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October 14, 2020

VIA OVERNIGHT DELIVERY

Township of Franklin
475 DeMott Lane
Somerset, New Jersey 08873
ATTN: Zoning Board of Adjustment

RE: DeeJaiz LLC d/b/a Supreme Productionz Request for Use Variance for a Business, Corporate and Social Event Suite at 2 JFK Boulevard a/k/a Block 386.17, Lot 138, Somerset, New Jersey
Our File No. DeeJaiz001

To whom it may concern:

Our office represents DeeJaiz LLC d/b/a Supreme Productionz who is requesting a use variance to operate a business, corporate and social event suite at the above-referenced location in the Township of Franklin. Accordingly, enclosed please find the following documents in support of this application:

- One (1) original and twenty-four (24) copies of the Variance Application Form;
- Twenty-five (25) copies of the Site Plan;
- Twenty-five (25) copies of Land Survey by Ameritech Engineering dated September 28, 1991;
- Two (2) copies of the Variance Checklist;
- One (1) copy of the Disclosure Statement;
- One (1) copy of the proof of paid taxes;
- One (1) check in the amount of \$750.00 made payable to the Township of Franklin representing the variance application fee;
- One (1) check in the amount of \$3,000.00 made payable to the Township of Franklin representing the escrow deposit.

Also, please find enclosed an additional copy of this transmittal letter. Kindly date-stamp and return the same in the self-addressed stamped envelope provided for your convenience. Should you require any additional information or if you have any questions with regard to the above, please do not hesitate to contact our office.

Thank you for your kind consideration.

Very truly yours,

ZUBLATT & JONES, P.C.

By: *HaDisha Gordon*
HaDisha Gordon, Esquire

Variance Application Form

TOWNSHIP OF FRANKLIN,
SOMERSET COUNTY, NJ



- 1) The applicant may request a pre-application meeting prior to submission. This is provided as a courtesy to potential applicants so they receive input and is in no way to be considered as the start of the submission process. If you decide to schedule a pre-application meeting, please contact the Township Planning Director (contact information: <https://www.franklintwpnj.org/government/departments/planning-zoning>).
- 2) Submission shall be made with the forms supplied by the Township. The information required by the applicable checklist shall be supplied with the submission.
- 3) The applicant shall pay fees in accordance with §112-327 of the Land Development Ordinance and §112-213.B as applicable and shall pay an initial escrow deposit in accordance with §112-213.A of the Land Development Ordinance as applicable. Deposits and fees shall be made by check made out to "Franklin Township". In case of proposals requiring a combination of approvals, such as subdivision and variance(s), the applicant shall pay an amount equal to the sum of the fees required. In the case of a submission requiring application fee(s) and an escrow deposit, one separate check shall be provided for the required escrow deposit and another check shall be provided equal to the sum of the required fees.
- 4) All information contained in the submission checklist is required. Where the applicant believes a submittal item is not applicable or requests a waiver for submittal of an item, a letter providing justification for non-submittal of the item(s) shall be provided.
- 5) The submission will be reviewed by the Director of Planning or his/her designee to determine whether the submission constitutes an Application for Development (i.e., contains all of the information required on the applicable forms and checklists along with applicable fees and/or escrow deposit). During this review the Director of Planning or his/her designee shall determine whether each of the submittal items have been provided and/or whether any of the items are not applicable or whether a waiver may be granted with respect to any submittal items. These determinations by the Director of Planning or his/her designee pertain solely to the determination of whether the submission constitutes an Application for Development and shall in no way prevent the Board from requiring the information during the course of the hearing. If any submittal items are found to be missing, the applicant shall be notified in writing within 45 days of submission.
- 6) Once the application is deemed to constitute an Application for Development (i.e., contains all of the information required on applicable application forms and checklists along with applicable fees and/or escrow deposit), the application will be scheduled for a public hearing. The applicant will be advised in writing of the date scheduled for a public hearing on the application.
- 7) Pursuant to N.J.S.A 40:55D-12 all variance applications require a Public Hearing and must give Public Notice of said hearing in accordance with the requirements of the Municipal Land Use Law and §112-315 of the Franklin Township Land Use Ordinance. Notification must be completed at least 10 days prior to the scheduled hearing. Information and dates will be supplied to the applicant at the appropriate time for advertising and noticing.

