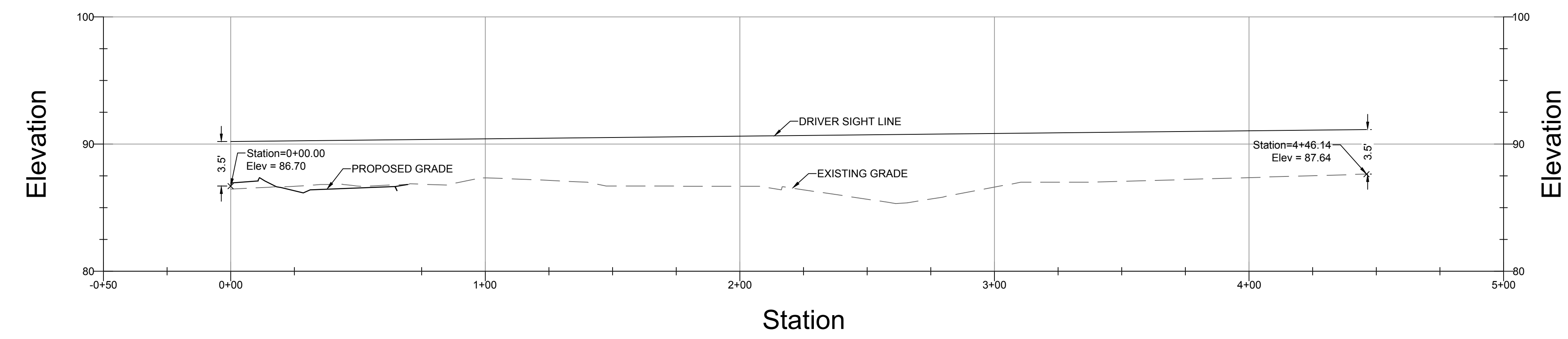
- SIGHT DISTANCE NOTES:**
1. THE POSTED SPEED LIMIT ON THIS SECTION OF POE ROAD IS 35 MPH.
 2. THE REQUIRED SIGHT DISTANCE WAS CALCULATED IN ACCORDANCE WITH "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS 2011 (8TH EDITION)" FOR A 40 MPH. THE DISTANCE TO VERTEX (DECISION POINT) OF THE DEPARTURE SIGHT TRIANGLE IS 14.5 FEET FROM THE EDGE OF THE TRAVELED ROADWAY.
LEFT TURN SIGHT DISTANCE: 445 FEET
RIGHT TURN SIGHT DISTANCE: 385 FEET
 3. PER AASHTO 2011, THE DRIVERS EYE IS 3.5 FEET ABOVE THE DRIVEWAY SURFACE.

- GENERAL NOTES:**
1. **APPLICANT:**
MILON BUILDERS, LLC
PO BOX 6030
SOMERSET, NJ 08875
 2. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

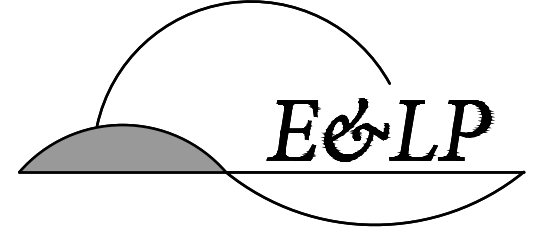
- REFERENCES:**
1. THIS PLAN REFERENCES A SURVEY ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR 16 HELLER PARK LANE, BLOCK 514, LOT 15, FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY", BY ENGINEERING AND LAND PLANNING ASSOCIATES, INC., DATED 09/19/19. COPYRIGHT 2020 ENGINEERING & LAND PLANNING ASSOC., INC. ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC. THIS DRAWING IS THE SOLE PROPERTY OF ENGINEERING & LAND PLANNING ASSOC., INC. AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC.



RIGHT TURN SIGHT DISTANCE PROFILE
HORIZONTAL SCALE 1"=30'
VERTICAL SCALE 1"=6'
(VERTICAL EXAGGERATION = 5)

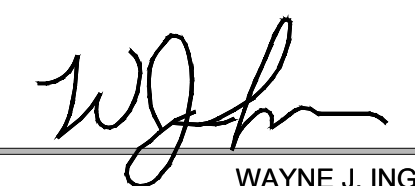


LEFT TURN SIGHT DISTANCE PROFILE
HORIZONTAL SCALE 1"=30'
VERTICAL SCALE 1"=6'
(VERTICAL EXAGGERATION = 5)



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
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A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE

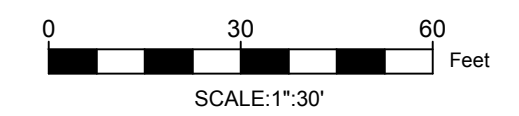
03/23/2020 DATE 
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

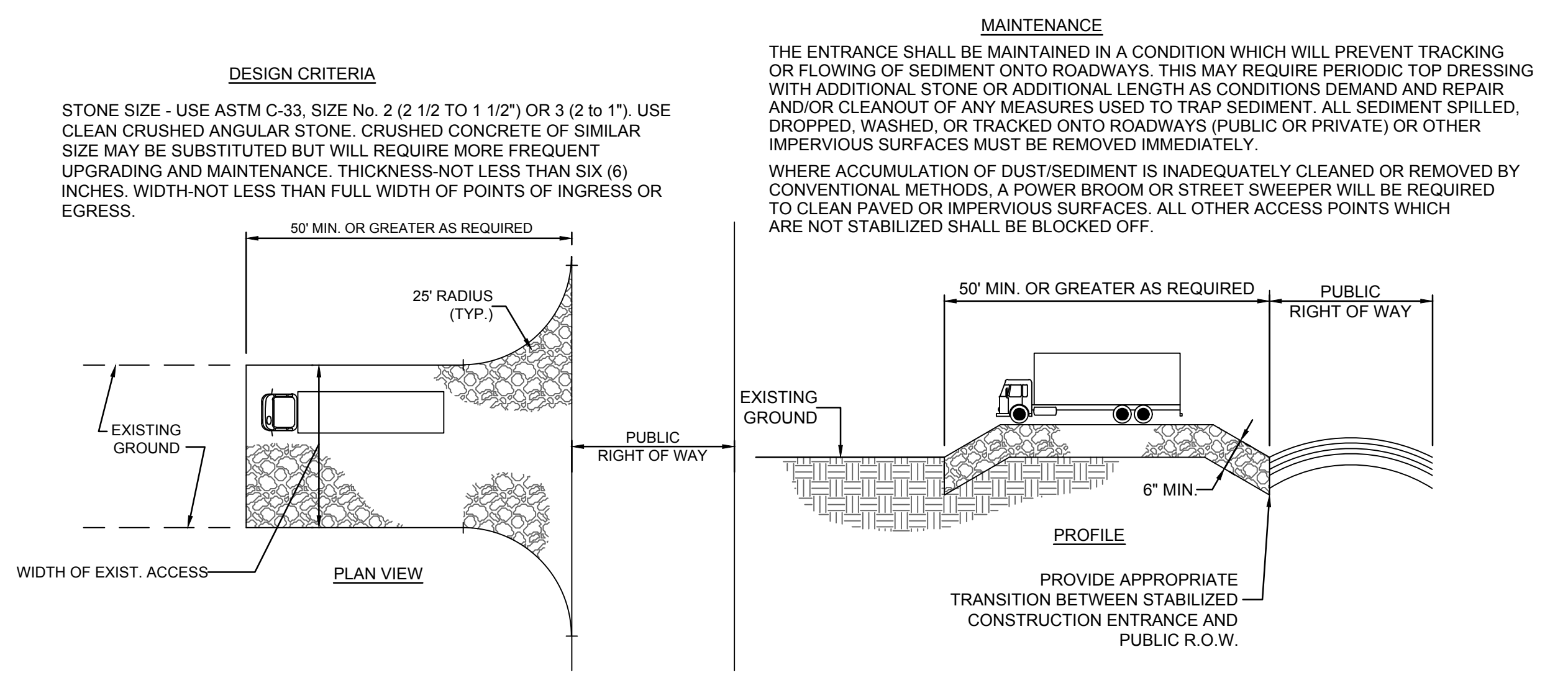
PROJECT:
**PRELIMINARY AND FINAL
MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP**

SOMERSET COUNTY NEW JERSEY

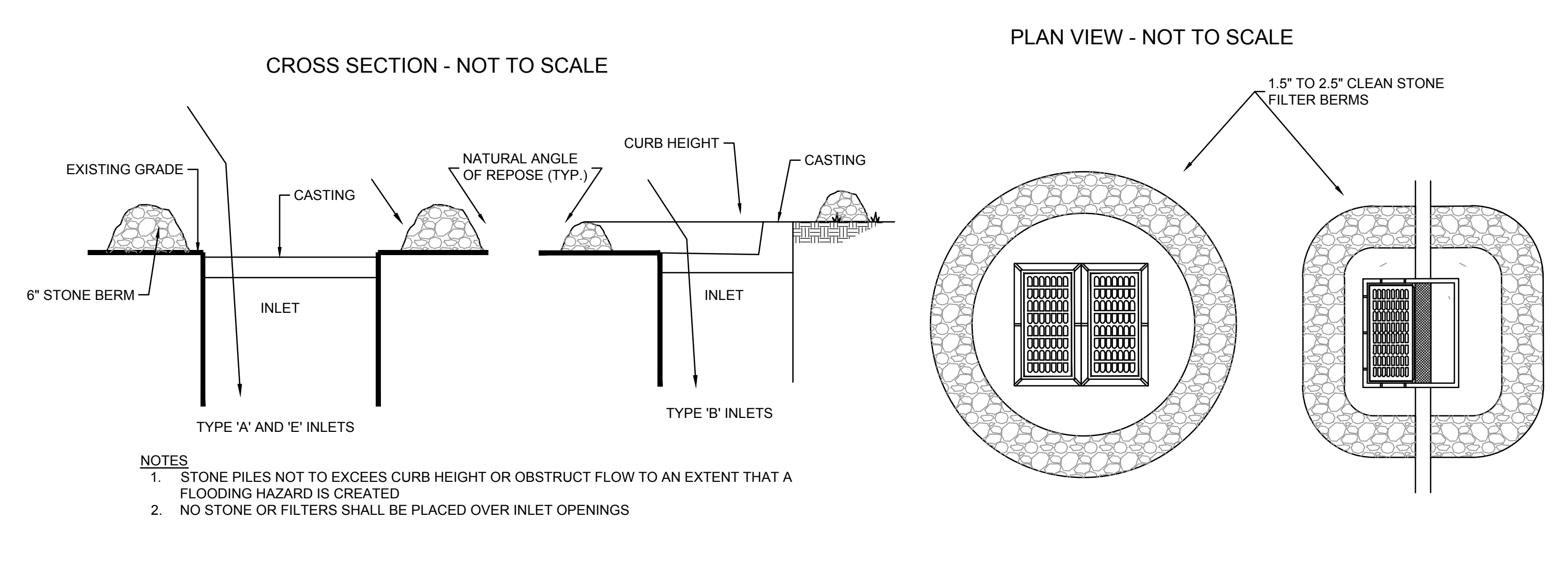
TITLE:
**SIGHT DISTANCE PLAN
AND PROFILE**

JOB NO.: 0119334	DRAWING NO.:
SCALE: 1"=30'	10 <hr/> 17
DESIGNED: JZ	
CHECKED: WJI	
FILENAME: 10-SIGHT.DWG	
DATE: 03/23/2020	

