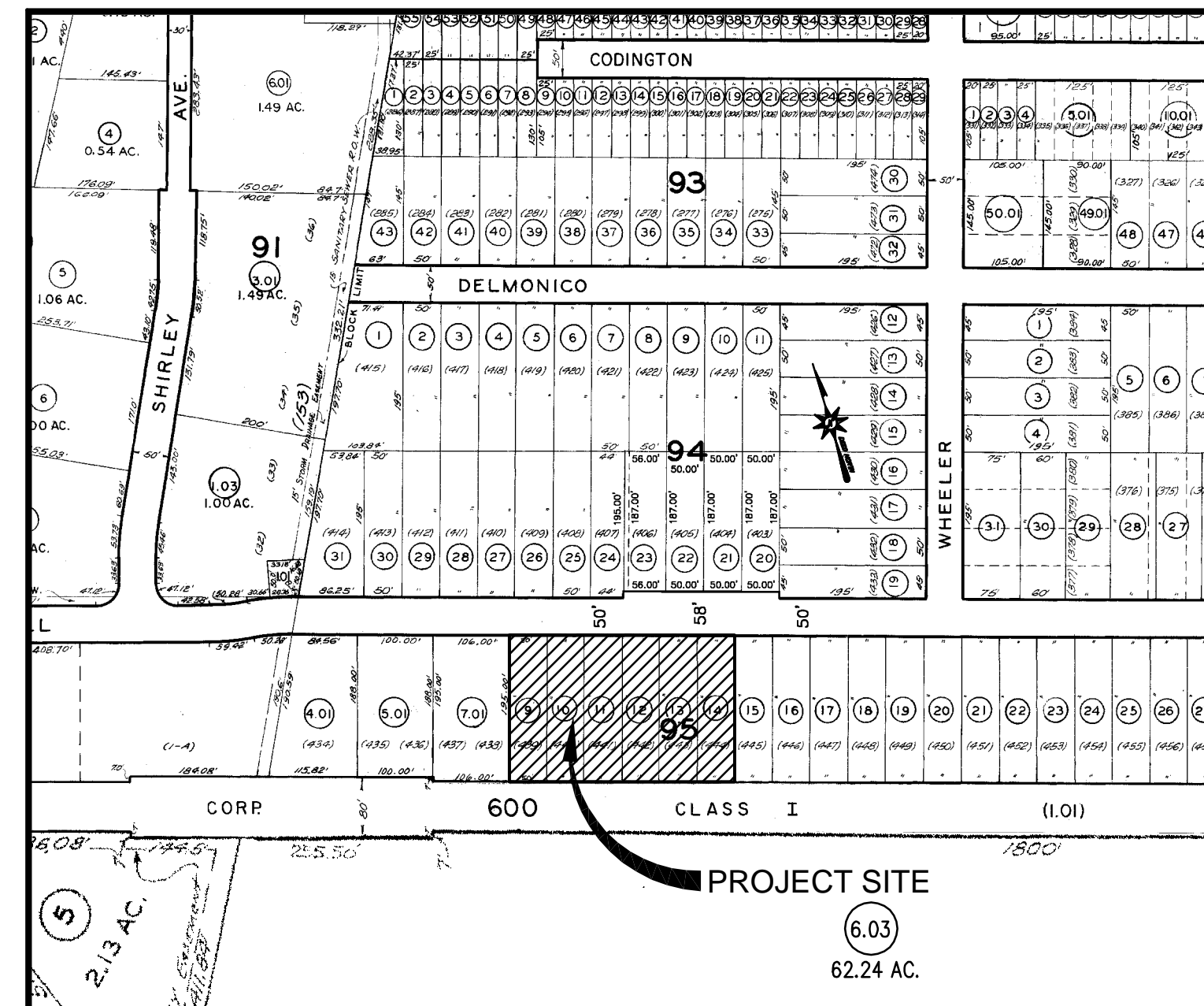


# MINOR SUBDIVISION PLAN

PREPARED FOR  
**LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95**  
**186 CHURCHILL AVENUE**  
 SITUATED IN  
**TOWNSHIP OF FRANKLIN,**  
**SOMERSET COUNTY, NEW JERSEY**