A public hearing will be conducted on the scheduled date. The hearing may be continued to another meeting date if necessary.

On the evening of the public hearing meeting, the applicant, owner, contract purchaser or person having a real interest in the property, agent or attorney (corporations must be represented by an attorney), shall appear before the Board to submit or present proof in support of the application.

- 8) As part of the hearing procedure, the applicant must present testimony to the Board why the proposed project cannot comply with all provisions of the Franklin Township Land Use Ordinance. The Board will then make the determination whether to approve, approve with conditions or deny the requested variance(s).
- 9) During the course of the hearing, the Board may require such additional information and/or analyses deemed necessary by the Board to render an informed and reasonable decision.
- 10) The Board shall render a decision on the application within the timeframe mandated by the Municipal Land Use Law unless an extension for such decision has been provided on behalf of the applicant.
- 11) The action taken will be reduced to writing and presented to the Board for adoption in the form of a resolution at a subsequent meeting. The date of adoption of the resolution is the official date of approval of the application.
- 12) Upon adoption of the resolution by the Board, a copy of the resolution will be forwarded to the applicant within 10 days after adoption. The applicant must proceed to comply with all conditions of approval prior to the issuance of a permit.

ATTENTION: Applicants represented by engineers and/or architects (or other such professionals) are expected to use the video display systems available in Council Chambers to project hearing exhibits. Use of the video display system will improve visibility of these exhibits for the Board, the public and the Township's video broadcast of the hearing. In order to use the video display system available in Council Chambers; please bring a computing device capable of utilizing a VGA connection or an HDMI connection. Audio connections are available for both connections. Cables are provided, adapters are not. So please insure you have the required adapters to connect to either VGA or HDMA.

FOR OFFICIAL USE ONLY

Planning Board

Zoning Board of Adjustment

Name of Application: _____

Docket Number : _____

PART A

APPLICANT REQUESTS THE FOLLOWING:

Explain, in detail sufficient for the Board to understand the nature of the proposal, the exact nature of the proposed application and proposed physical modifications to be made to the site, building(s) and/or signage including the proposed use of the premises.

Applicant is requesting a use variance to operate a business, corporate and social event suite. The business, corporate and social event suite will provide various community benefits by promoting enhanced business and social relationships and networks. To do this, the event suite will host corporate business meetings, fundraisers, book signings, bar/bat mitzvahs, bridal showers, baby showers and special milestone birthdays to name a few. The Applicant is not proposing any physical modifications to the existing building.

Identify the type of variance(s) requested. Check all that apply.

"C" Variance(s)

- The strict application of the provisions of the Development Ordinance would result in peculiar and exceptional practical difficulties or exceptional and undue hardship - N.J.S.A.. 40:55D-70.C(1)
- The purposes of the Municipal Land Use Law would be advanced by a deviation from the zoning ordinance requirements and the benefits of the deviation would substantially outweigh any detriment - N.J.S.A.. 40:55D-70.C(2)

"D" Variance(s):

- Use or principal structure in a district restricted against such use or principal structure - N.J.S.A.. 40:55D-70.D(1)
- Expansion of a nonconforming use - N.J.S.A.. 40:55D-70D(2)
- Deviation from a specification or standard pertaining solely to a conditional use - N.J.S.A.. 40:55D-70. D(3)
- Increase in the permitted floor area ratio - N.J.S.A.. 40:55D-70.D(4)
- Increase in the permitted density - N.J.S.A.. 40:55D-70.D(5)
- Height of a principal structure exceeds by 10 feet or 10% the maximum height permitted in the district for a principal structure - N.J.S.A.. 40:55D-70.D(6)

Identify requested variances from the requirements of the Franklin Township Land Development Ordinance:

<u>Ordinance Section</u>	<u>Requirement</u>	<u>Proposed Deviation</u>
§112- Attachment 1		business, corporate and social event suite
§112-		
§112-		
§112-		
§112		
§112		
§112-		

PART B

APPLICANT: Individual Partnership Corporation

APPLICANT: Owner Applicant Other _____

Name DeeJaiz LLC d/b/a Supreme Productionz

Street Address 508 New Brunswick Road Apt./Ste/Unit # _____

City Somerset State NJ Zip Code 08873

Phone 800-562-0708 Fax _____

Email danyale@supremeproductionz.com

OWNER (if different from Applicant):

Name Two JFK Boulevard LLC, D. Rubin

Street Address 665 Hamilton Street Apt./Ste/Unit # _____

City Somerset State NJ Zip Code 08873

Phone 732-213-3535 Fax _____

Email davidrubin665@comcast.net

PART C

Note: "*" indicates not required in association with signage variances

SUBJECT PROPERTY:

Block/s 386.17 Lot/s 138 Zone GB

Street Address 2 JFK Boulevard

City Somerset State NJ Zip Code 08873

Approximate Site Size * 4525 (event suite) Acres/ Sq. ft.

Present use of the property, specify: commercial/office space

Proposed use of the property, specify: business, corporate and social event suite

Public water available: * [X] Yes [] No If not, proposed? [] Yes [] No

Public sanitary sewer available: * [X] Yes [] No If not, proposed? [] Yes [] No

Describe any off tract improvement required or proposed* N/A

Deed restrictions, covenants, easements, association by-laws:

[] Yes (Provide a copy) [X] No [] Proposed (Must be submitted for review)

Does the applicant own any contiguous property?* [] Yes [X] No

If yes, state the address, block and lot of such property: *

Has there been any previous appeal, request, or application to this or any other Township Boards involving this property? [X] Yes [] No

If, yes, state type, docket number, the nature and date of such appeal: Preliminary & Final Site Plan

Docket No: PLN-19-00010

How long has the present owner had title to this property? * 37 years

Is the property under contract to be sold? [] Yes [X] No

If yes, state the date of contract and name of the contract purchaser:

PART D

Identify if the application is proposed to be bifurcated (i.e., variances identified herein sought at this time with approval for other development approvals, such as subdivision and/or site plan approval, to be sought at a later date): Yes No

If not bifurcated, identify the associated development approvals sought at this time (check all that apply):

- Waiver of Site Plan
- Minor Site Plan
- Preliminary Site Plan
- Final Site Plan
- Minor Subdivision
- Preliminary Major Subdivision
- Final Major Subdivision
- Conditional Use Approval
- Other(s) (Specify: _____)

Note: Applicant must consult the respective Instruction Sheet(s) and Submission Checklist(s) for the associated development approvals being sought at this time. The submission will not be deemed an Application for Development unless all required submissions are provided for all requested development approvals.

If bifurcated, identify the nature of subsequent development approvals to be sought: _____

For signage variances indicate the following:

- Single Tenant Building
- Multiple Tenant Building

PART E

C Variance(s):

- The strict application of the provisions of the Development Ordinance would result in peculiar and exceptional practical difficulties or exceptional and undue hardship under N.J.S.A.. 40:55D-70.C(1)

List in detail wherein this case conforms to this requirement, including, if applicable, reference to exceptional narrowness, shallowness or shape of the property, or exceptional topographic conditions or physical features uniquely affecting the property, or extraordinary and exceptional situation uniquely affecting the property or the structures lawfully existing thereon.

_____ and/or

The purposes of the Municipal Land Use Law would be advanced by a deviation from the zoning ordinance requirements and the benefits of the deviation would substantially outweigh any detriment under N.J.S.A.. 40:55D-70.C(2).

List in detail wherein this case conforms to this requirement:

D Variance(s):

State why the property is particularly suitable for the proposed use, including any inherently beneficial conditions and/or any undue hardship, if any, showing that the property cannot reasonably be adapted to a conforming use:

The property is particularly suitable for the proposed use since the existing suite will allow the community to host and enjoy business and corporate events and special milestones. Additionally, the use is compatible with the neighborhood development pattern and has sufficient space to accommodate gatherings of people.