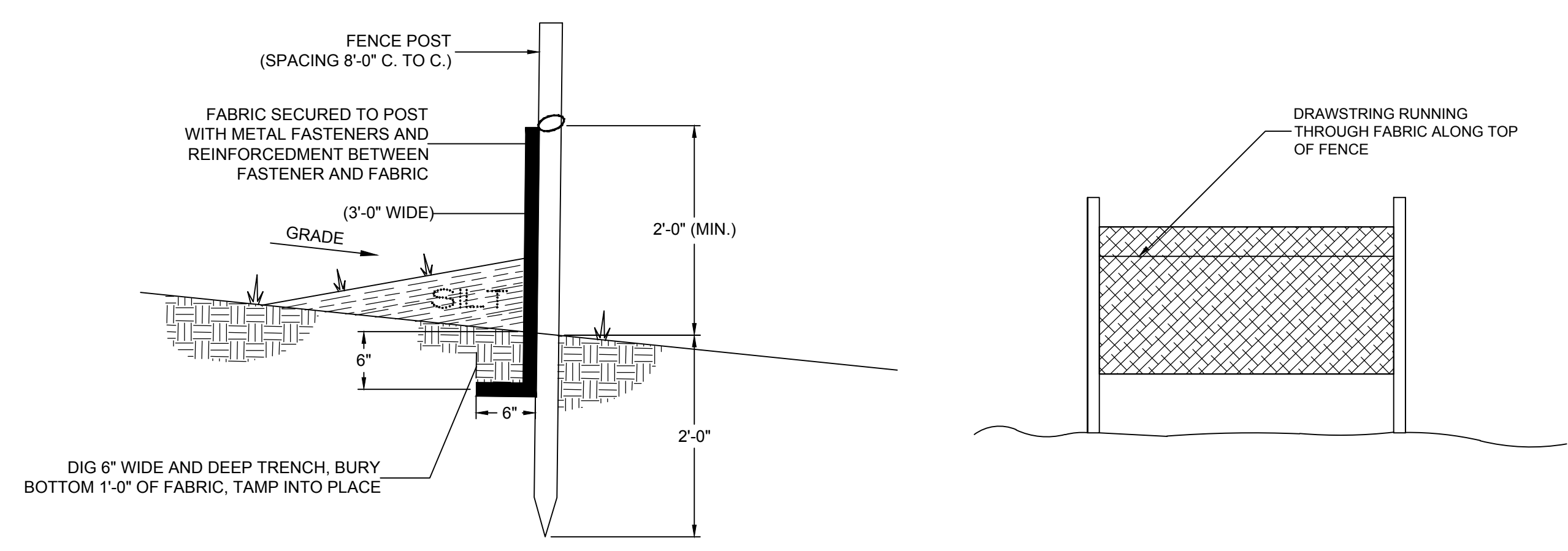




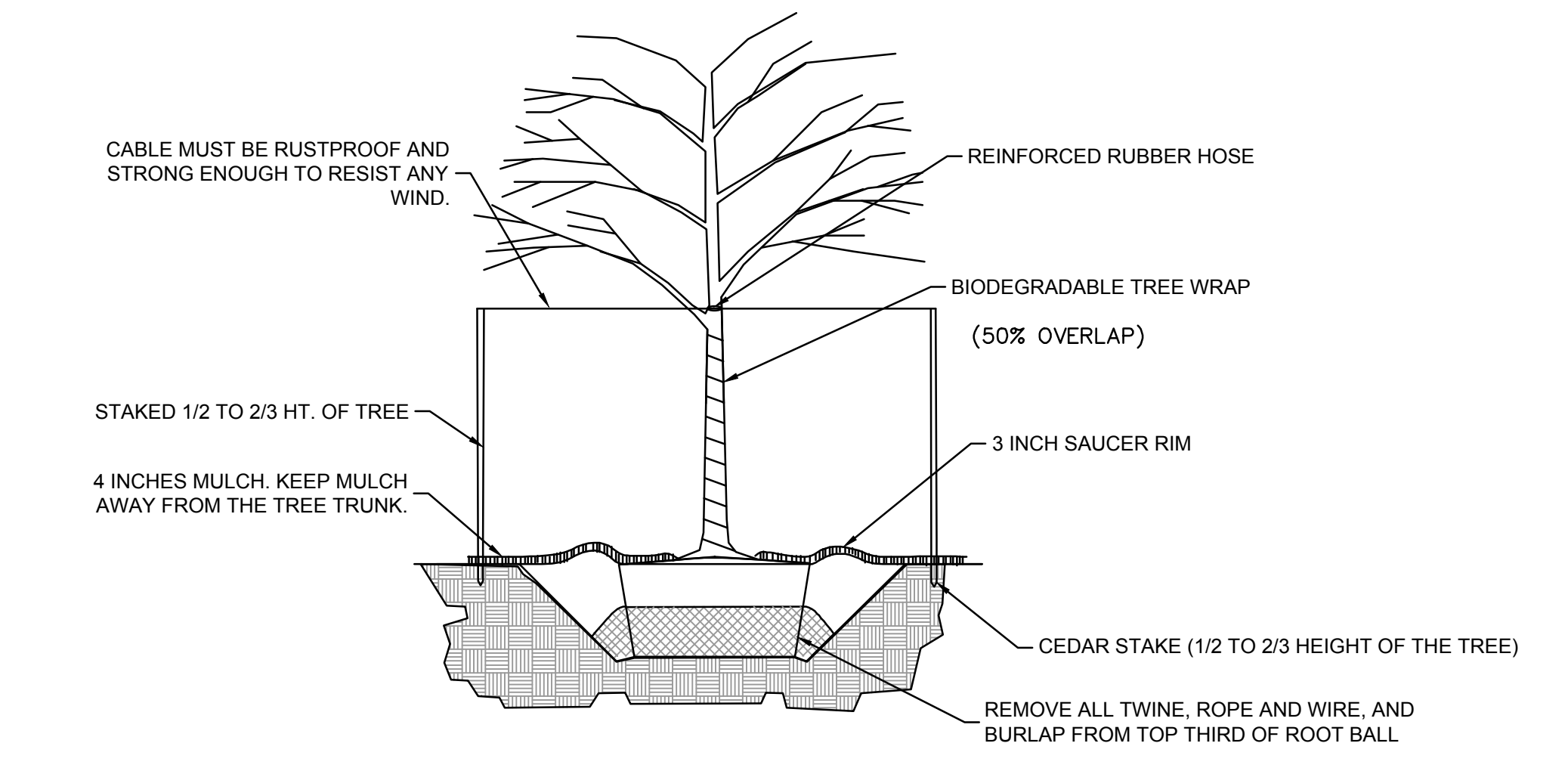
1 STABILIZED CONSTRUCTION ACCESS



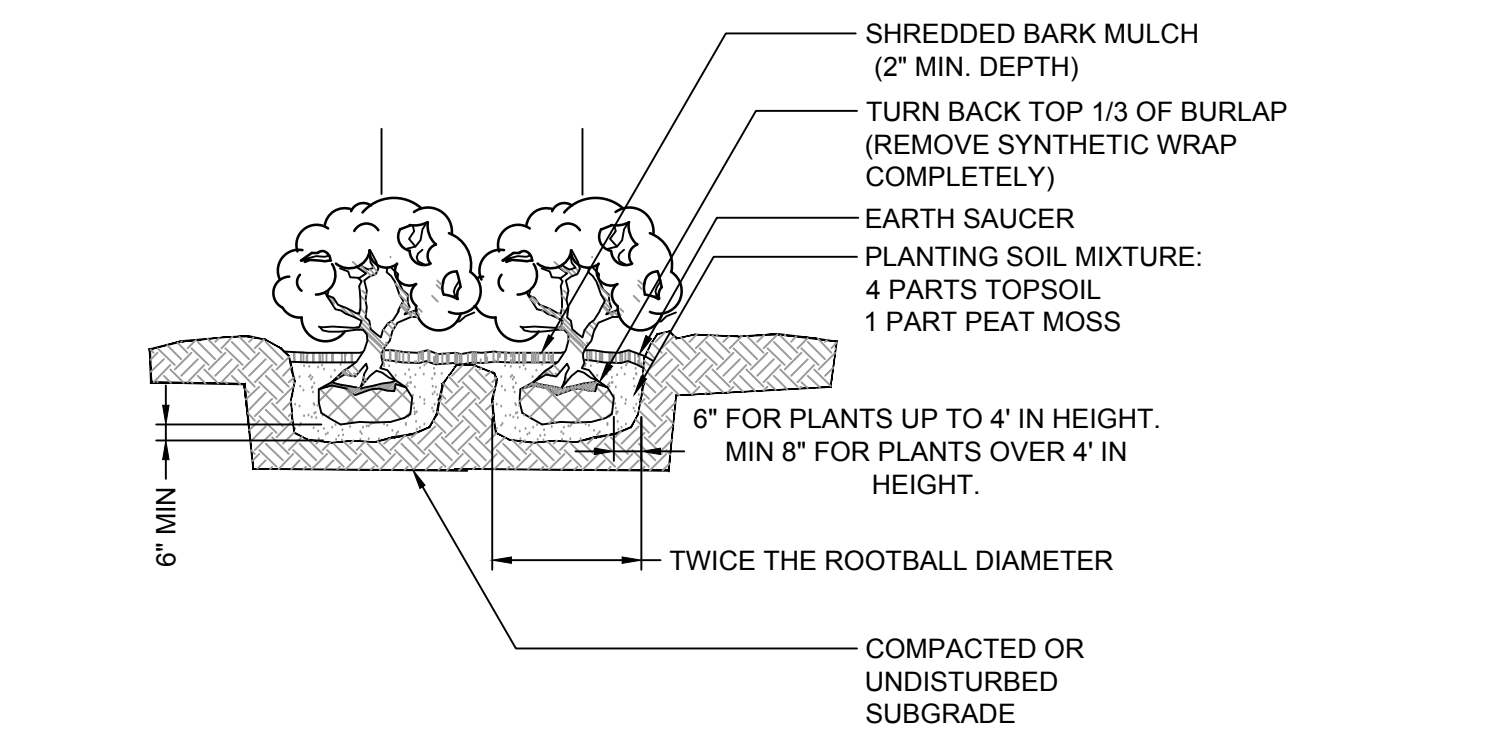
2 INLET PROTECTION DETAIL



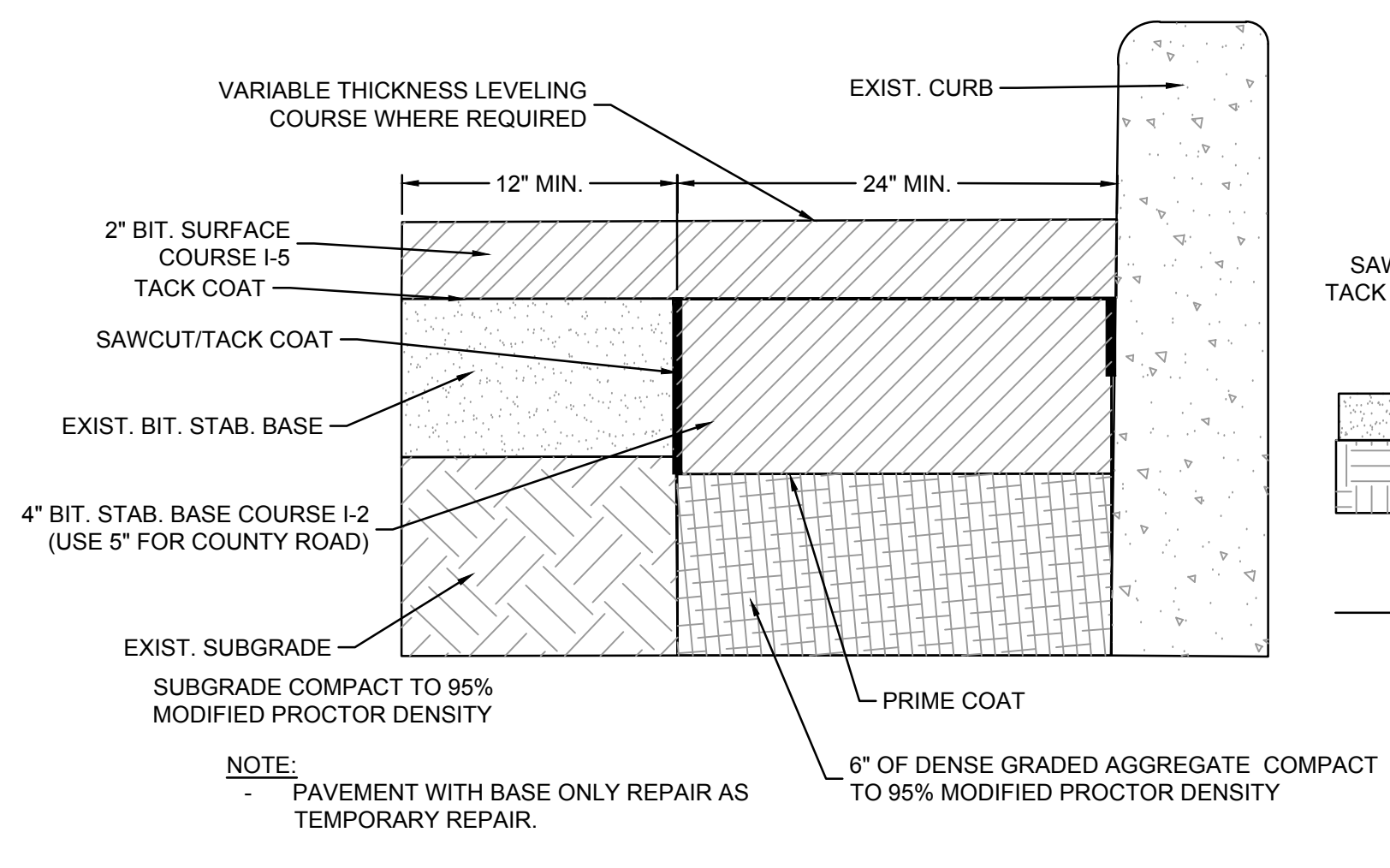
3 SILT FENCE DETAIL



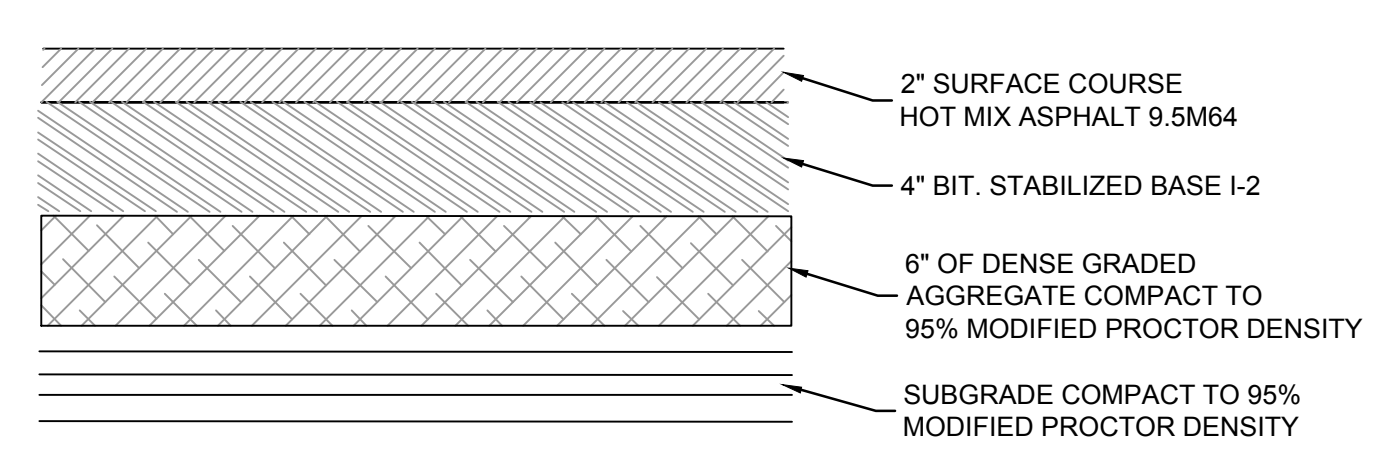
4 TREE PLANTING DETAIL



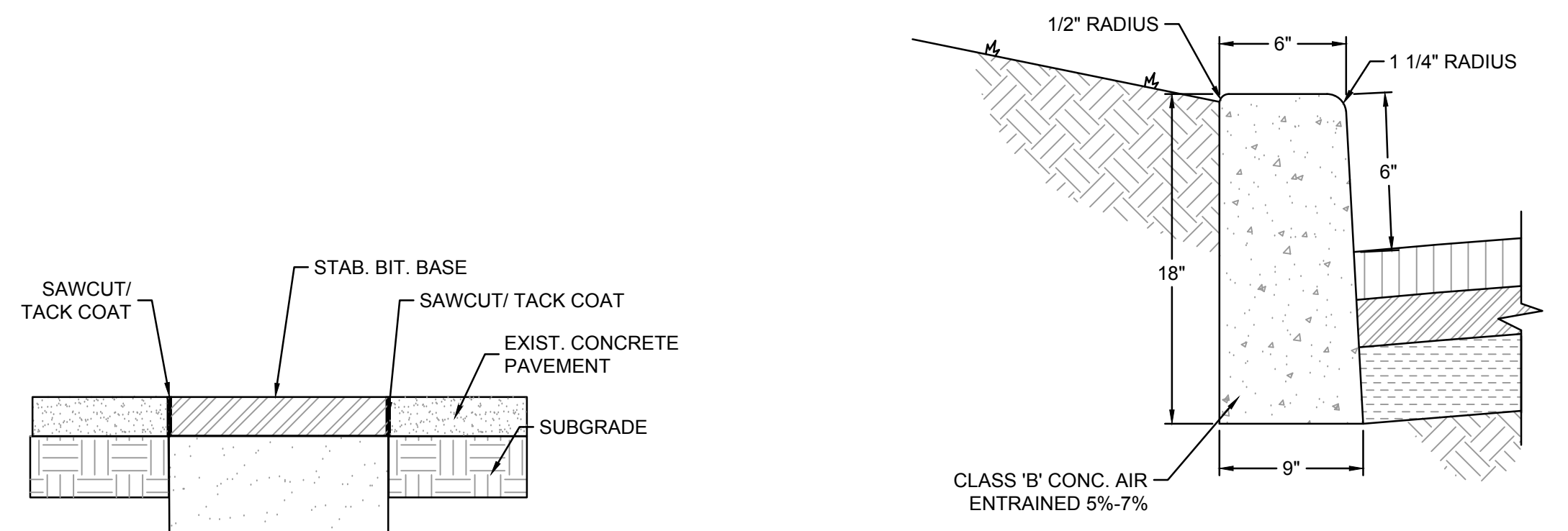
5 TYPICAL SHRUB PLANTING



7 PAVEMENT REPAIR DETAIL



6 BITUMINOUS PAVING DETAIL



8 CONCRETE CURB DETAIL

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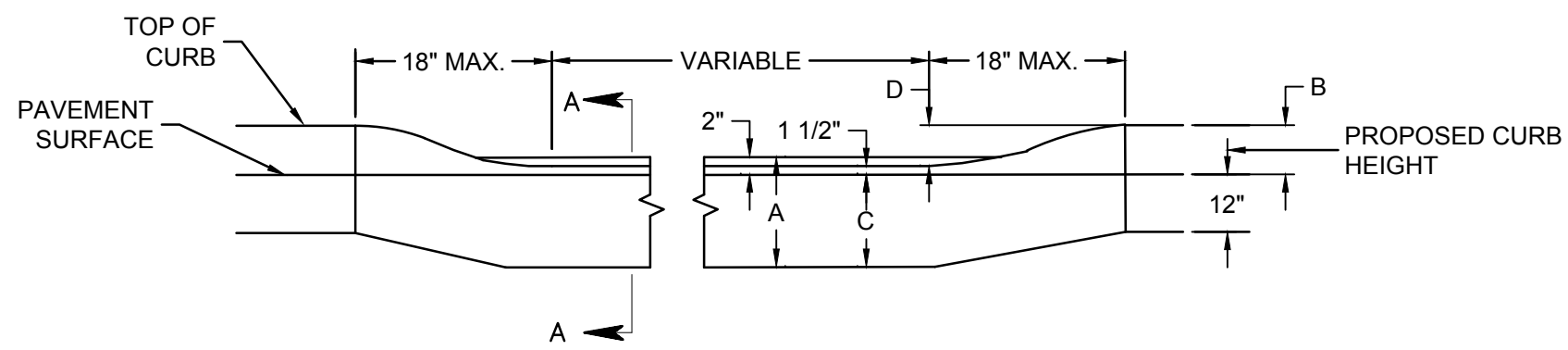
WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN
 16 HELLER PARK LANE
 BLOCK 514 LOT 15
 FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

TITLE: CONSTRUCTION DETAILS

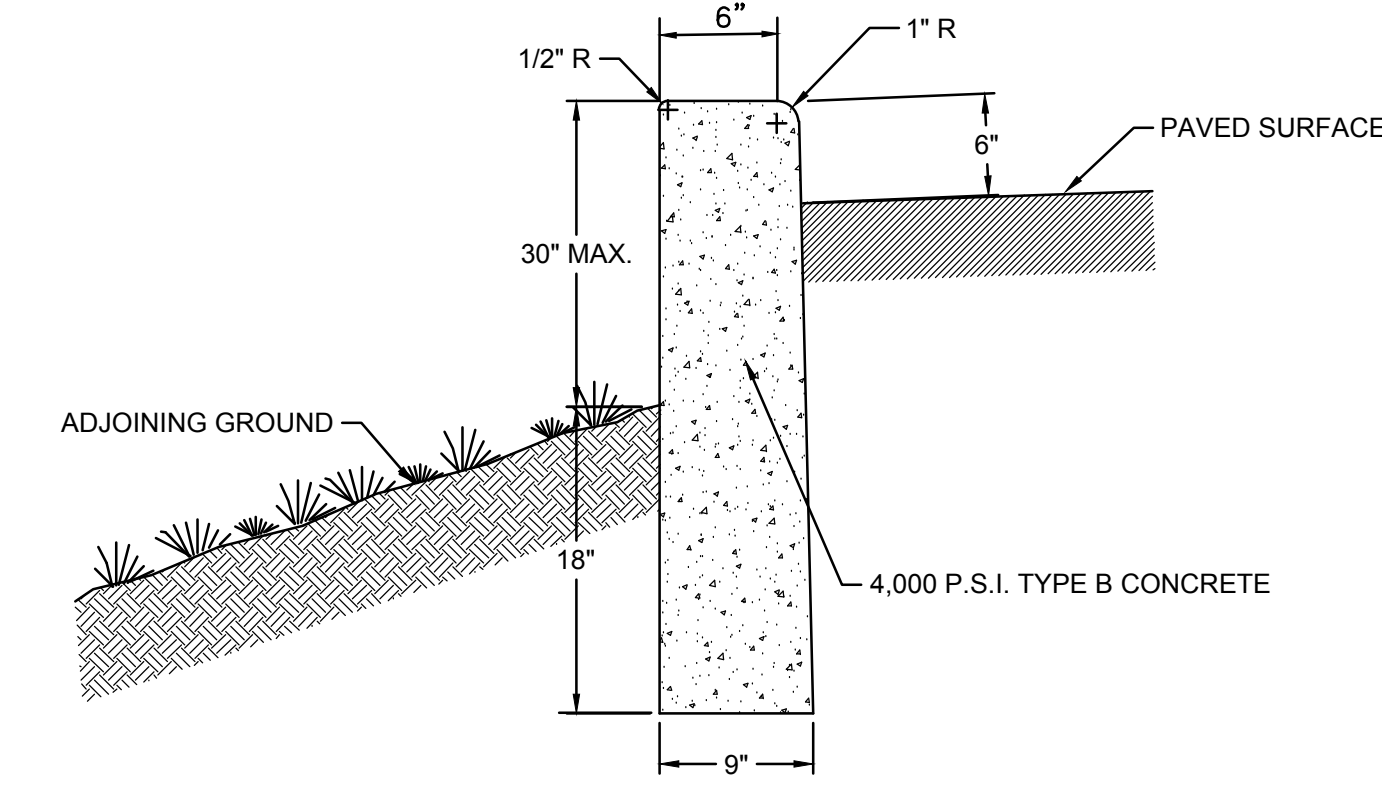
JOB NO.:	0119334	DRAWING NO.:	12 <hr/> 17
SCALE:	AS SHOWN		
DESIGNED:	JZ		
CHECKED:	WJI		
FILENAME:	12_DETAILS.DWG		
DATE:	03/23/2020		



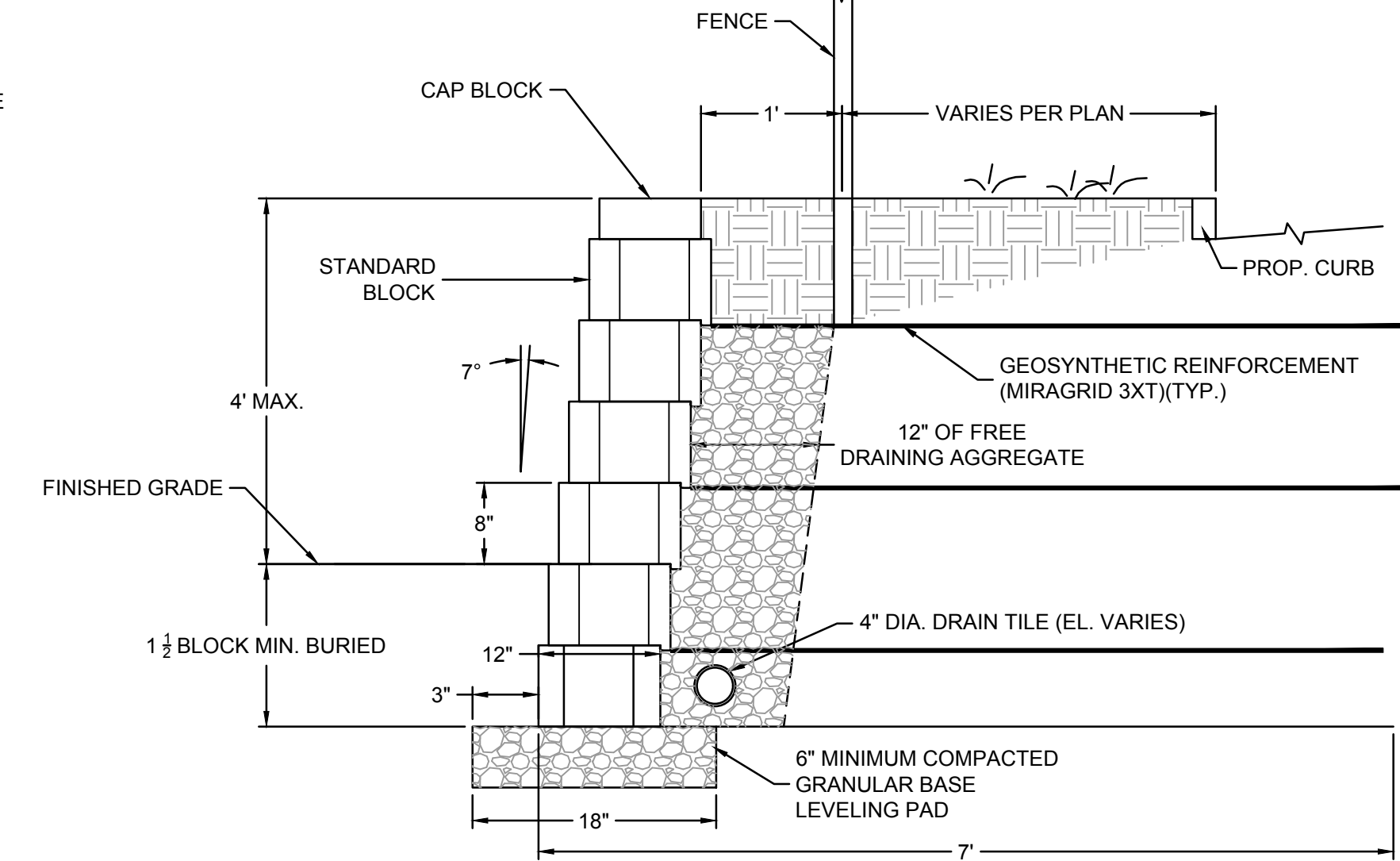
CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
9"x16"	16"	4"	14"	2"
9"x18"	18"	6"	16"	4"