KEY MAP  
 SCALE: 1"=200'±

PLANNING BOARD  
 TOWNSHIP OF FRANKLIN

WE HEREBY CERTIFY THAT THE PLANNING BOARD  
 DULY APPROVED THIS SUBDIVISION PLAN ON

\_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
 BOARD CHAIRMAN DATE

\_\_\_\_\_  
 BOARD SECRETARY DATE

\_\_\_\_\_  
 TOWNSHIP ENGINEER DATE

## DRAWING INDEX

SHEET	TITLE
1	COVER SHEET
2	200 FT. RADIUS MAP AND ZONING SCHEDULE
3	EXISTING CONDITIONS PLAN
4	SUBDIVISION PLAN
5	CONSTRUCTION DETAILS
6	SOIL EROSION AND SEDIMENT CONTROL PLAN
7	SOIL EROSION AND SEDIMENT CONTROL DETAILS

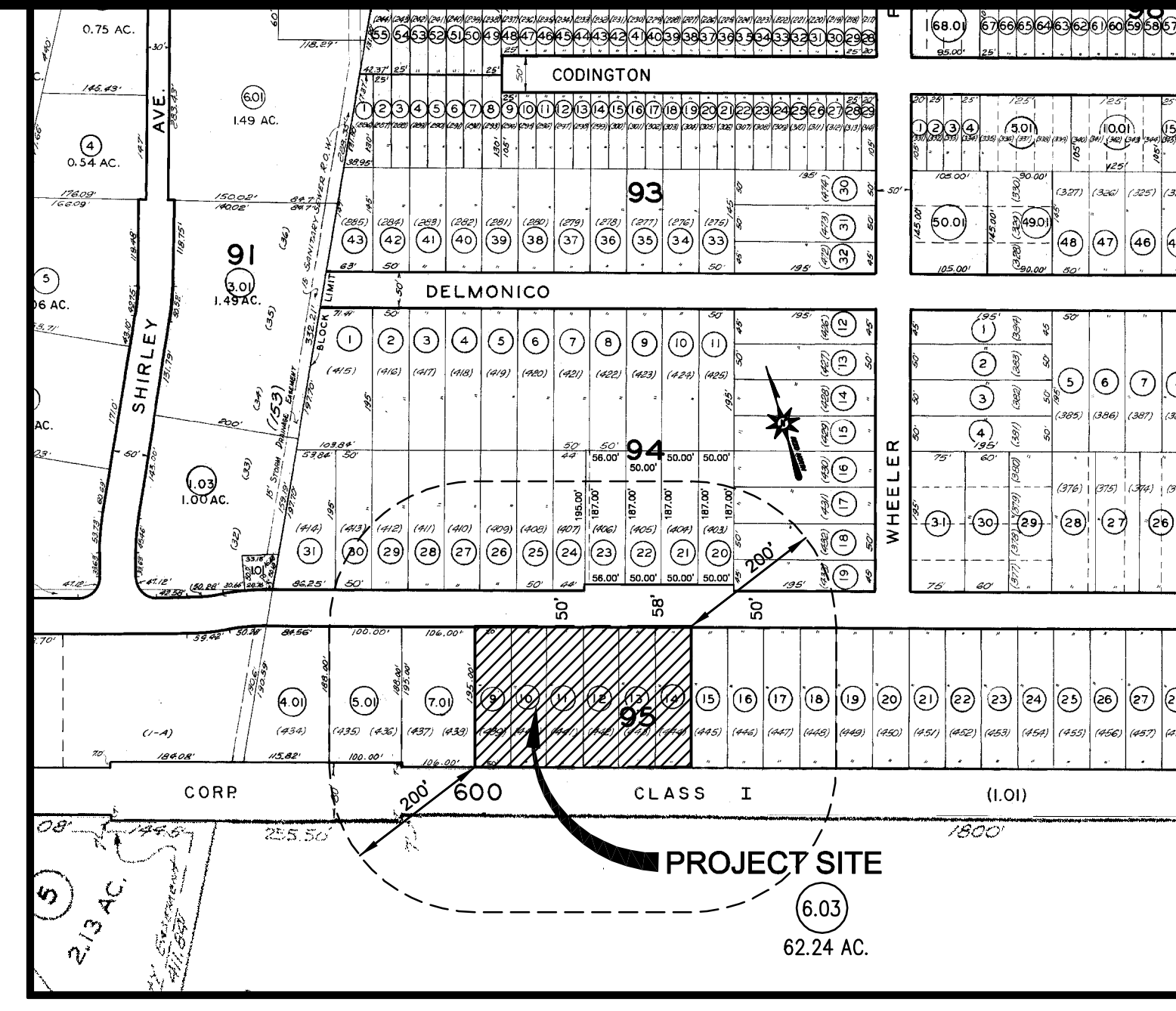
No.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED
<b>COVER SHEET</b>				
186 CHURCHILL AVENUE LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95 SITUATED IN TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY				
<b>REMO ENGINEERING, LLC</b> CONSULTING ENGINEERS AND DESIGN PROFESSIONALS		205 ROUTE 9 NORTH #33 FREEHOLD, NJ 07728 732-303-7982 • 732-742-1001 MARCREMO@REMOENGINEERING.COM NJ CERTIFICATE OF AUTHORIZATION NO. 24QA28098400		
SCALE: AS SHOWN				
FILE NO. 08222001				
DRAWN: M.A.S.				
CHECKED: M.A.R.				
DATE: 10/05/2020				
MARC A. REMO, P.E., P.P., C.M.E. DATE:				
NJ PROFESSIONAL ENGINEER LIC. No. 37145 • NJ PROFESSIONAL PLANNER LIC. No. 5195				
SHEET NO.: 1 OF 7				