C and D Variance(s):

Supply a statement of facts why relief can be granted without substantial detriment to the public good.

The proposed use can be granted without substantial detriment to the public good since the property is particularly suitable to accommodate gatherings of people, the use is appropriate for the location and will aid in the vitality of the existing building.

Supply a statement of facts why relief can be granted without substantial detriment to the intent and purpose of the zone plan and zoning ordinance.

The proposed use can be granted without substantial detriment to the intent and purpose of the zone plan and zoning ordinance since the proposed use is an adaptive re-use of the existing vacant space in a previously approved commercial structure.

PART F

LIST OF PLANS, REPORTS AND OTHER MATERIALS SUBMITTED:

<u>Quantity:</u>	<u>Description of Item:</u>
25	Site Plans
1	Land Survey by Ameritech Engineering dated September 28, 1991
1	Disclosure Statement
1	Proof of paid taxes
1	Variance Checklist

PART G

CONTACT PERSON INFORMATION/ CERTIFICATION

The person indicated below shall serve as the point-of-contact with the Township Department of Planning and Zoning and shall be the sole recipient of official correspondence from the Department. By signing this form, in Part H below, the Applicant and Owner certify that that the party listed below is authorized to act on their behalf as the designated contact person with the Department.

Owner Applicant Attorney Engineer Architect Other

Name Alan B. Zublatt of Zublatt & Jones, P.C.

Street Address 3836 Quakerbridge Road Apt./Ste/Unit # Suite 106

City Hamilton State NJ Zip Code 08619

Phone 609-570-7075/609-570-7079 Fax 609-951-9693

Email azublatt@zublattjones.com

PART H

APPLICANT'S CERTIFICATION

I, Danyale Robinson, of full age, being duly sworn according to law and upon my oath, depose that: I reside at 508 New Brunswick Rd in the County of Somerset and State of New Jersey, and that the above statements contained in this application and in the papers appended thereto are true. I further certify that I am the individual applicant, or a general partner of the partnership applicant, or an officer of the corporate applicant and I am authorized to sign the application for the partnership or corporation.

Sworn to and subscribed before me this 13 day of October, 2020

[Signature]
NOTARY PUBLIC



[Signature]
APPLICANT'S SIGNATURE

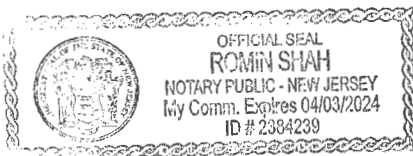
OWNER'S CERTIFICATION

(If the owner is a corporation, this section must be signed by an authorized corporate officer. If the owner is a partnership, this section must be signed by a general partner.)