SECTION A-A

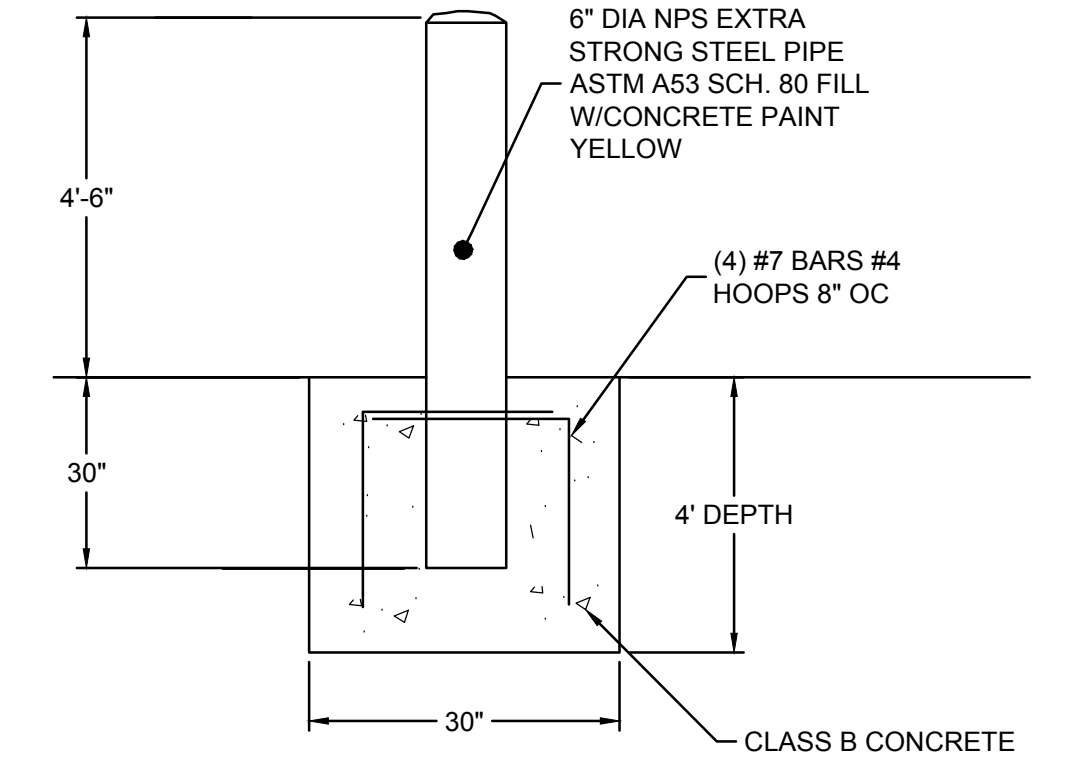
1 METHOD OF DEPRESSING CURB AT DRIVEWAYS NTS



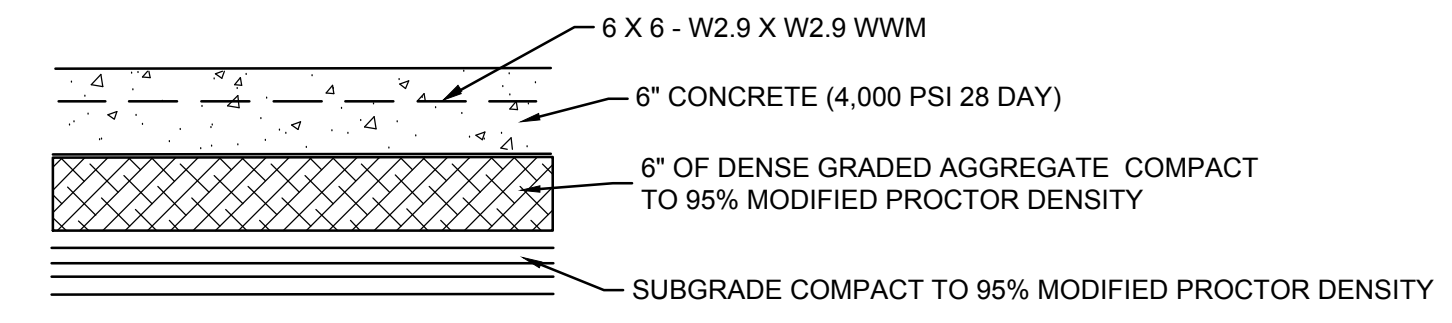
2 VARIABLE HEIGHT CURB/WALL DETAIL NTS



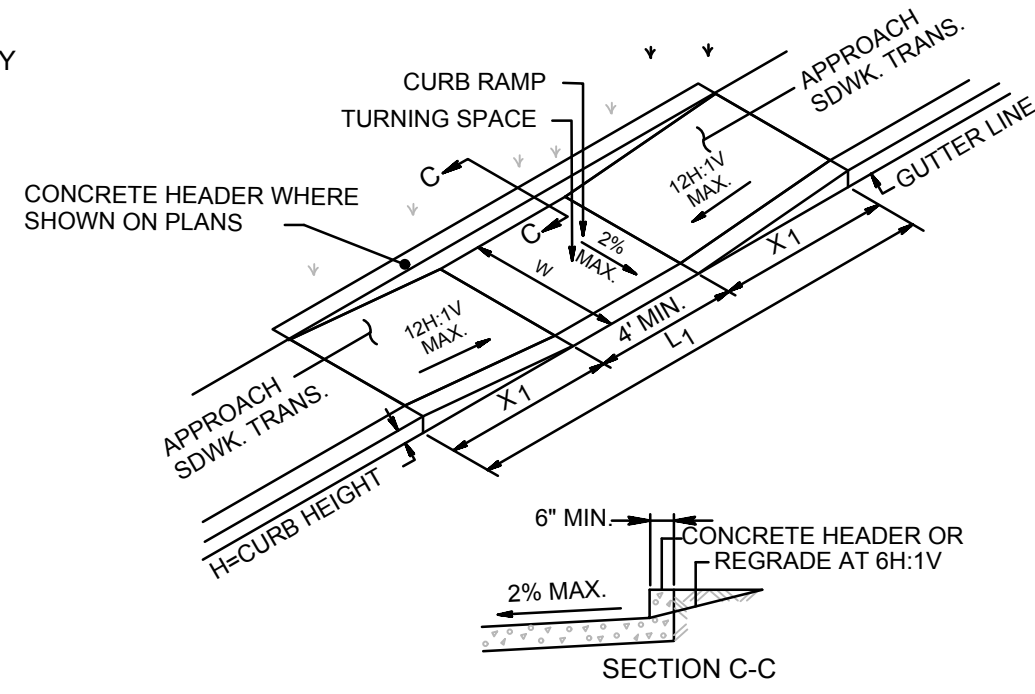
3 TYPICAL MODULAR BLOCK WALL DETAIL NTS



4 6\"/>

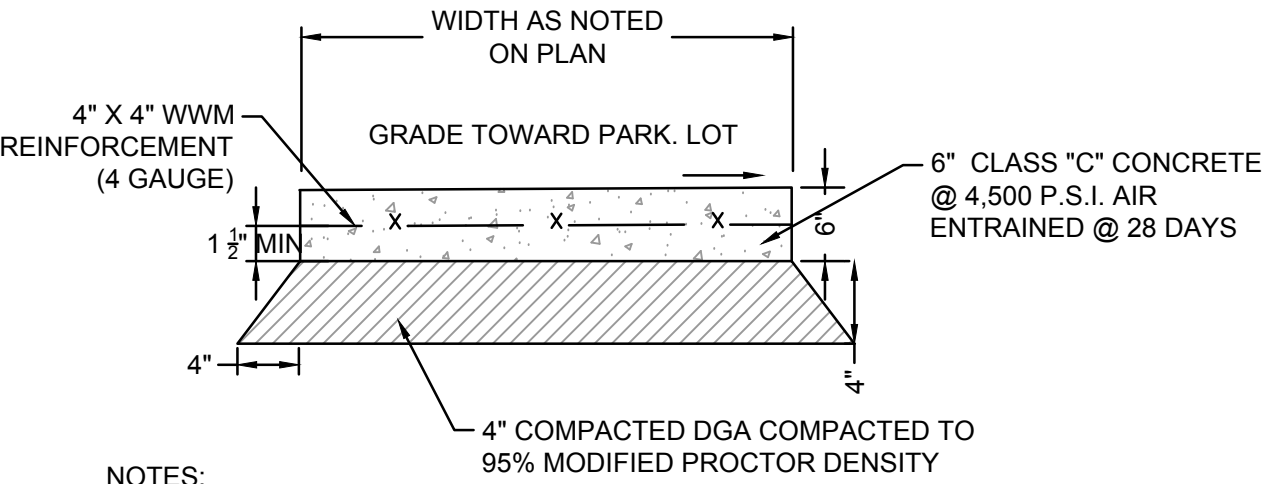


5 CONCRETE PAD DETAIL NTS



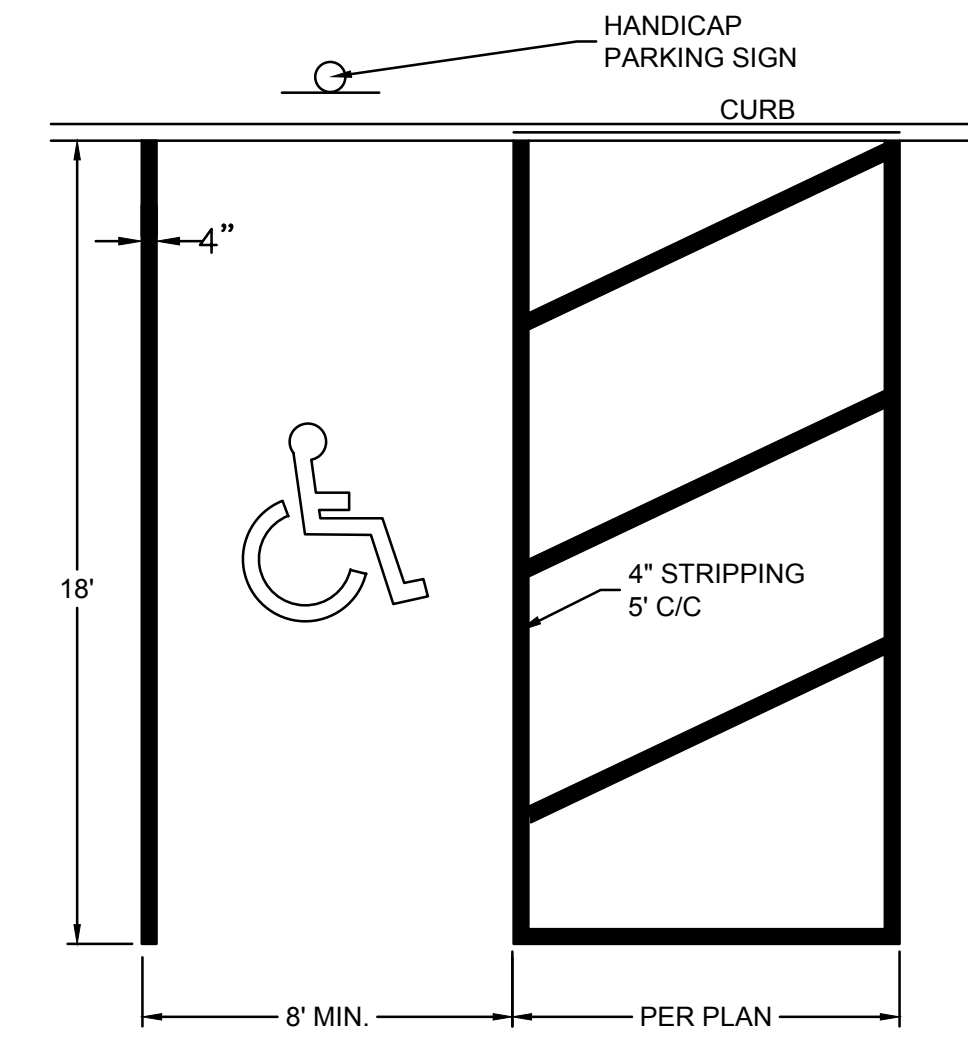
7 NJDOT CURB RAMP TYPE 7 DETAIL NTS

- NOTES:
- KEEP TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SURFACE.
 - FOR DIMENSIONS SEE CD-606-3 AND CD-606-4
 - CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT THE ENTIRE WIDTH OF THE RAMP (4 FEET MIN.) AT ALL CURB RAMP.
 - SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES INDICATES THE PAY LIMIT FOR CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
 - CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES INDICATES THE PAY LIMIT FOR VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
 - CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED. SEE PLANS.
 - THE 12H:1V MAX SLOPE IS THE RUNNING SLOPE FOR CURB RAMP, BUT ONLY THE 12H:1V SLOPE MEASURED AS X IS THE RUNNING SLOPE FOR TYPE 3 AND TYPE 4 CURB RAMP. ENSURE THE RUNNING SLOPE OF CURB RAMP DOES NOT REQUIRE ITS LENGTH TO EXCEED 15 FEET. THE RUNNING SLOPE MAY EXCEED THE 12H:1V MAX SLOPE SO AS NOT TO EXCEED THE 15 FEET MAXIMUM LENGTH.
 - CURB RAMP TYPE 7 ARE NORMALLY PLACED ON THE RADIUS RETURN AT THE INTERSECTION AND ON A TANGENT SECTION AS DRAWN.



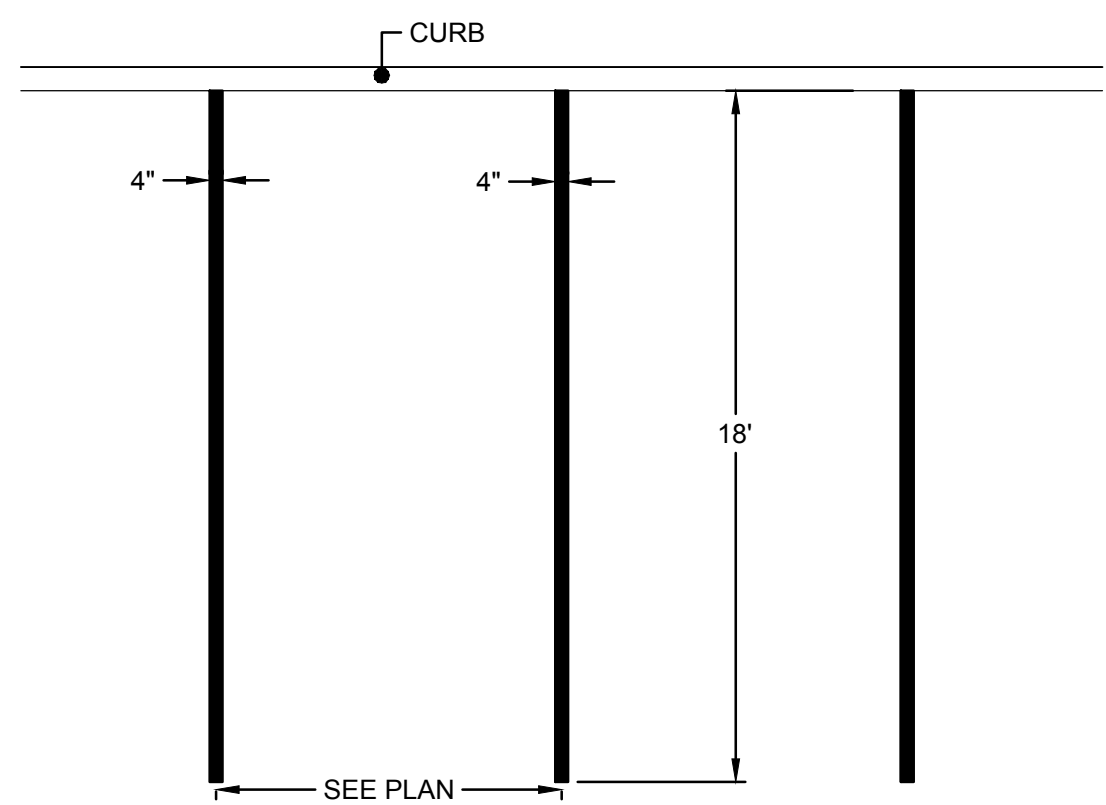
6 STANDARD CONCRETE WALK DETAIL NTS

- NOTES:
- CONSTRUCTION JOINTS AT 4'-0" O.C. WITH 1/2" BITUMINOUS PRE-MOLDED EXPANSION JOINT EVERY 20'-0" AND WHERE SIDEWALK ABUTS EXISTING BUILDINGS, CURBS, OR WALKS. TOOL ALL EDGES 1/2" R.
 - CONCRETE SHALL BE SEALED.
 - SUB-BASE SHALL BE COMPACTED.



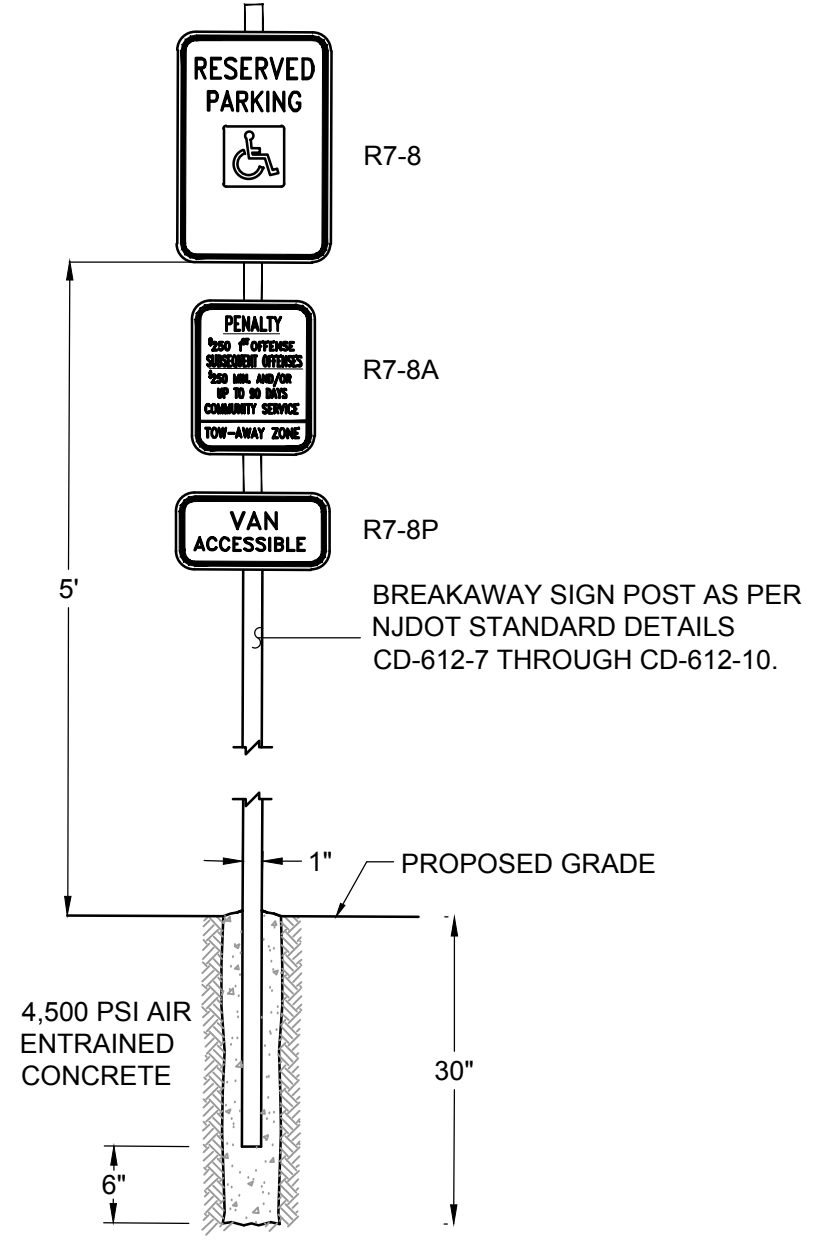
8 HANDICAP PARKING STALL NTS

- NOTES:
- SEE PLAN FOR PARKING SPACE DIMENSIONS AND LOCATION.
 - HANDICAP PARKING SYMBOL AND STRIPPING COLOR PER LOCAL REQUIREMENTS.