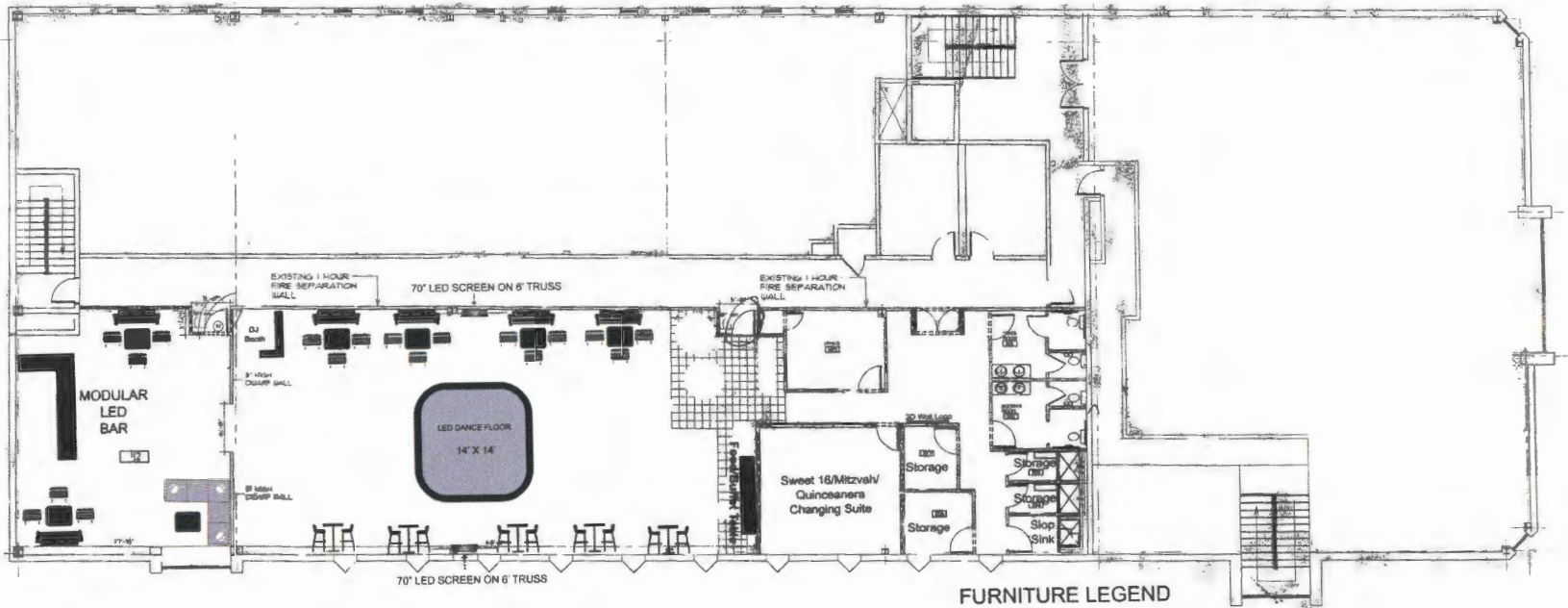
I, Sheryll Lee Rubin, of full age, being duly sworn according to law and upon my oath depose that: I reside at 679 Easton Ave. in the County of Somerset and State of New Jersey, and that the above statements contained in this application and in the papers appended thereto are true. I further certify that I am the owner of the property which is the subject of this application, and I am the applicant or I have authorized the applicant to make this application, and I agree to be bound by the application, the representations made and the decision in the same manner as if I were the applicant.