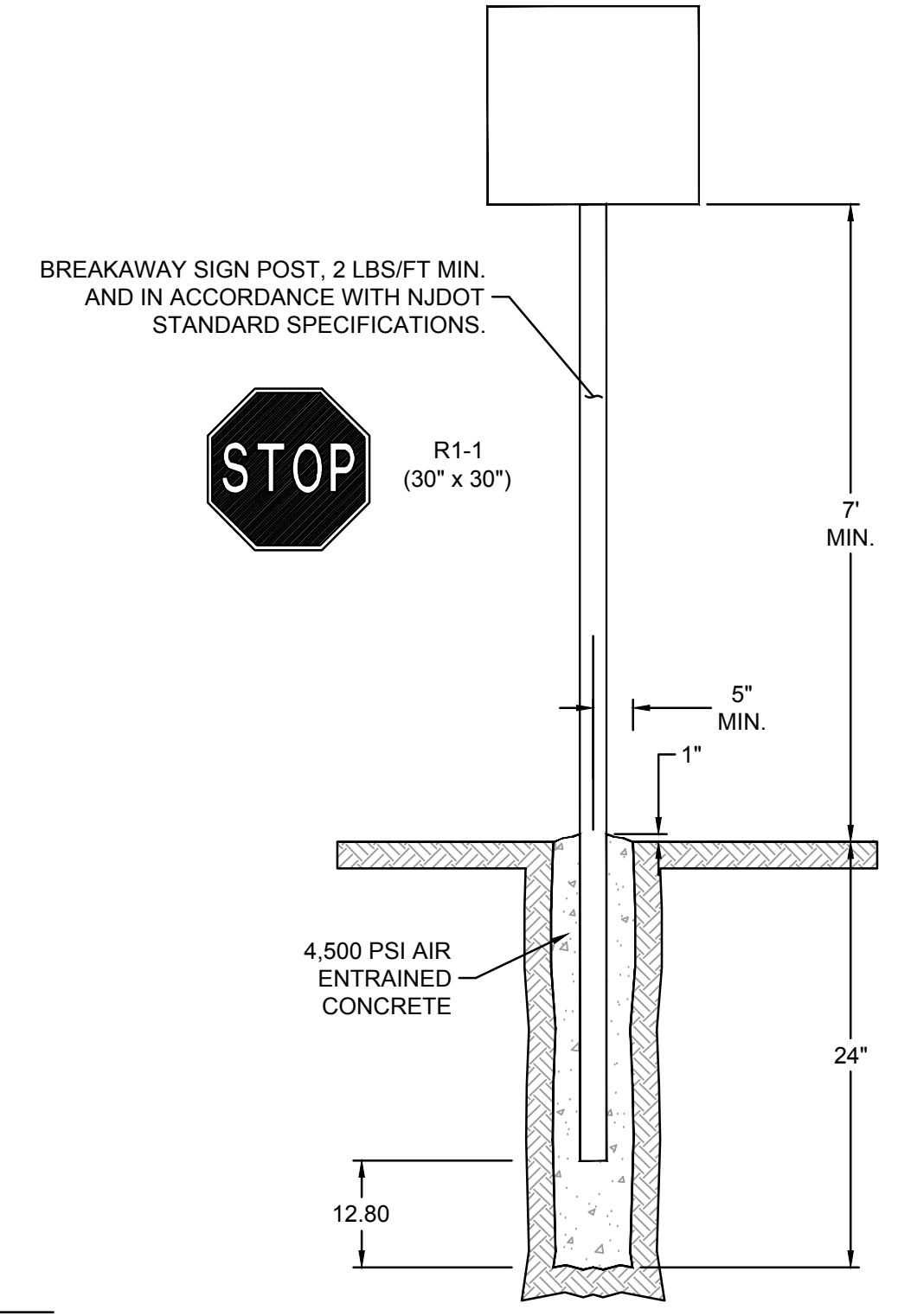


9 PARKING STALL NTS

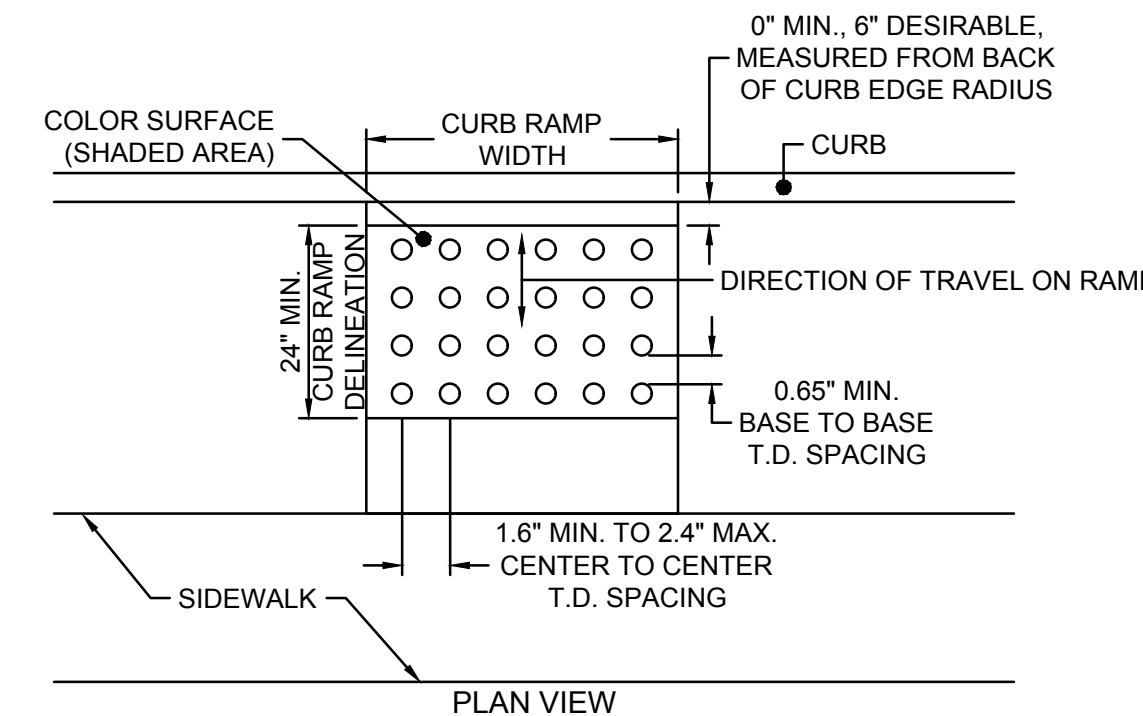
- NOTES:
- SEE PLAN FOR PARKING SPACE LOCATION AND DIMENSIONS.
 - USE THE COLOR WHITE FOR ALL NON-HANDICAP PARKING STRIPPING.



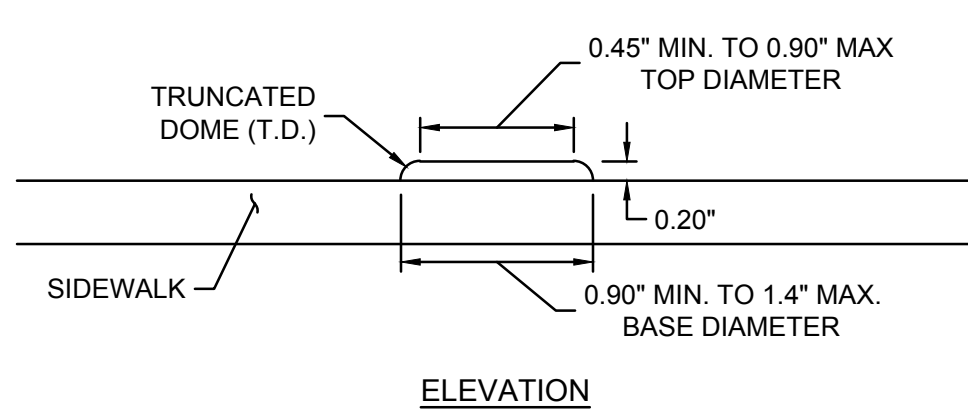
10 HANDICAP PARKING SIGN DETAIL NTS



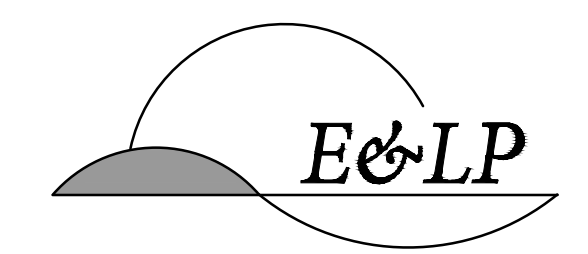
11 SIGNAGE AND SIGN POST DETAIL NTS



12 DETECTABLE WARNING SURFACE DETAIL NTS



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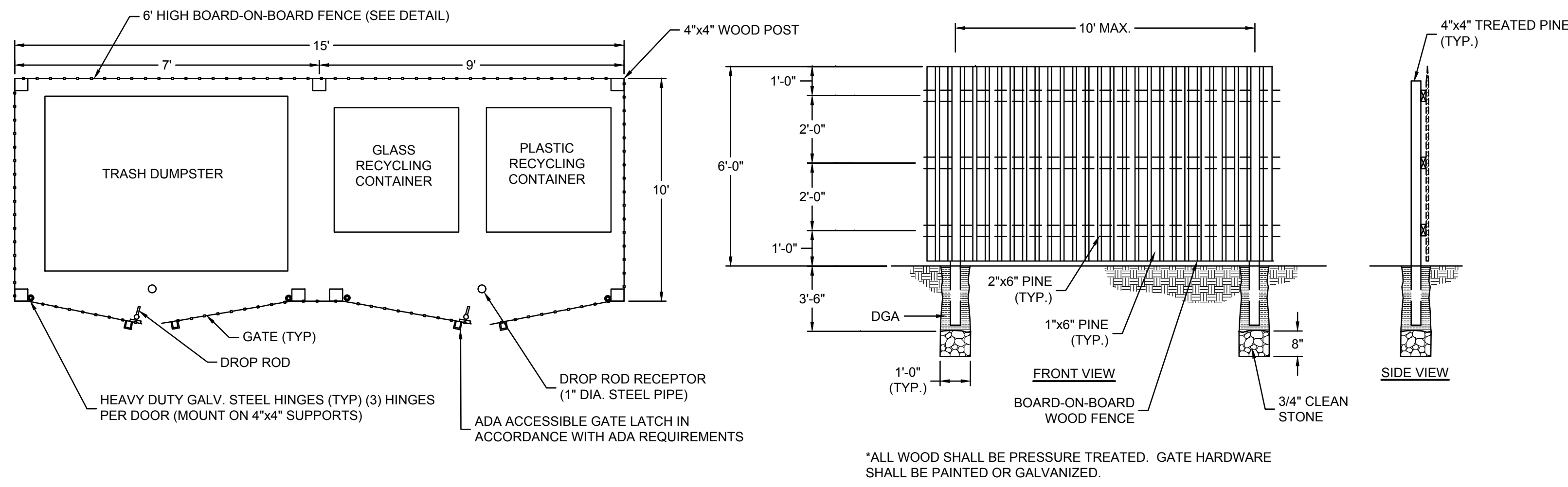
03/23/2020 DATE
 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT:
 PRELIMINARY AND FINAL
 MAJOR SITE PLAN
 16 HELLER PARK LANE
 BLOCK 514 LOT 15
 FRANKLIN TOWNSHIP

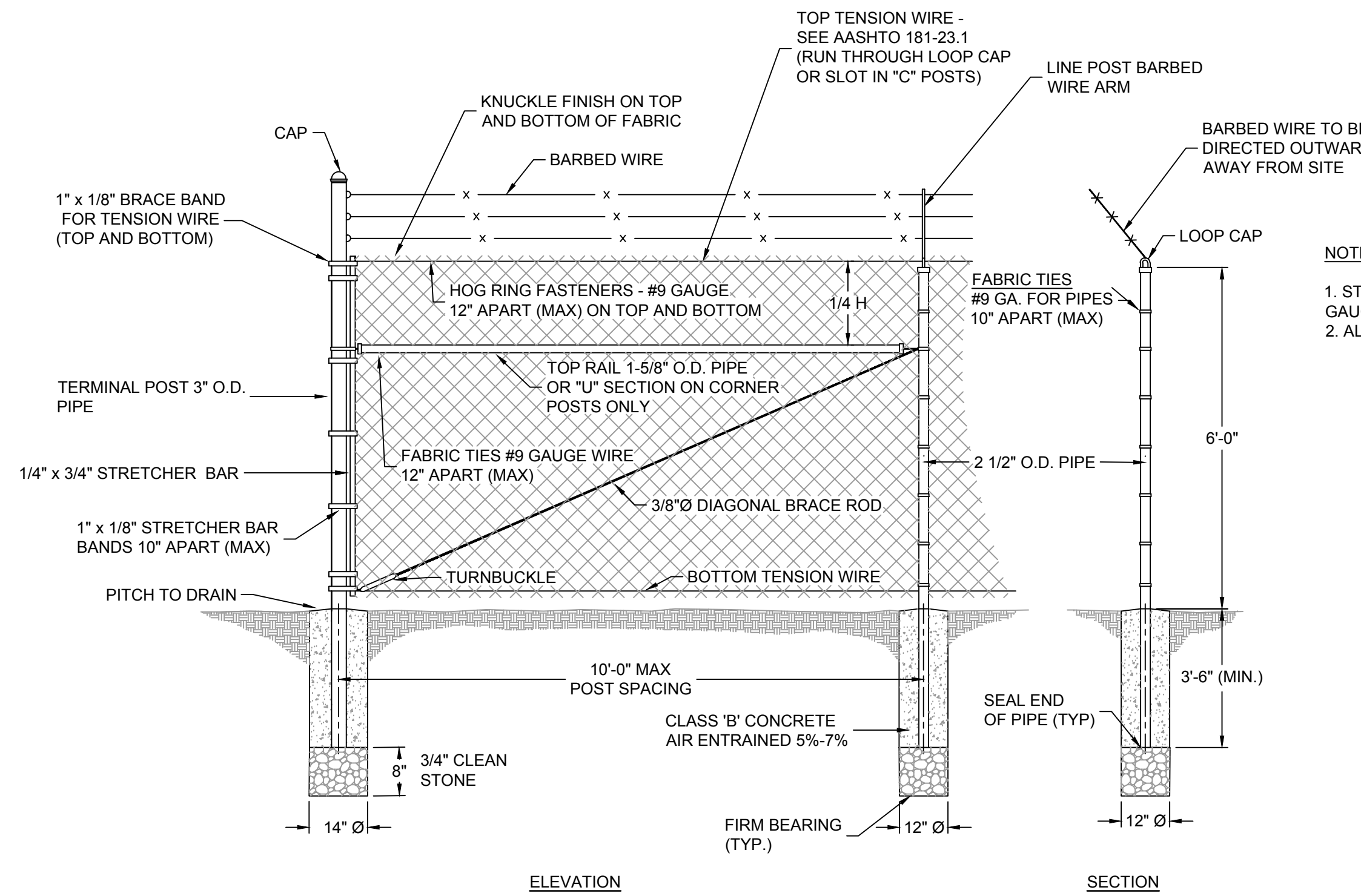
SOMERSET COUNTY NEW JERSEY

TITLE:
 CONSTRUCTION DETAILS

JOB NO.:	0119334	DRAWING NO.:	13 17
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DESIGNED:	JZ		
CHECKED:	WJI		
FILENAME:	13_DETAILS.DWG		
DATE:	03/23/2020		

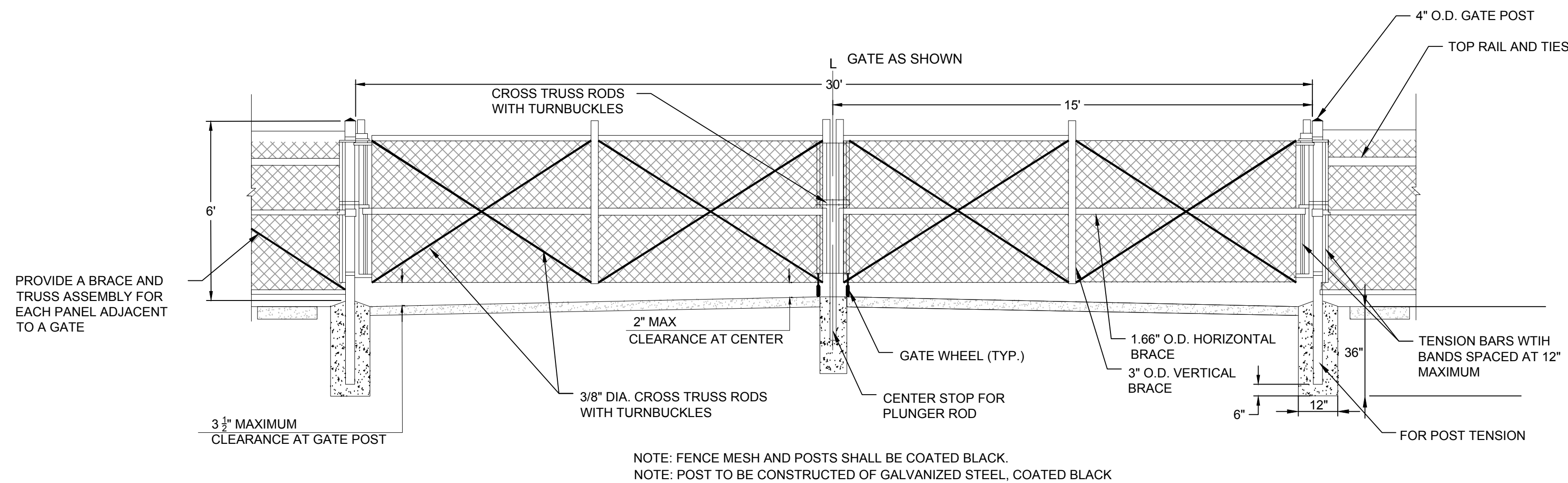


1 TRASH ENCLOSURE DETAIL

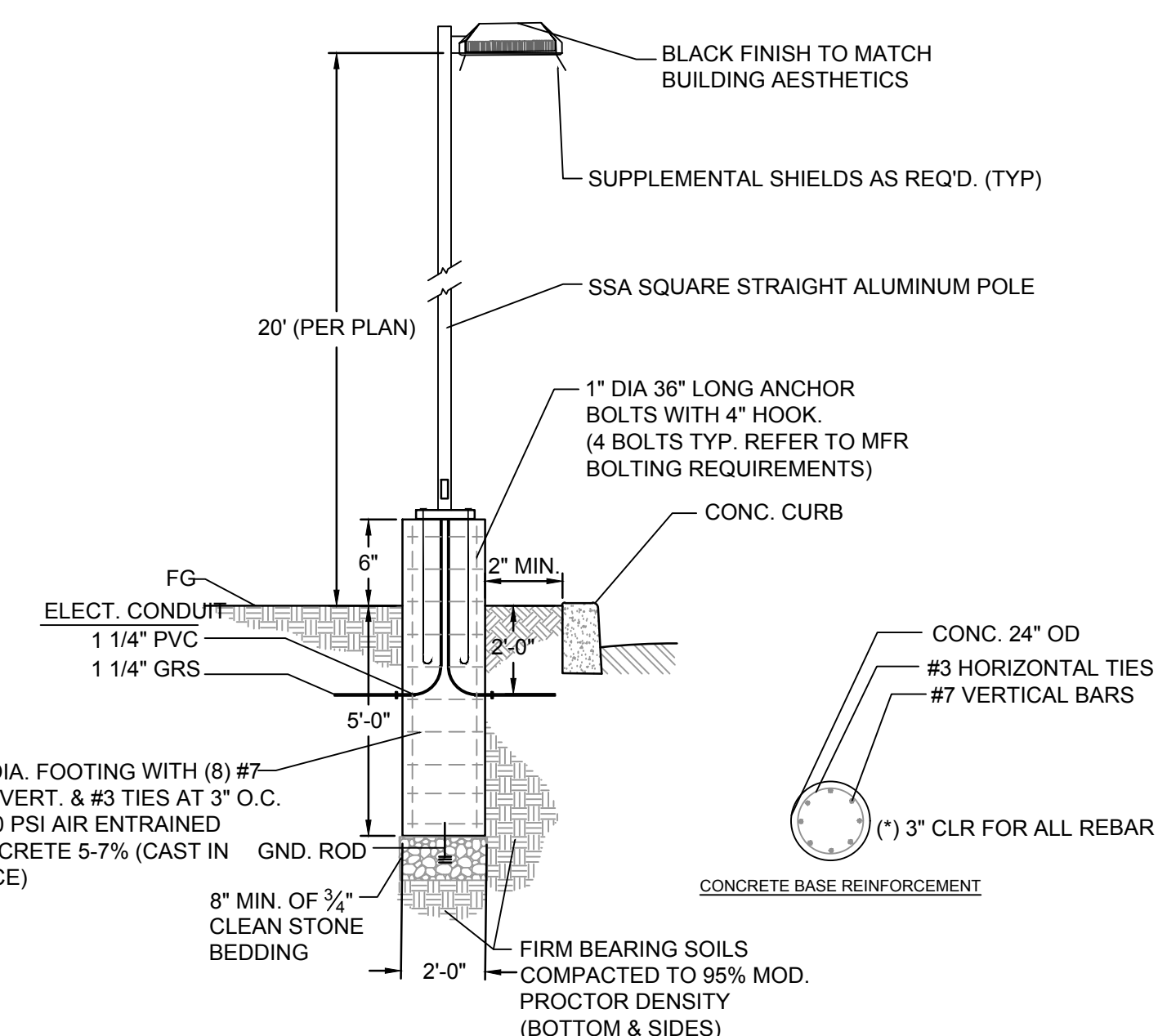


2 6' CHAIN LINK FENCE WITH BARBED WIRE DETAIL

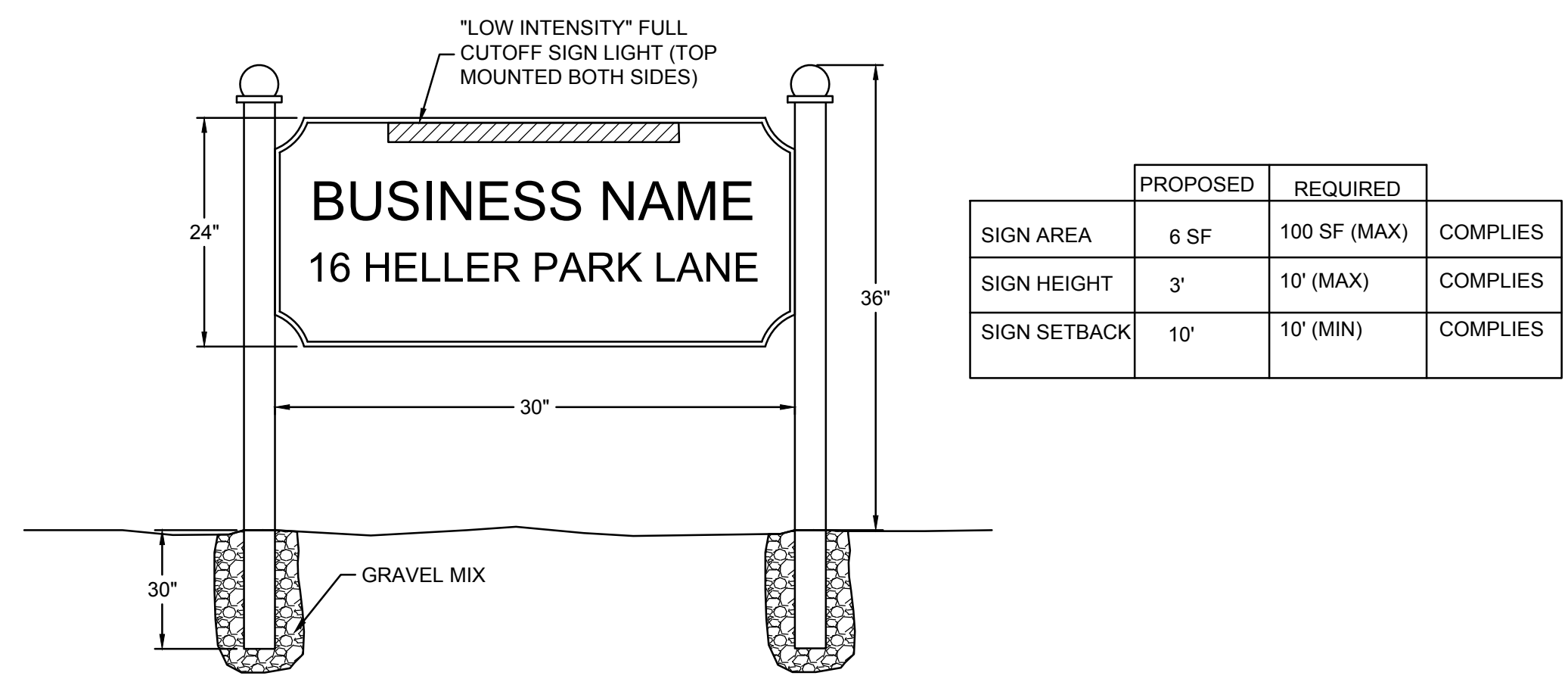
NOTES:
 1. STANDARD INDUSTRIAL: 2"x2" SQUARE #9 GAUGE FABRIC
 2. ALL PIPES TO BE TYPE I (ASTM F 1083).



3 VEHICLE ACCESS GATE DETAIL



4 TYPICAL LIGHT FIXTURE/POLE BASE DETAIL



7 FREESTANDING SIGN DETAIL

Autobahn Series ATB0 Roadway Lighting

PRODUCT OVERVIEW

Features:

OPTICAL

Same Light Performance is comparable to 70-250W HPS roadway luminaires.

White Light: Correlated color temperature - 4000K, 70 CR minimum, 3000K, 70 CR minimum or optional 5000K, 70 CR minimum.

Unique IP66 rated LED light engines provided 0% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.

ELECTRICAL

Expected life: LED light engines are rated >100,000 hours at 25°C L70. Electronic driver has an expected life of 100,000 hours at 25°C ambient.

Lowest Energy Use: as reported at 40-60% over comparable HPS luminaires.

Robust Surge Protection: Three different surge protection options provide a minimum of ANSI C136.2 10kV/5kA protection. 20kV/7.5kA protection is also available.

MECHANICAL

Includes standard AEL beam-thrower features such as tool-less entry 3-position terminal block and quick disconnects. Bubble level located inside the electrical compartment for easy leveling and adjustment.

Rugged die-cast aluminum housing and door are polyester powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a salt-crystal coverage rating of 7 (per ASTM D1654) after over 5000 hours exposure to salt fog chamber (operated per ASTM B117).

Most arm mount is adjustable for arms from 1-1/4" to 2" (1.58" to 2.38" O.D.) diameters. Provides a 36 vibration rating per ANSI C136.31.

Wildlife shield is cast into the housing (not a separate piece).

CONTROLS

NEMA 3 pin photocell receptacle is standard, with the Aclyde designed ANSI standard 7 pin receptacle optionally available.

Premium cold state sensing photo-cells (PCS) (10 year rated life) (Extreme long life solid state sensing type photo-cells - PCLL 03 year rated life).

Multi-level dimming available to provide scheduled dimming as specified by the customer.

Optional reboard Adjustable Output module allows the light output and input voltage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.

STANDARDS

DesignLight Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.dlc.com to confirm which versions are qualified.

Color temperatures of $\approx 3000K$ must be specified for International Dark-Sky Association certification.

Rated for -40°C to 40°C ambient.

CSA Certified in U.S. and Canadian standards.

Complies with ANSI C136.2, C136.10, C136.14, C136.31, C136.15, C136.37

5 POLE MOUNTED LIGHT FIXTURE A DETAIL

HOLOPHANE
 LEADER IN LIGHTING SOLUTIONS

HLWP2
 Wallpack Full Cutoff LED

Mechanical

- Heavy grade 3003 cast aluminum (aluminum with <math>< 1\%</math> copper)
- Exterior parts are protected by a zinc-nickel Super Durable DGC treatment greater than finish that provides superior resistance to corrosion and weathering
- Mounts to a standard junction box
- Sealed kit for precast mount applications mounts to 4" square electrical box
- Wet location listed
- IP65 rated housing, down light only
- 1" galvanized threaded entry (1/4" - 14 NPT) on each side and on top unless "N" and "T" needed
- 1" threaded plugs are pinned on each side
- Wet rating for surface mount: 55
- Wet rating for pendant mount: 56 at L1, excludes surface kit
- Not listed for pendant mount

Electrical

- Certified by UL or CSA
- Rated for -40°C to 40°C minimum ambient
- A programmable electronic driver with 0-10V control lead
- Available in 100-277V 50/60Hz and 50-480V 50/60Hz
- Standard LEDs shall have a minimum of 70 CR available in 3000K, 4000K and 5000K CCT
- Optional LEDs shall have a minimum of 80 CR available in 3000K, 4000K and 5000K CCT
- Anchor LED system shall limited wavelength amber and no phosphor connected amber (if used lead-free)
- Internally mounted emergency battery backup for projection beam ambient temperature range from 0°F (-17.8°C) to 104°F (40°C) (85°F), available with P30 thru P40 performance packages, see TIC component
- The electrical system for a single circuit shall be designed to meet ANSI/IEEE 68.1.2 and includes a 20kV/10kA (standard) with an optional 10kV/5kA surge protection

Optical

- The light engine housing is IP66 rated. The acrylic optical system consists of the following L.E.S. distribution:
 - Top 15° (optional, 40° standard), 15° standard (4.5° wide)
 - Asymmetric

Controls

- Field adjustable output (AO)
- Beam-type photocell (PT)
- Motion sensor & ambient photocell combination for mounting low (0-15' height) and high (15-30' height) mounting heights
- Sealed kit for precast mount applications mounts to 4" square electrical box
- Suitable for operation in an ambient temperature up to 40°C light per UL or CSA certification
- Change Light Consortium (CLC) qualified product. Not all versions of this product may be CLC qualified. Please check the CLC Qualified Products List at www.designlight.org to confirm which versions are qualified.
- UL 729 compliant
- The projected LED Lumen Maintenance shall be based only on UL 864-08 and 104-12

Warranty

5 year limited warranty. Complete warranty terms located at www.holophane.com/CustomerResources/Terms_and_Conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

2 LEM CONFIGURATION

1 LEM CONFIGURATION

BACK BOX

3/4" THERMOPLASTIC PAINTED PLUG (3/4" x 1/4" NPT)

11.54

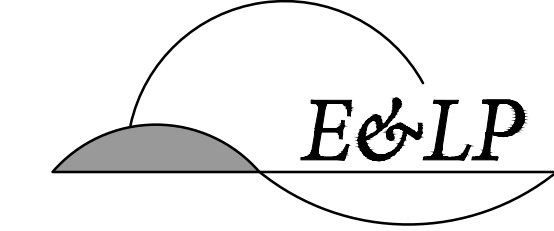
11.53

4.26

2.38

6 BUILDING MOUNTED LIGHT FIXTURE B DETAIL

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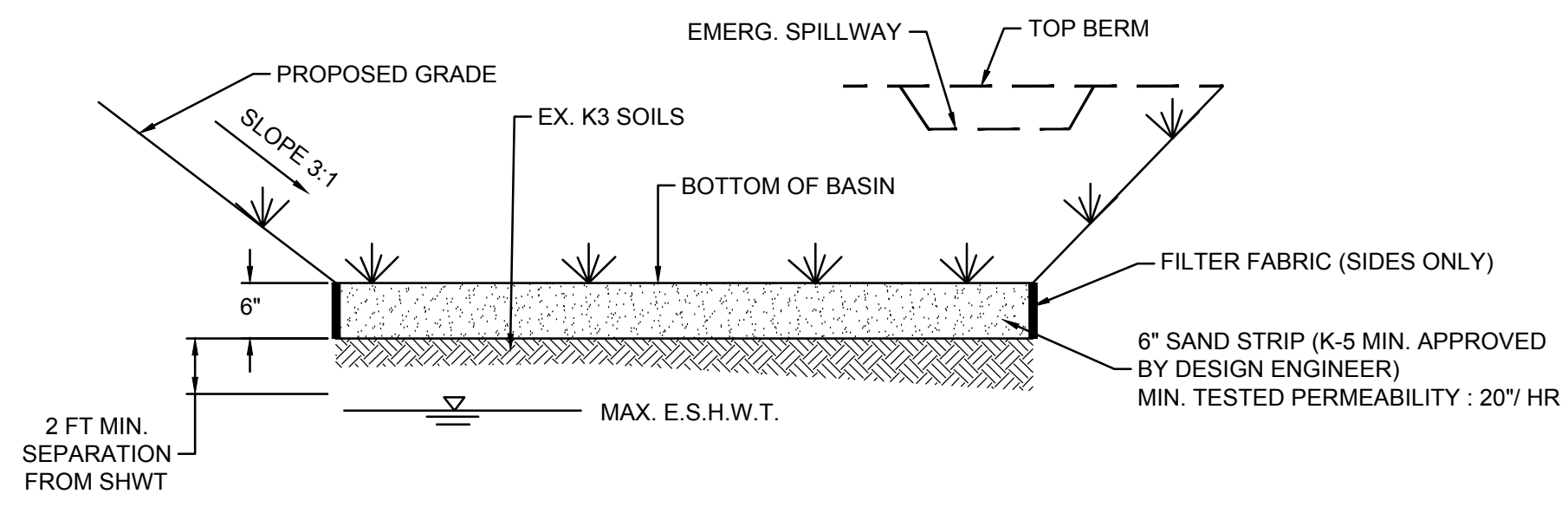
03/23/2020 DATE
 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT:
 PRELIMINARY AND FINAL
 MAJOR SITE PLAN
 16 HELLER PARK LANE
 BLOCK 514 LOT 15
 FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

CONSTRUCTION DETAILS

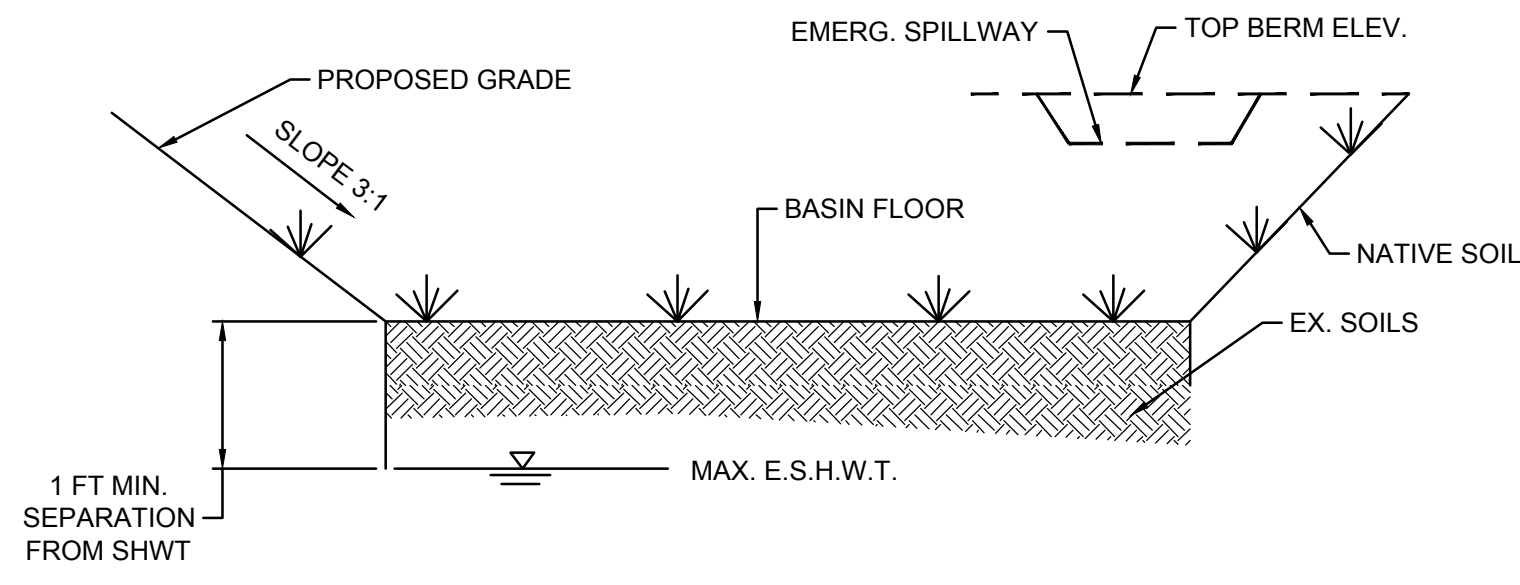
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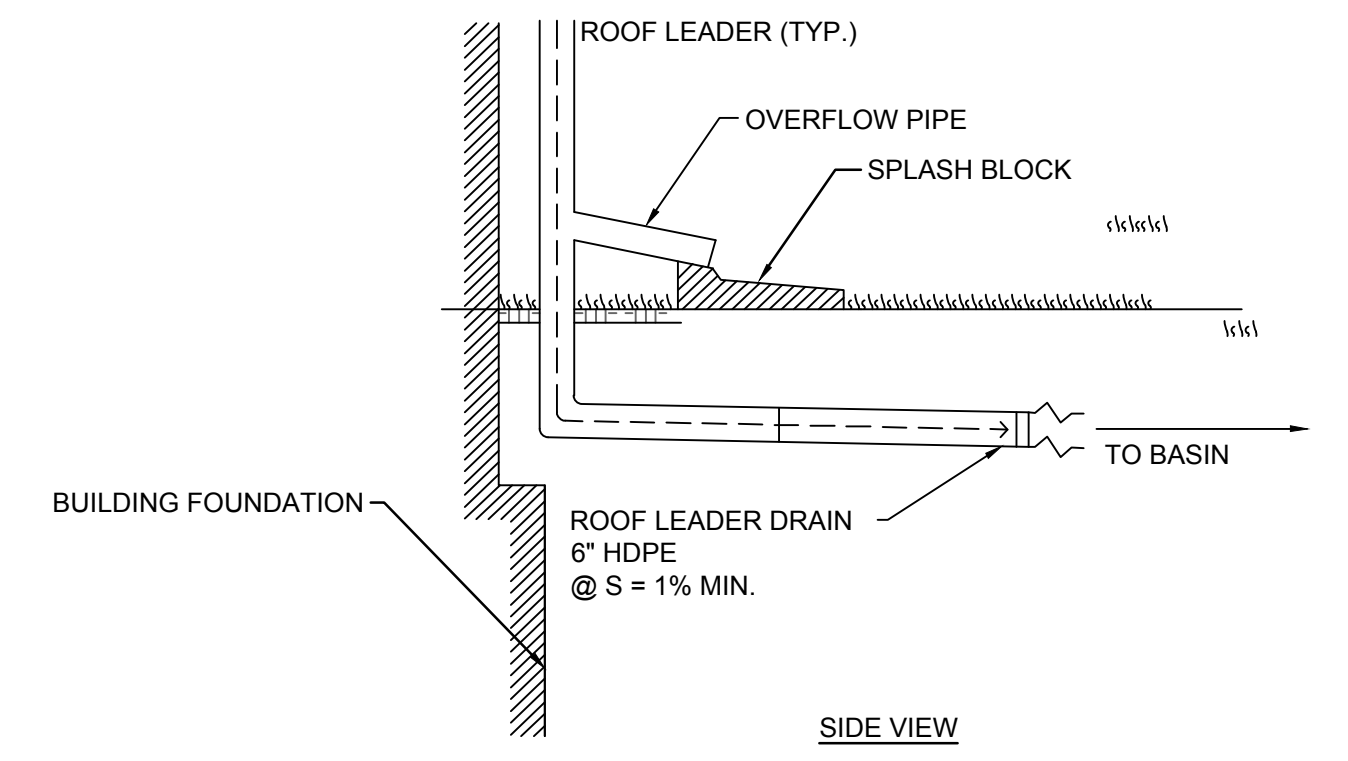
SAND LAYER NOTES AND SPECIFICATIONS:

1. TO ENSURE THAT THE DESIGN PERMEABILITY RATE IS MAINTAINED OVER TIME, A SAND LAYER IS REQUIRED AT THE BOTTOM OF EVERY SURFACE TYPE INFILTRATION BASIN.
2. THE MINIMUM DEPTH OF SAND IS 6 INCHES.
3. THE SAND MUST MEET ALL THE SPECIFICATIONS FOR CLEAN, MEDIUM-AGGREGATE CONCRETE SAND IN ACCORDANCE WITH AASHTO M-6 OR ASTM C-33, AS CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW JERSEY.
4. THE MAXIMUM PERCENTAGE OF FINES IS 15%.
5. THE MINIMUM TESTED PERMEABILITY RATE IS 20 INCHES/HOUR.
6. THE USE OF TOP SOIL AND VEGETATION IS PROHIBITED.
7. FILTER FABRIC IS REQUIRED ALONG THE SIDES OF THE INFILTRATION BASIN TO PREVENT THE MIGRATION OF FINE PARTICLES FROM THE SURROUNDING SOIL; FILTER FABRIC MAY NOT BE USED ALONG THE BOTTOM OF THE BASIN BECAUSE IT MAY RESULT IN A LOSS OF PERMEABILITY.