Sworn to and subscribed before me this 13th day of October, 2020

[Signature]
NOTARY PUBLIC

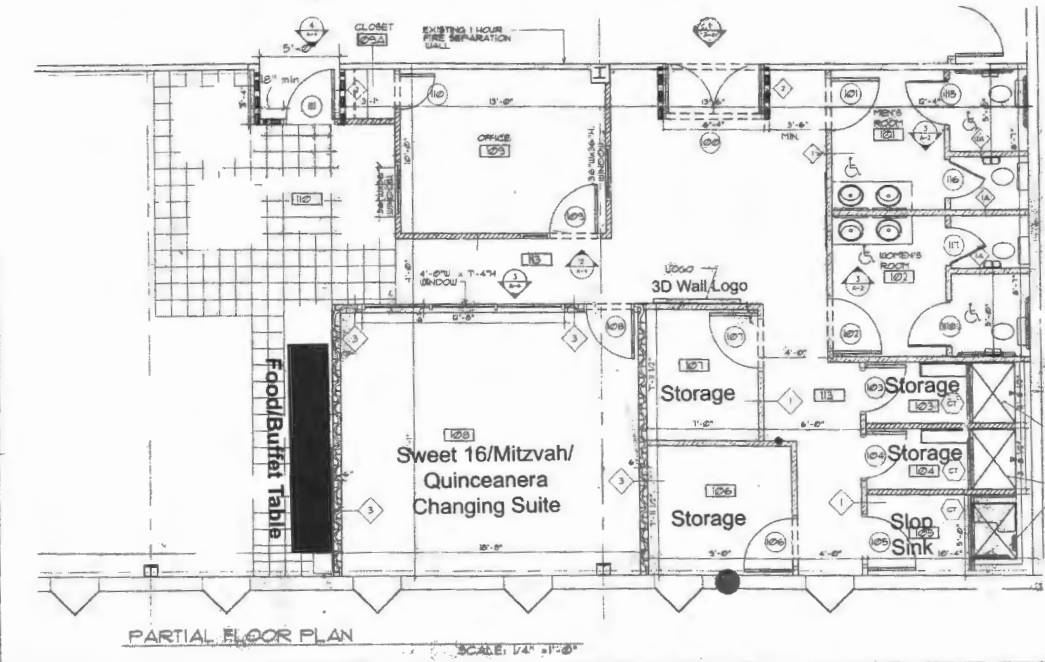


[Signature]
OWNER'S SIGNATURE



FLOOR PLAN SCALE: 1/8" = 1'-0"

- FURNITURE LEGEND**
- Lounge Couch - 64" (L), 21"(D), 48"(H)
 - Ottoman: 28"(L), 22"(D), 17"(H)
 - Coffee Tables - 41" (Length) x 16" (W)
 - Hi Boy Tables: 42"(H), 30" (W with Topper)
 - Sectional: 116" (Vertical L) x 116" (Horizontal L)