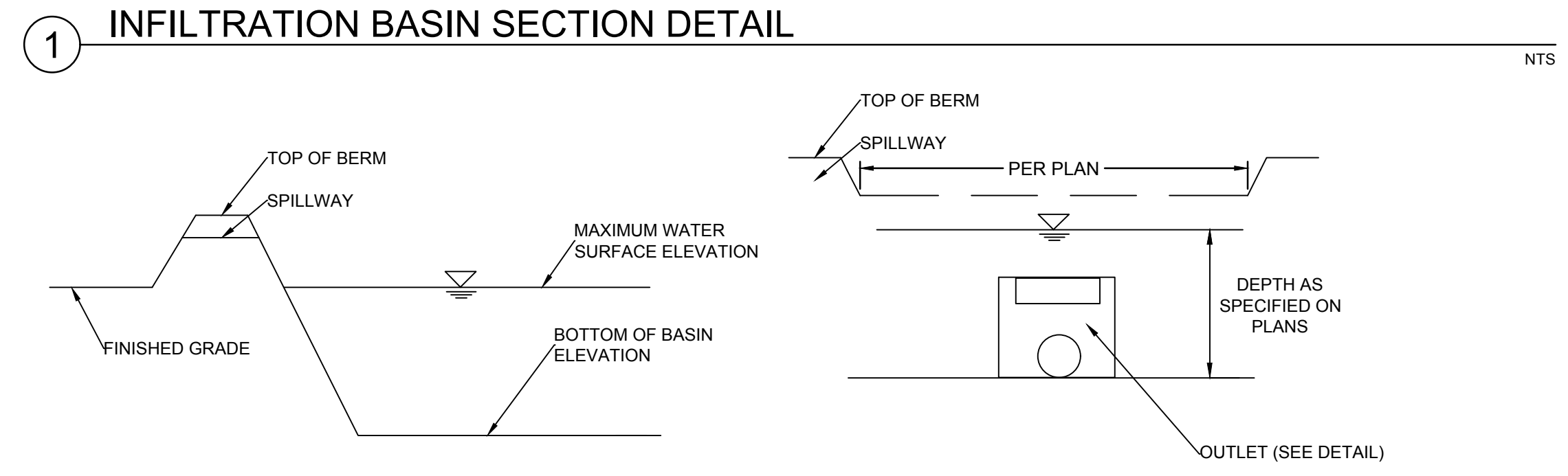
- BASIN CONSTRUCTION NOTES:**
1. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF THE PROPOSED BASIN.
 2. THE LOCATION OF THE PROPOSED BASIN MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES.
 3. THE USE OF THE LOCATION PROPOSED FOR A BASIN TO PROVIDE SEDIMENT CONTROL DURING CONSTRUCTION IS DISCOURAGED; HOWEVER, WHEN UNAVOIDABLE, EXCAVATION FOR THE SEDIMENT CONTROL BASIN MUST BE AT LEAST 2 FEET ABOVE THE FINAL DESIGN ELEVATION OF THE BASIN BOTTOM.
 4. EXCAVATION AND CONSTRUCTION OF A BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN.
 5. THE EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE BASIN BOTTOM MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF THE BASIN CANNOT BE DELAYED, BERMS MUST BE PLACED AROUND THE PERIMETER OF THE BASIN DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL FLOWS AWAY FROM THE BASIN. THE BERMS MAY NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE DRAINAGE AREA IS COMPLETED, AND THE AREA IS STABILIZED.
 6. THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO BASIN USE.



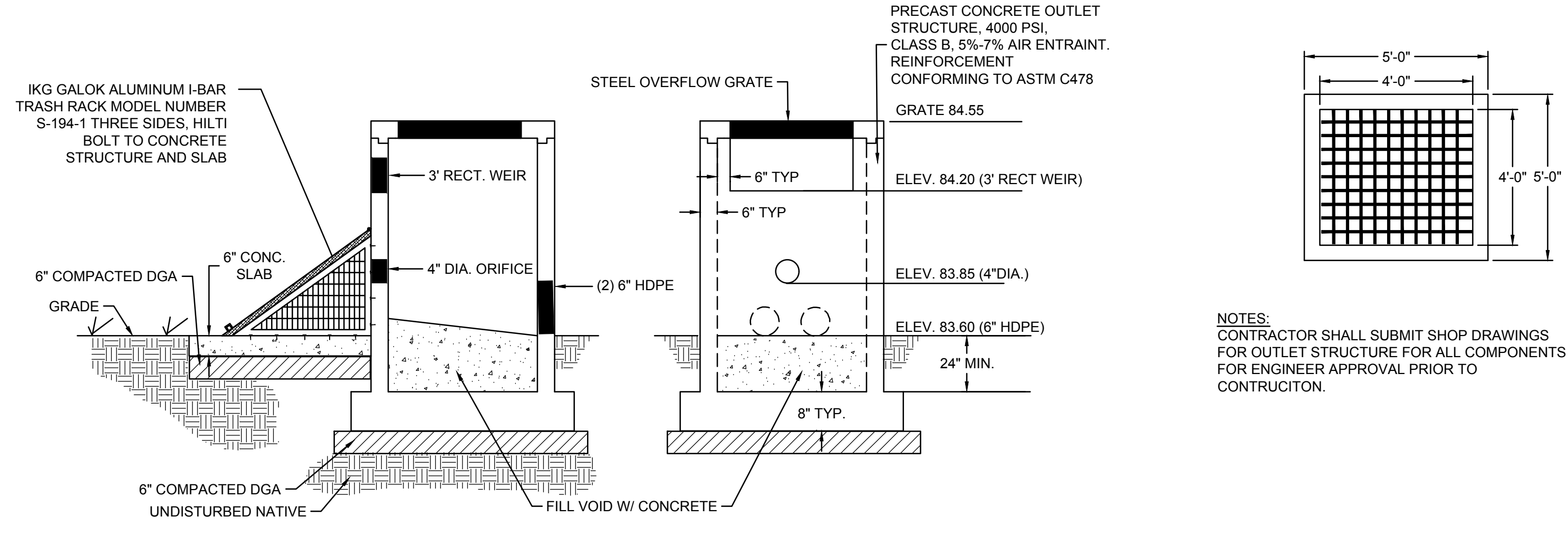
2 DETENTION BASIN SECTION DETAIL NTS



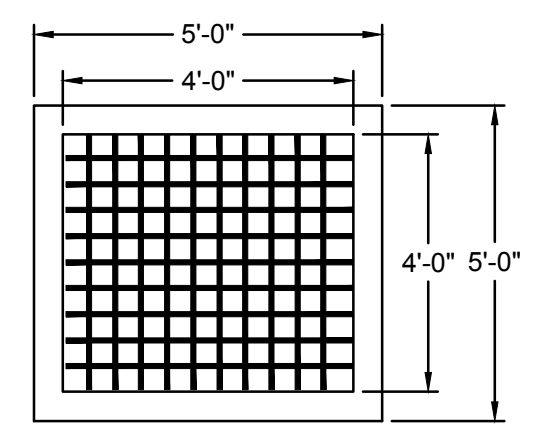
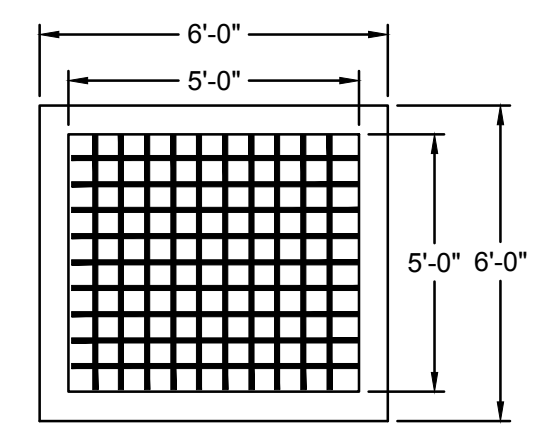
3 ROOFLEADER DETAIL NTS



4 EMERGENCY SPILLWAY DETAIL NTS

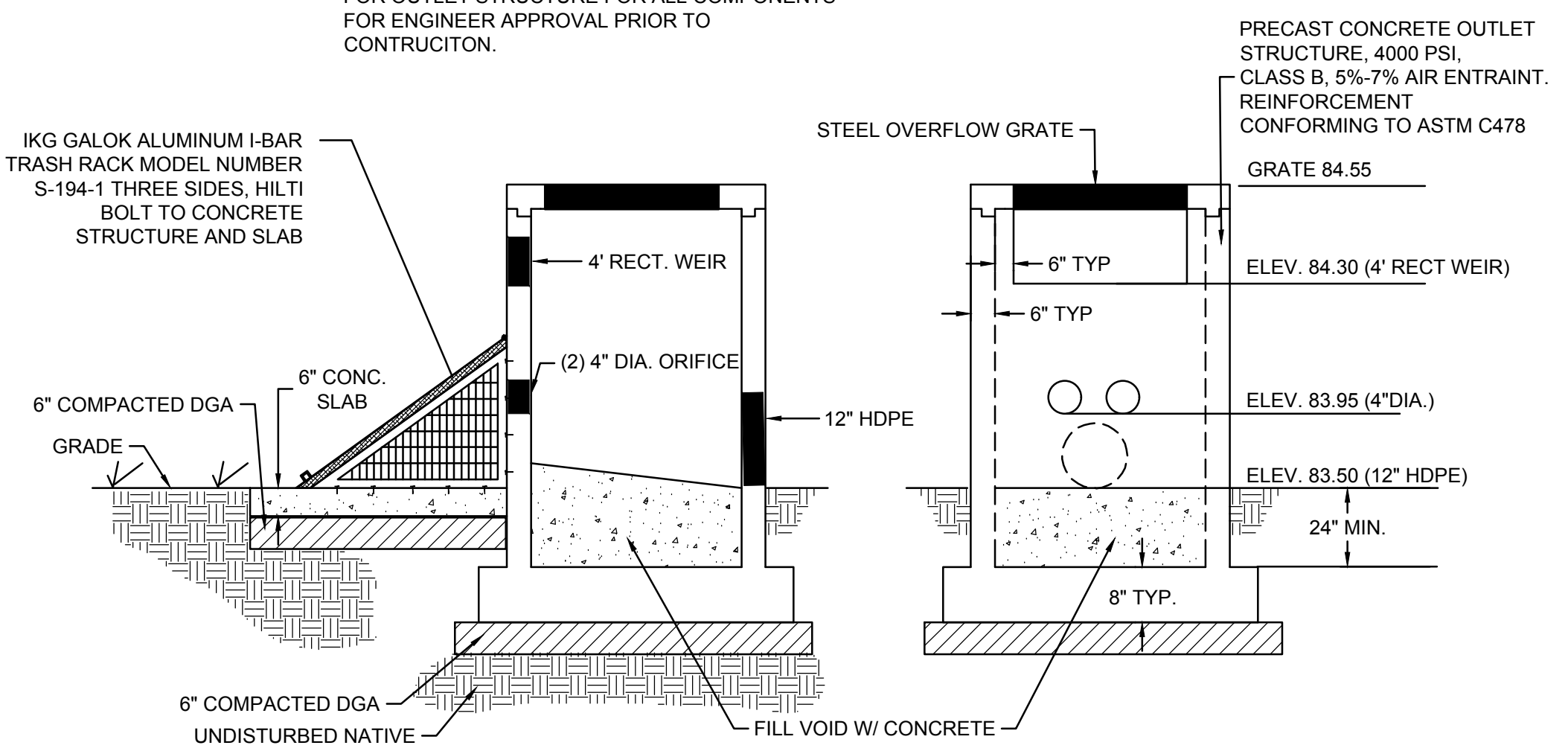


5 OUTLET CONTROL STRUCTURE DETAIL (OCS#1) NTS

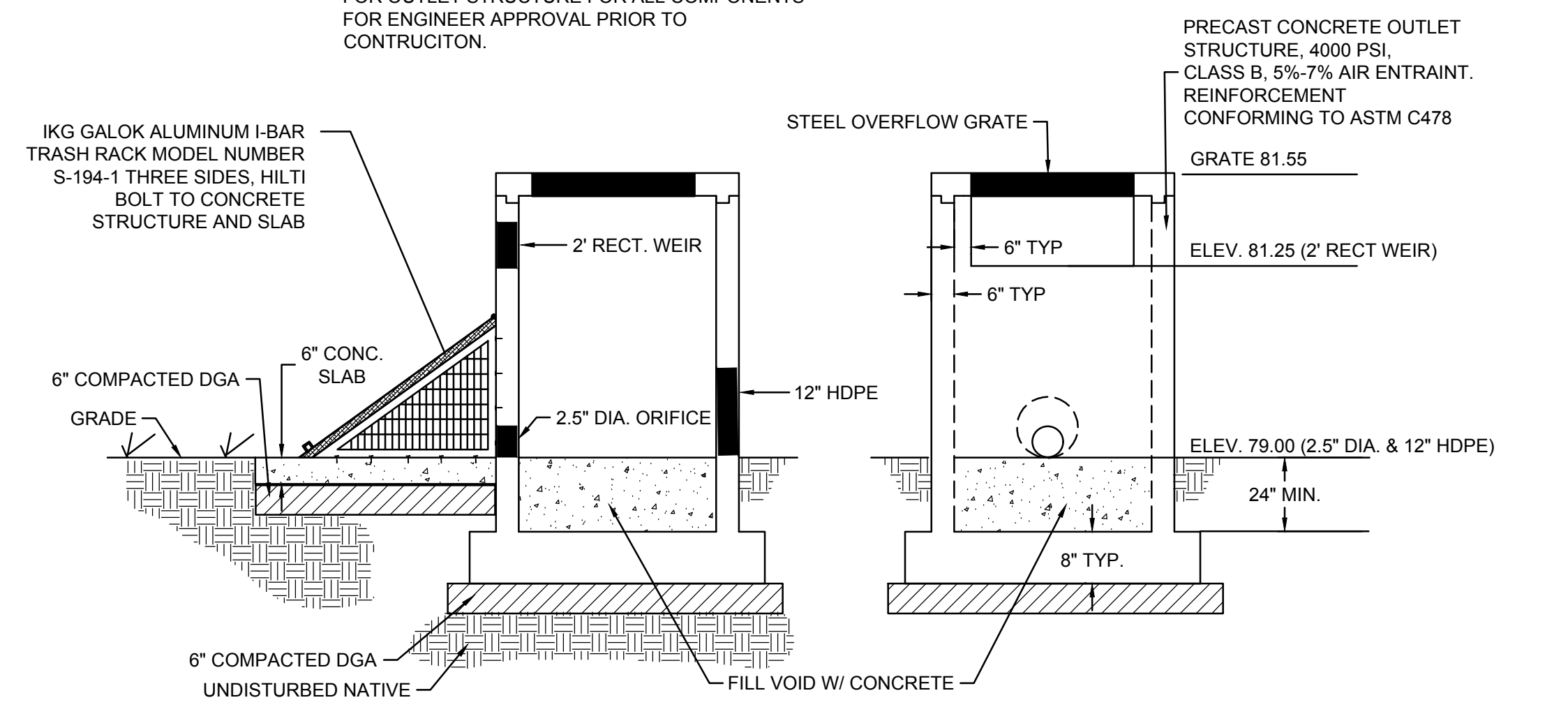


NOTES:
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR OUTLET STRUCTURE FOR ALL COMPONENTS FOR ENGINEER APPROVAL PRIOR TO CONSTRUCTION.

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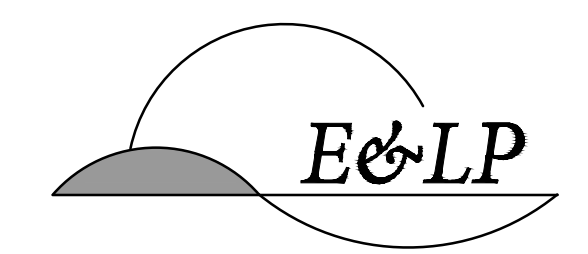


6 OUTLET CONTROL STRUCTURE DETAIL (OCS#2) NTS



7 OUTLET CONTROL STRUCTURE DETAIL (OCS#3) NTS

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PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

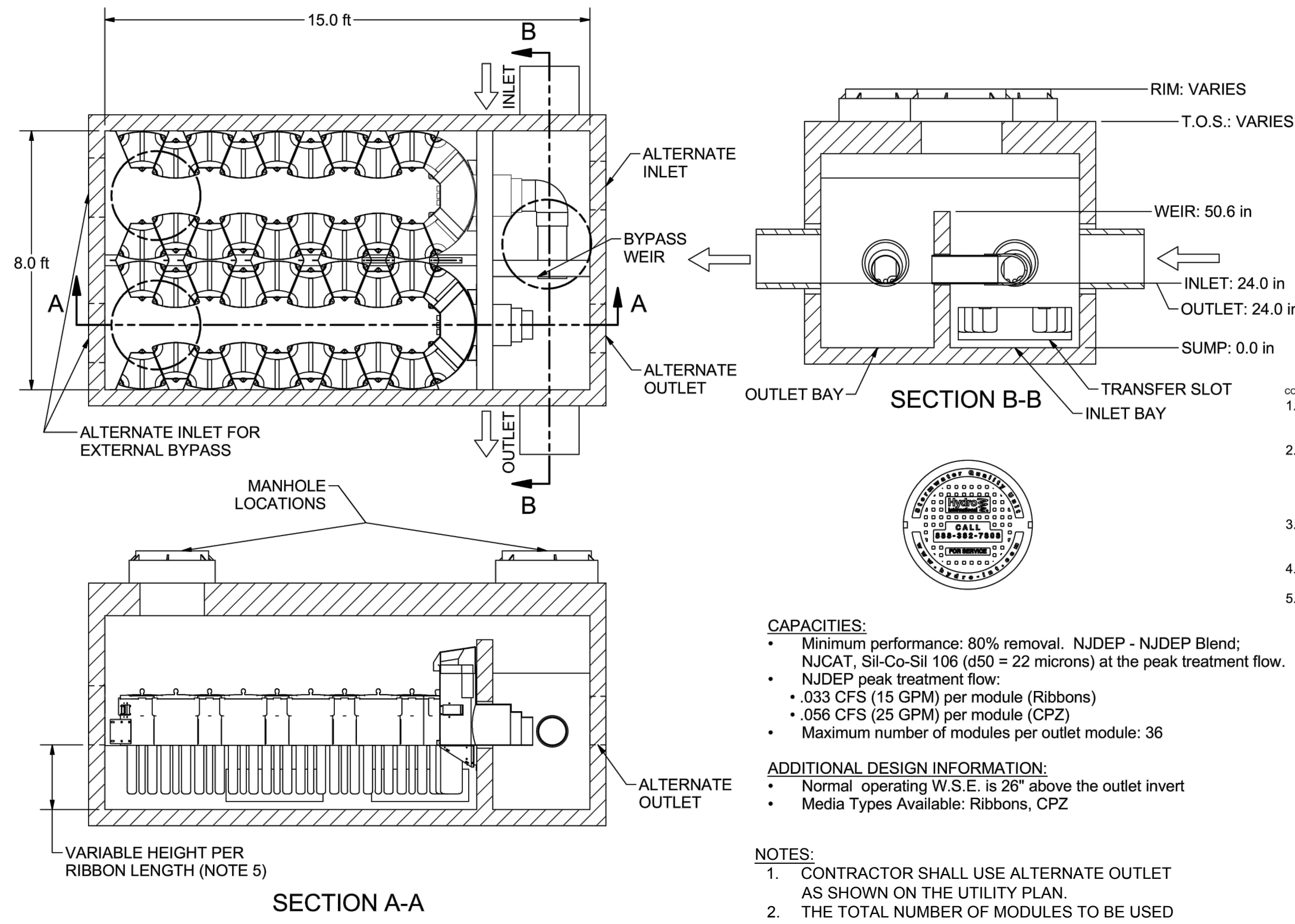
PROJECT:
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MAJOR SITE PLAN
16 HELLER PARK LANE
BLOCK 514 LOT 15
FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

TITLE:

CONSTRUCTION DETAILS

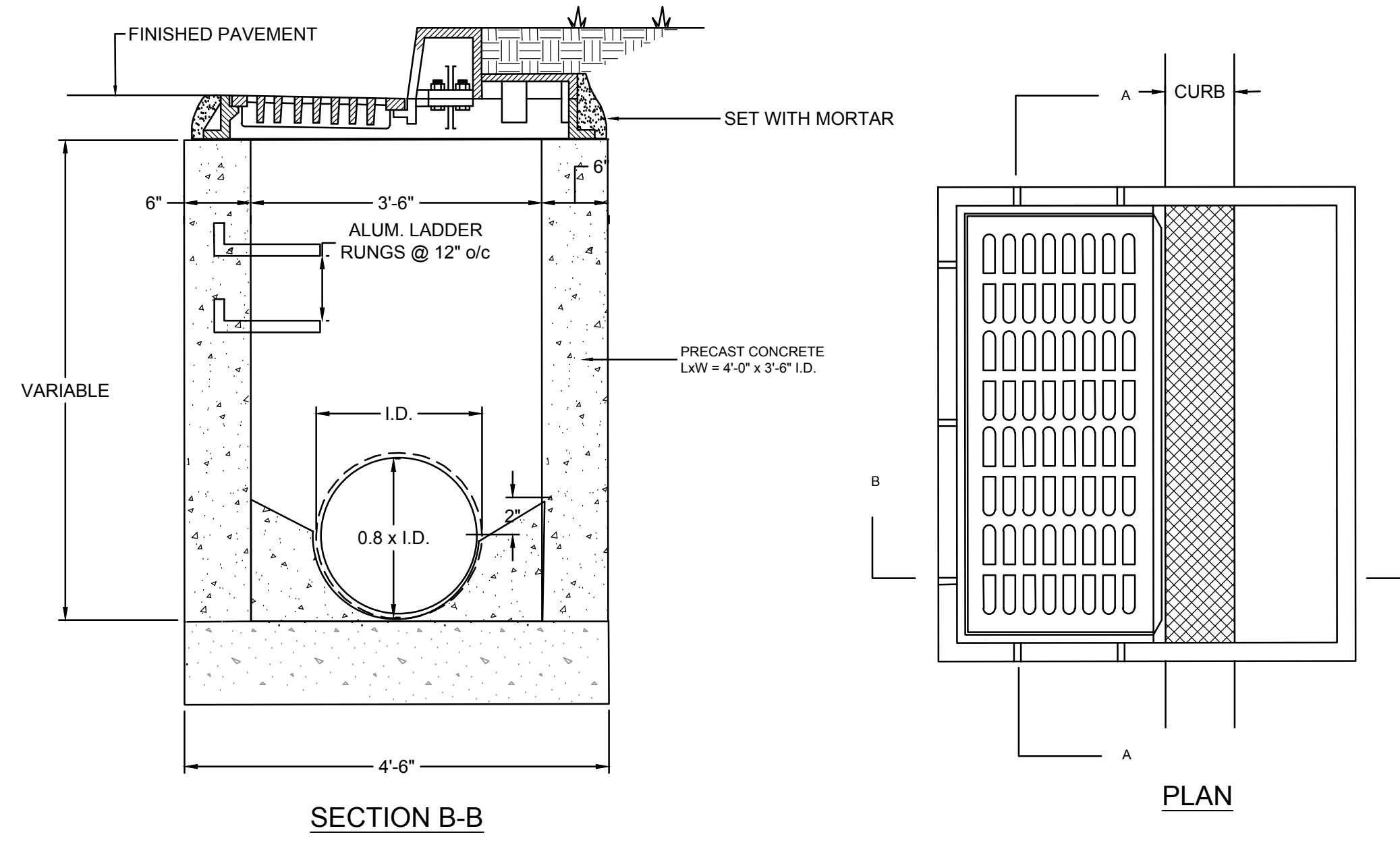
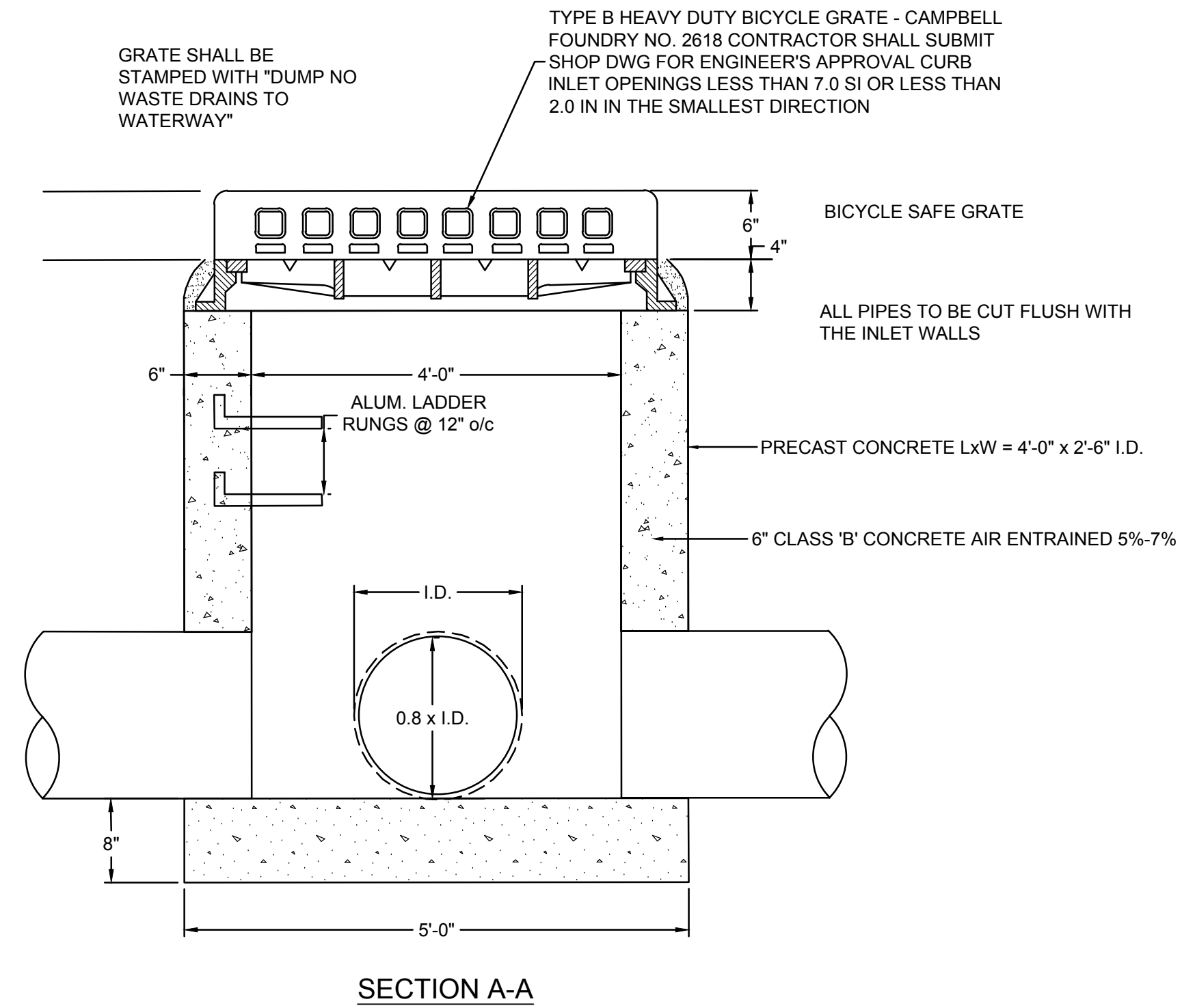
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SCALE:	AS SHOWN		
DESIGNED:	JZ		
CHECKED:	WJI		
FILENAME:	15_DETAILS.DWG		
DATE:	03/23/2020		



- CAPACITIES:**
- Minimum performance: 80% removal. NJDEP - NJDEP Blend; NJCAT, Sil-Co-Sil 106 (d50 = 22 microns) at the peak treatment flow.
 - NJDEP peak treatment flow:
 - .033 CFS (15 GPM) per module (Ribbons)
 - .056 CFS (25 GPM) per module (CPZ)
 - Maximum number of modules per outlet module: 36
- ADDITIONAL DESIGN INFORMATION:**
- Normal operating W.S.E. is 25" above the outlet invert
 - Media Types Available: Ribbons, CPZ

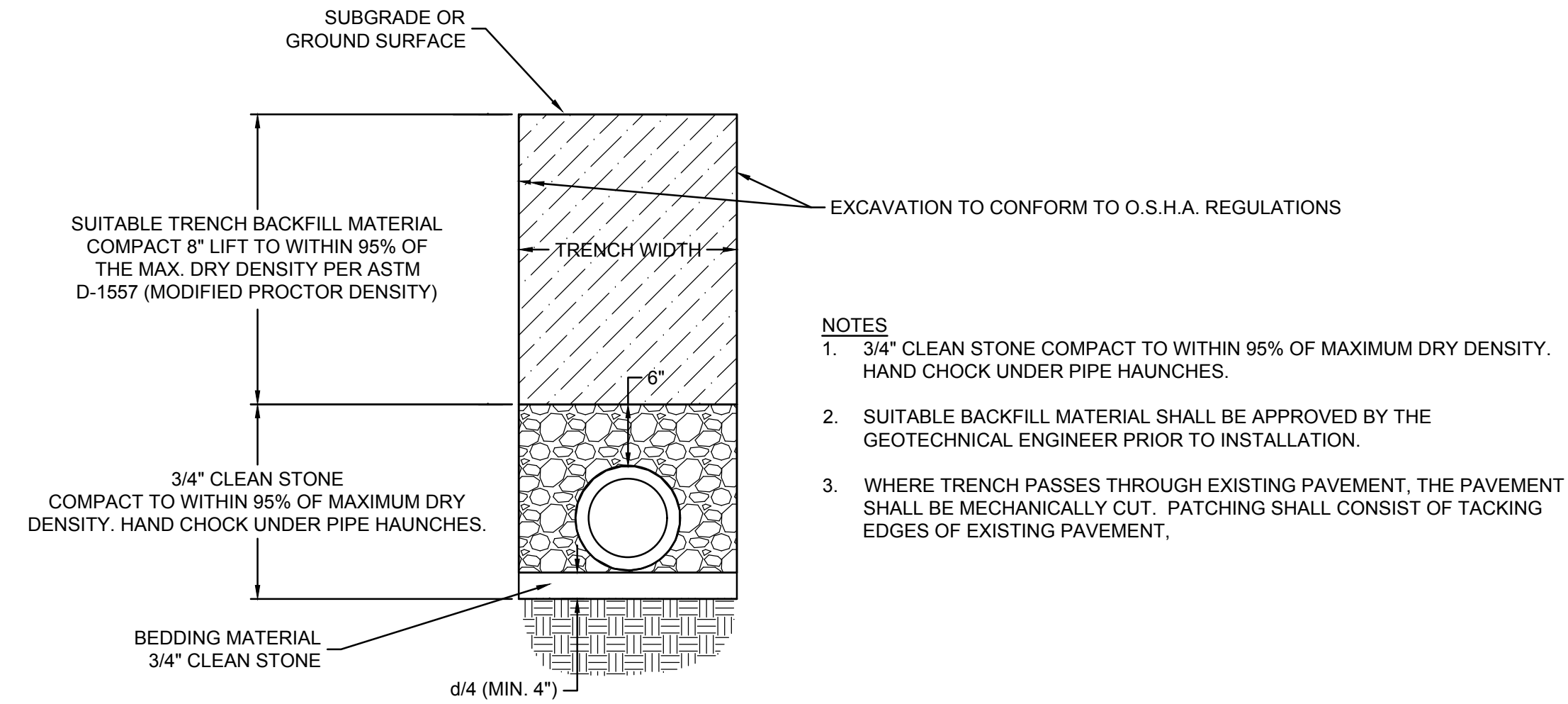
- NOTES:**
1. CONTRACTOR SHALL USE ALTERNATE OUTLET AS SHOWN ON THE UTILITY PLAN.
 2. THE TOTAL NUMBER OF MODULES TO BE USED WITH THIS UNIT IS 29 (15 GPM)

- COMMENTS:**
1. STRUCTURE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
 2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING THE STRUCTURE.
 3. NOT FOR CONSTRUCTION. CONTACT HYDRO FOR SITE SPECIFIC DRAWING.
 4. NOT ALL SIZES AVAILABLE IN ALL AREAS.
 5. SUMP DEPTH AVAILABLE IN 24" AND 36" DEPTHS.

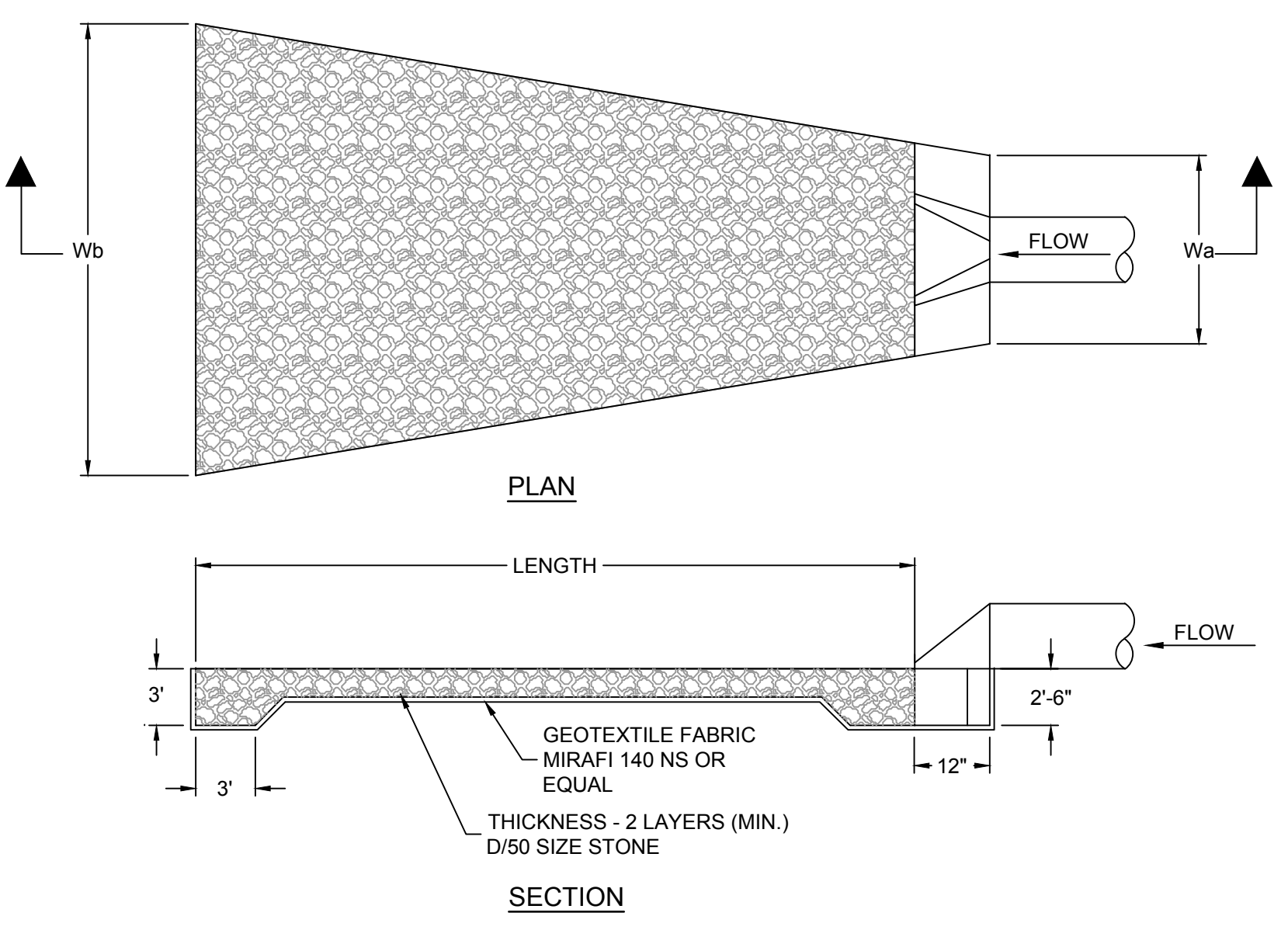


2 TYPE B INLET DETAIL

1 8'X18.5' UP-FLO FILTER MANUFACTURED TREATMENT DEVICE DETAIL



- NOTES:**
1. 3/4" CLEAN STONE COMPACT TO WITHIN 95% OF MAXIMUM DRY DENSITY. HAND CHOCK UNDER PIPE HAUNCHES.
 2. SUITABLE BACKFILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.
 3. WHERE TRENCH PASSES THROUGH EXISTING PAVEMENT, THE PAVEMENT SHALL BE MECHANICALLY CUT. PATCHING SHALL CONSIST OF TACKING EDGES OF EXISTING PAVEMENT.

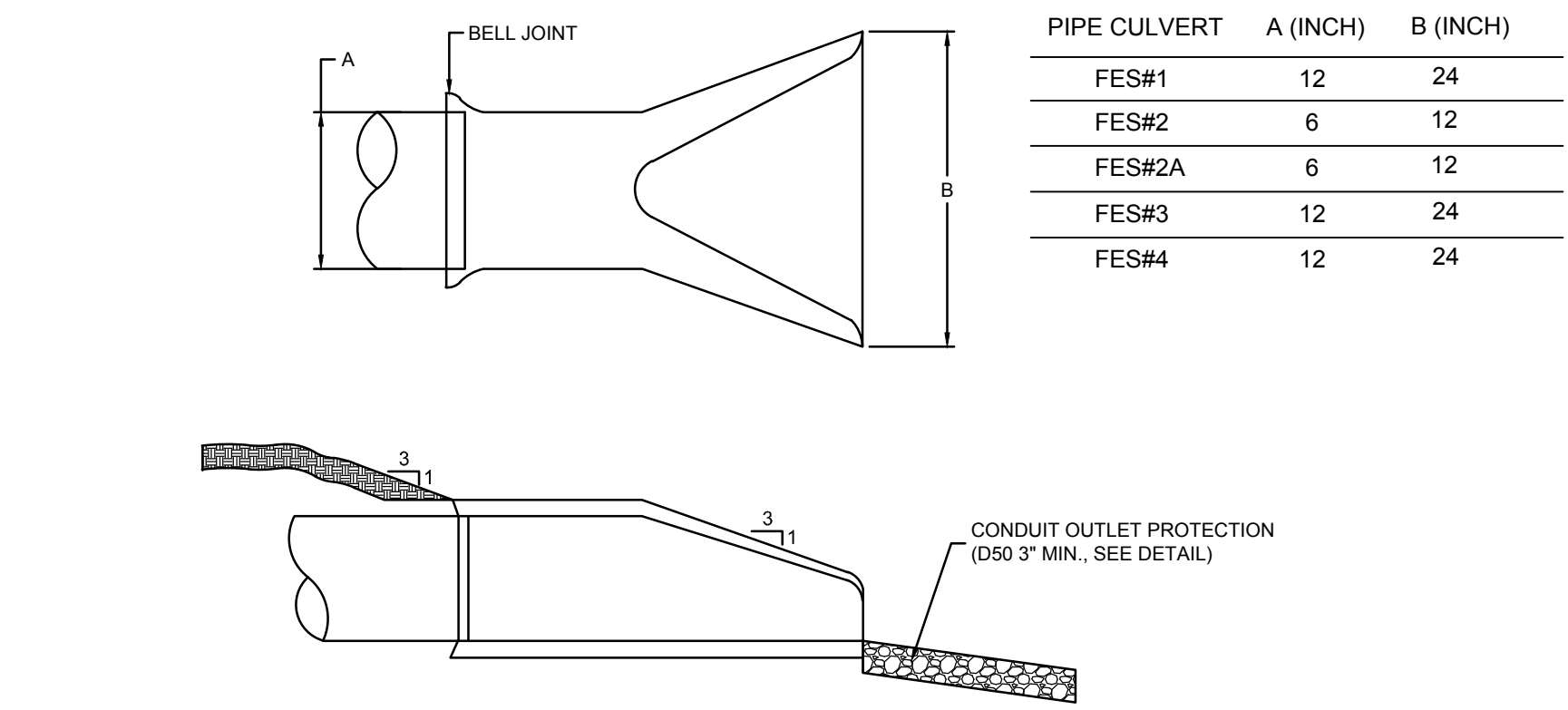


- NOTES:**
1. RIP-RAP SHALL EXTEND 2' ABOVE BOTTOM OF PIPE CULVERT ON DOWNSTREAM END IN ACCORDANCE WITH SECTION 12-3 "STANDARDS FOR CONDUIT OUTLET PROTECTION" OF THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
 2. BOTTOM WIDTH OF THE RIP-RAP SHALL EQUAL BOTTOM WIDTH OF THE CHANNEL & THE HEIGHT OF THE LINING SHALL EXTEND A MINIMUM OF 8" VERTICALLY FROM THE INVERT OF CULVERT PIPE.