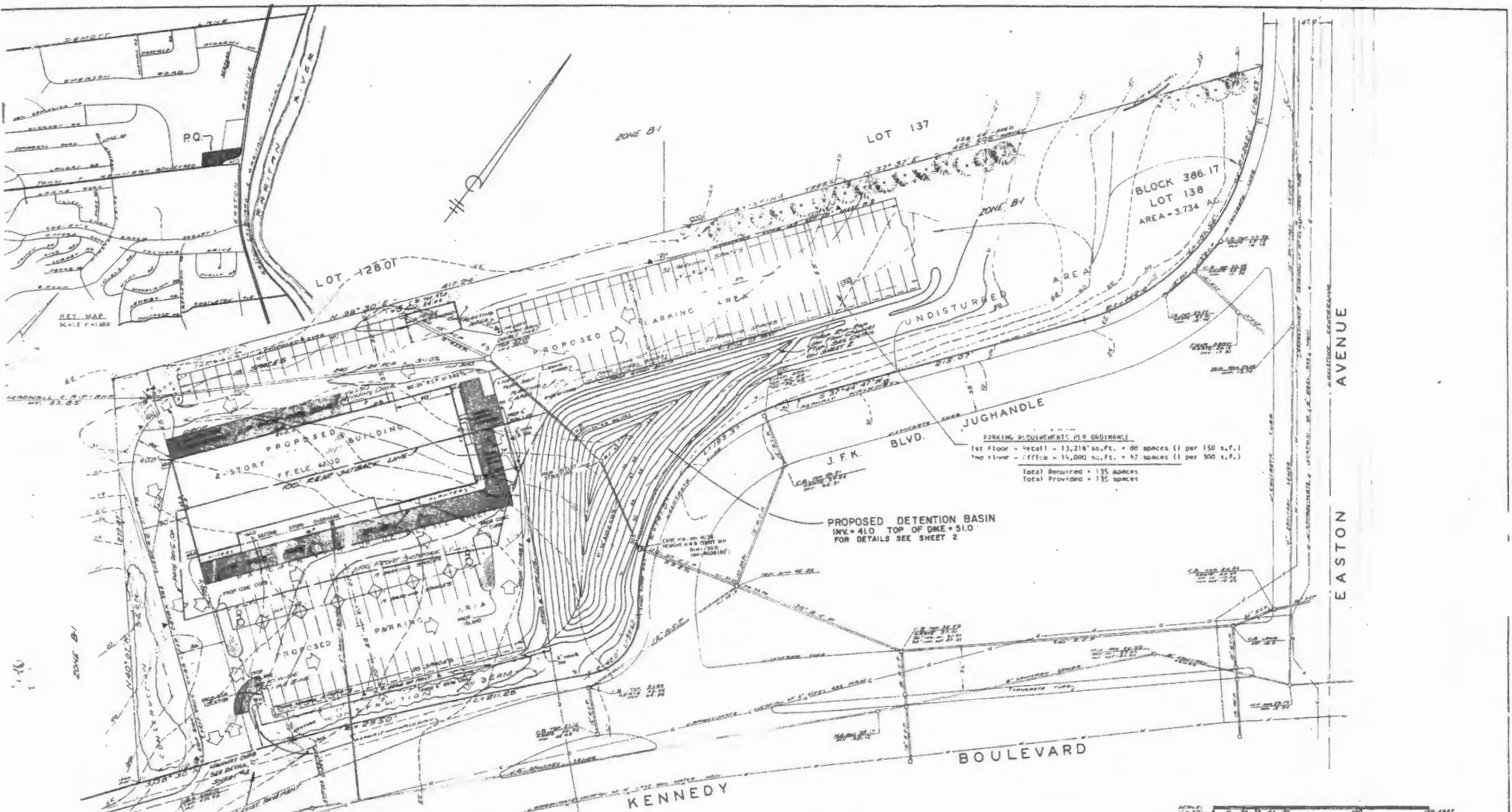


PARTIAL FLOOR PLAN SCALE: 1/4" = 1'-0"

**2 JFK Boulevard
Somerset, NJ 08873
Unit 4**

**Owner: Two JFK Blvd LLC,
David Rubin
665 Hamilton St.
Somerset, NJ 08873**

**Business Owner:
DeeJaiz LLC DBA
Supreme Productionz
508 New Brunswick Road
Somerset, NJ 08873**



FOR DETAIL OF PROPOSED ACCEL. & DECEL. LANES, SEE SHEET 3

B-1 Zone Bulk Requirements

Area	5 acres
Frontage	300 feet
Front Yard	100 feet
One Side Yard	40 feet
Back Side Yards	100 feet total
Rear Yard	100 feet
Maximum Percent Lot Coverage	75%

GENERAL NOTES

- Property known as Lot 138, Block 386.17 as shown on Sheet No. 84 of the Franklin Township Tax Map.
- Property lines in B-1 Regional Business Zone.
- indicates traffic flow pattern.
- indicates 50 Watt G.E. High pressure sodium fixtures on 20' high poles (all proposed).
- All roof drains from proposed building to be connected underground to proposed storm sewer system and discharge into proposed detention basin.
- Paired fire zones as indicated on plans are to be painted in accordance with Franklin Township Ordinance No. 1008.
- Proposed fire hydrants to be in accordance with Franklin Township specifications. Hydrants to have 4" connection and 7/8" 2nd connections, all being national standard threads. Hydrant to be set back a maximum distance of 1' from 12:4' face of curb.

PARKING REQUIREMENTS PER ORDINANCE

1st Floor - Retail = 13,218 sq. ft. = 80 spaces (1 per 150 s.f.)
 2nd Floor - Office = 14,000 sq. ft. = 87 spaces (1 per 150 s.f.)

Total Required = 135 spaces
 Total Provided = 135 spaces

PROPOSED DETENTION BASIN
 INV. = 41.0 TOP OF CURB = 51.0
 FOR DETAILS SEE SHEET 2



OFFICE AND RETAIL BUILDING RUBIN & SONS	
FRANKLIN TOWNSHIP SOMERSET COUNTY, NEW JERSEY.	
SCALE: 1" = 30'	AMERTECH ENGINEERING INC. ENGINEERING, LAND SURVEYING & PLANNING 757 RIDGEWOOD AVE. NORTH BRUNSWICK, N.J. 08902 TEL: (201) 249-2215, 828-3535
DATE: SEPTEMBER 20, 1987	
REVISION	DATE
GENERAL	10-27-87
GENERAL	11-17-87
PROBLEMS	11-30-87
DATE	12-3-87
GEORGE S. VEHTE - P.E. & L.S. 9861	

1/3