PIPE CULVERT	LENGTH (FT)	WIDTH (FT) Wa	WIDTH (FT) Wb	D50 SIZE (IN)
FES#1	9.00	3.00	12.00	3.00

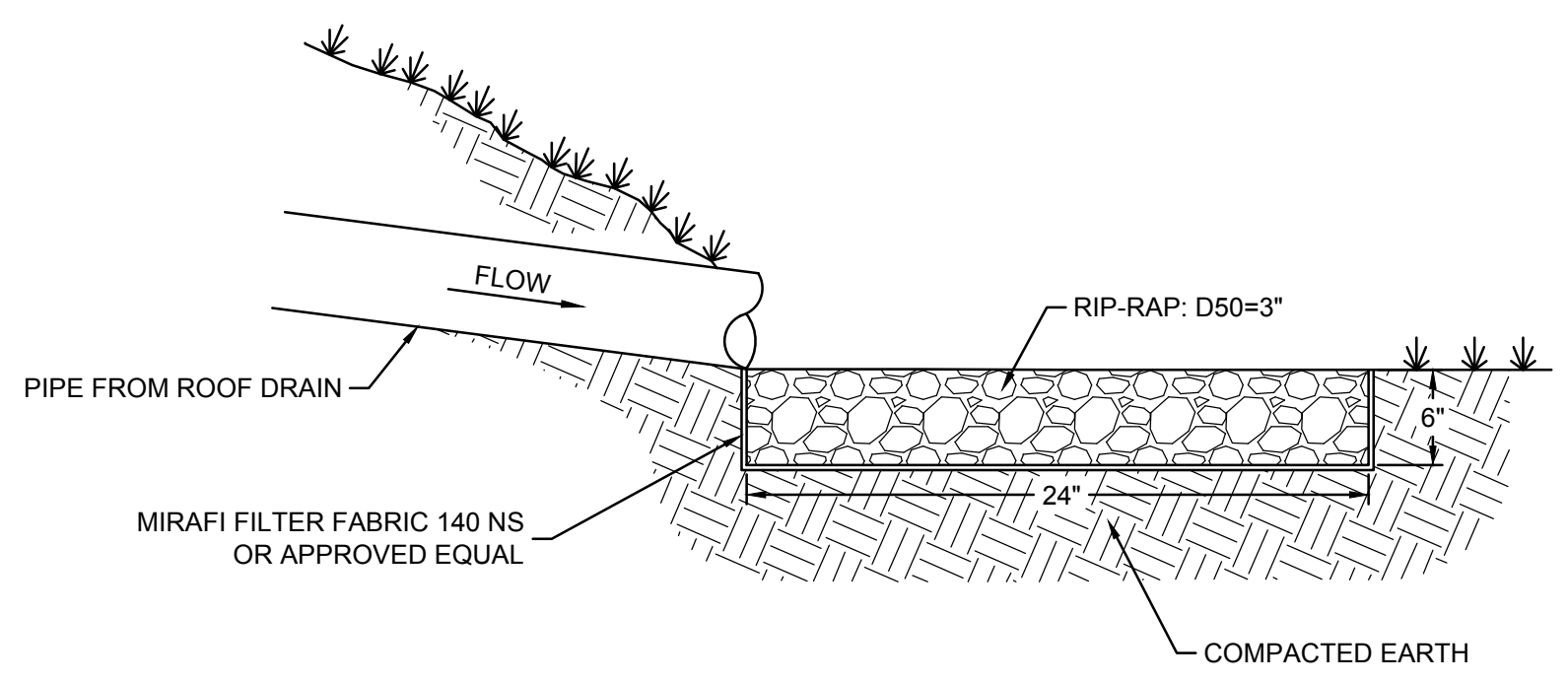
4 RIP-RAP CONDUIT OUTLET PROTECTION DETAIL

3 TYPICAL TRENCH DETAIL FOR HDPE STORM PIPE

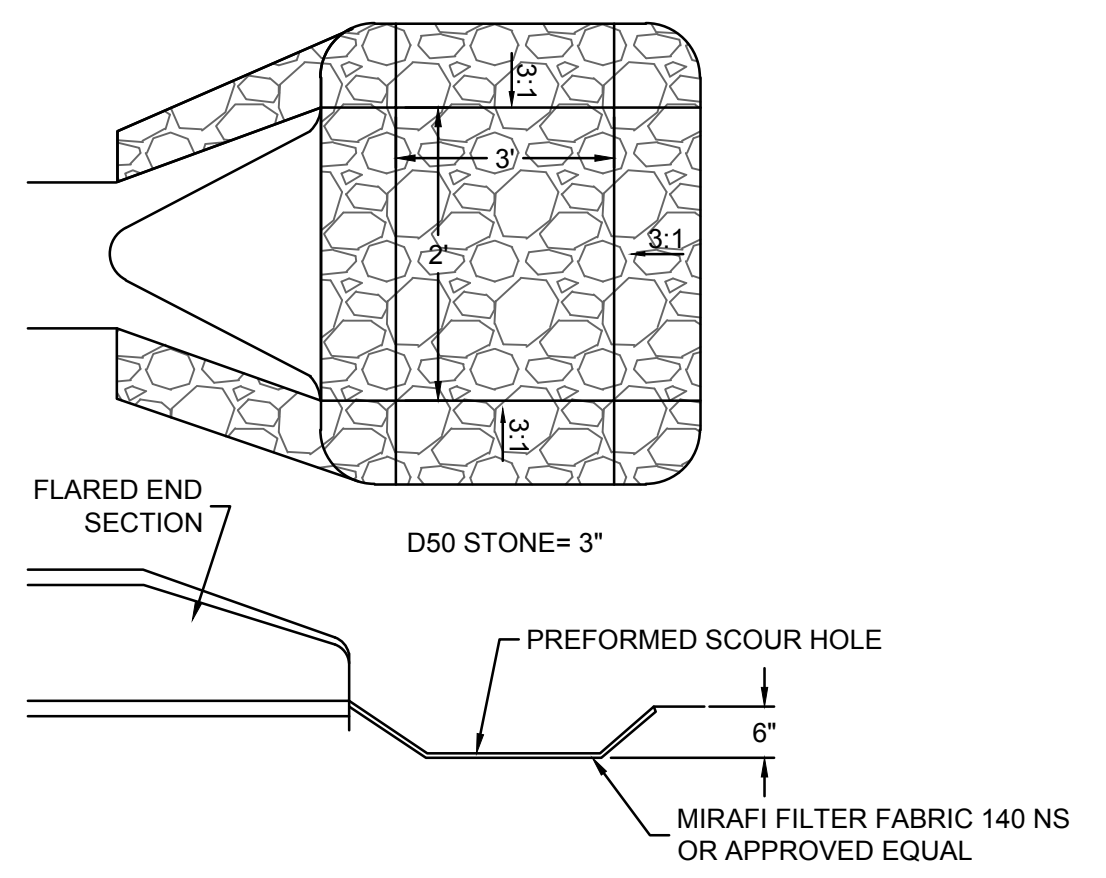


PIPE CULVERT	A (INCH)	B (INCH)
FES#1	12	24
FES#2	6	12
FES#2A	6	12
FES#3	12	24
FES#4	12	24

6 ROOF LEADER DISCHARGE DETAIL



7 PREFORMED SCOUR HOLE DETAIL



5 HDPE FLARED END SECTION DETAIL

NTS
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140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
 PH. 908-238-0544 FAX. 908-238-9572
 A PROFESSIONAL ASSOCIATION
 CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE

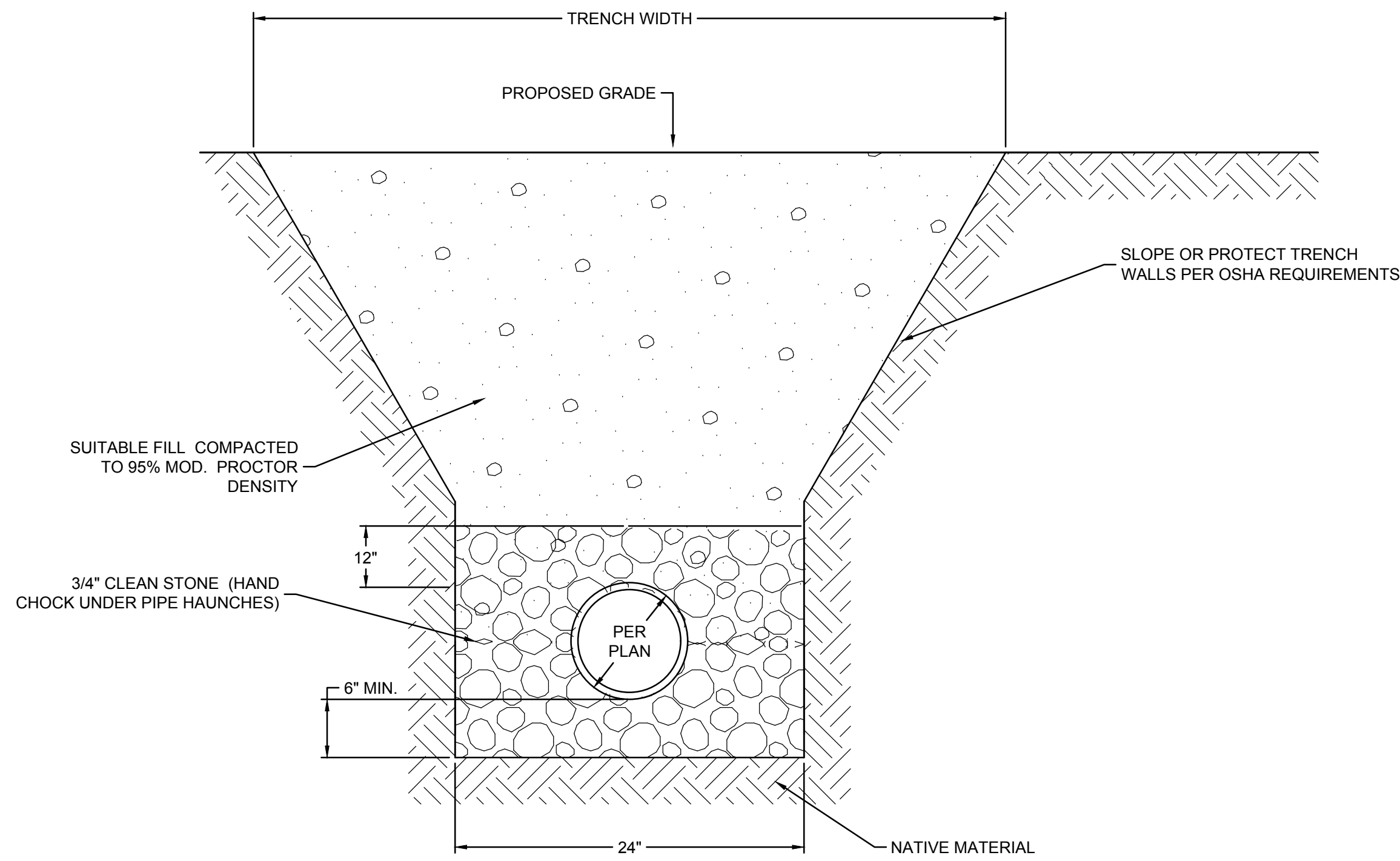
DATE: 03/23/2020
 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN
 16 HELLER PARK LANE
 BLOCK 514 LOT 15
 FRANKLIN TOWNSHIP

SOMERSET COUNTY NEW JERSEY

TITLE: CONSTRUCTION DETAILS

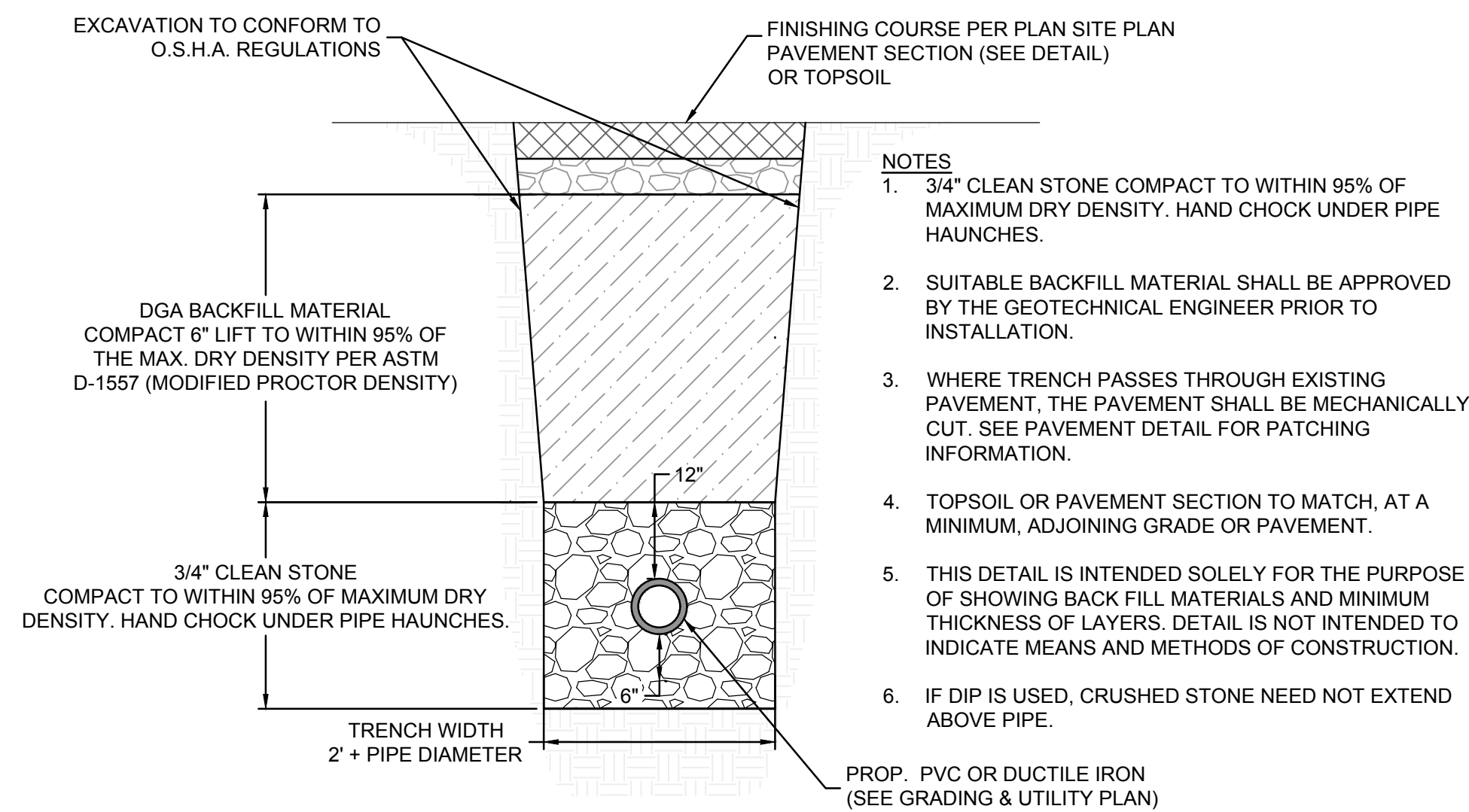
JOB NO.:	0119334	DRAWING NO.:	16
SCALE:	AS SHOWN		
DESIGNED:	JZ		
CHECKED:	WJI		
FILENAME:	16_DETAILS.DWG		
DATE:	03/23/2020		17



- NOTES:
- SUITABLE FILL MATERIAL SHALL BE DGA 6" LIFTS COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - SANITARY LINE SHALL HAVE A 24" MIN CLEARANCE FROM GAS AND ELECTRIC LINES.
 - SANITARY LINE SHALL HAVE A 10" MIN HORIZONTAL AND VERTICAL CLEARANCE FROM WATER LINE.

1 SANITARY SEWER TRENCH

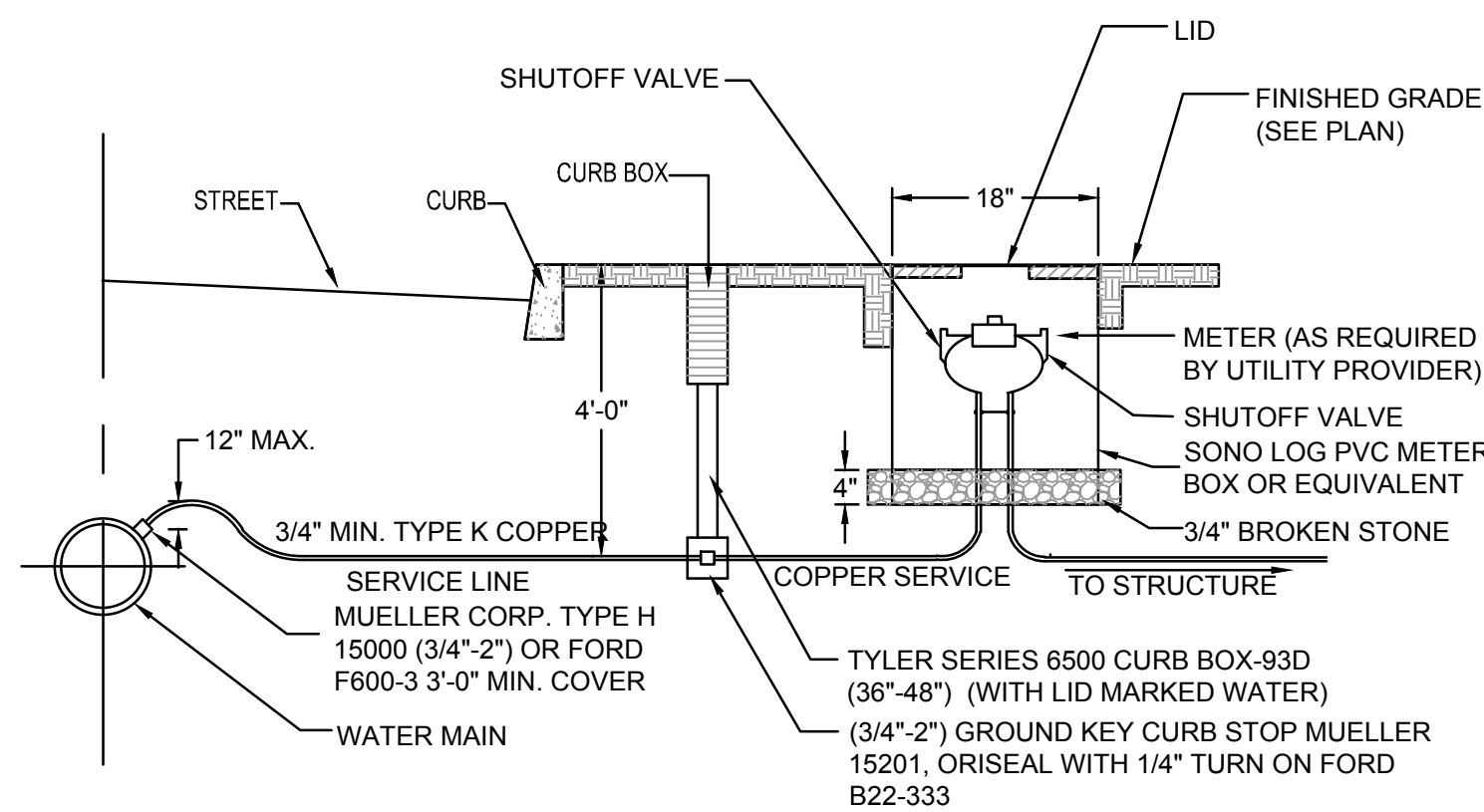
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- NOTES
1. 3/4" CLEAN STONE COMPACT TO WITHIN 95% OF MAXIMUM DRY DENSITY. HAND CHOCK UNDER PIPE HAUNCHES.
 2. SUITABLE BACKFILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.
 3. WHERE TRENCH PASSES THROUGH EXISTING PAVEMENT, THE PAVEMENT SHALL BE MECHANICALLY CUT. SEE PAVEMENT DETAIL FOR PATCHING INFORMATION.
 4. TOPSOIL OR PAVEMENT SECTION TO MATCH, AT A MINIMUM, ADJOINING GRADE OR PAVEMENT.
 5. THIS DETAIL IS INTENDED SOLELY FOR THE PURPOSE OF SHOWING BACK FILL MATERIALS AND MINIMUM THICKNESS OF LAYERS. DETAIL IS NOT INTENDED TO INDICATE MEANS AND METHODS OF CONSTRUCTION.
 6. IF DIP IS USED, CRUSHED STONE NEED NOT EXTEND ABOVE PIPE.

2 WATER SERVICE TRENCH DETAIL

NTS

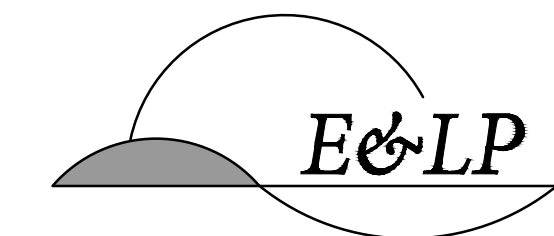


- NOTES:
1. METER PIT AND CURB BOX MUST BE INSTALLED BETWEEN THE CURB AND THE SIDEWALK. METER SHALL BE INSTALLED 18" BELOW FINISHED GRADE (OR AS REQUIRED BY UTILITY PROVIDER) CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDER.
 2. BACKFILL MATERIAL SHALL BE DENSE GRADED AGGREGATE WITH 6" MAXIMUM LIFTS ABOVE PIPE

3 WATER SERVICE DETAIL

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