**LIST OF PROPERTY OWNERS WITHIN 200 FEET**

<p><b>Block-Lot: 88.01-5.01</b> SOMERSET LOGISTICS CENTER ILP LLC 600 CALIFORNIA ST SE560 SAN FRANCISCO, CA 94108 RE: 50 VERONICA AVE</p> <p><b>Block-Lot: 95-7.01</b> ELGHAZL, ALY 192 CHURCHILL AVENUE SOMERSET NJ 08873 RE: 192 CHURCHILL AVE</p> <p><b>Block-Lot: 94-25</b> COOK, DONNA M &amp; ERIC K 189 CHURCHILL AVE SOMERSET NJ 08873 RE: 189 CHURCHILL AVE</p> <p><b>Block-Lot: 94-24</b> COOK, DONNA M &amp; ERIC K 189 CHURCHILL AVE SOMERSET NJ 08873 RE: 189 CHURCHILL AVE</p> <p><b>Block-Lot: 94-19</b> GARCIA, VICTOR &amp; ANDREA SAKY 533 WHEELER PL. SOMERSET, NJ 08873 RE: 533 WHEELER PL</p> <p><b>Block-Lot: 94-23</b> VAN LIEW, BARON 183 CHURCHILL AVENUE SOMERSET NJ 08873 RE: 183 CHURCHILL AVE</p> <p><b>Block-Lot: 94-21</b> WESTON, FRIEDA &amp; JONES, DOROTHY 177 CHURCHILL AVE SOMERSET NJ 08873 RE: 177 CHURCHILL AVE</p> <p><b>Block-Lot: 94-17</b> TOWNSHIP OF FRANKLIN 475 DEMOTT LA SOMERSET NJ 08873 RE: 178 DELMONICO AVE</p> <p><b>Block-Lot: 95-19</b> HUGHES, SHAWN 170 CHURCHILL AVE SOMERSET NJ 08873 RE: 170 CHURCHILL AVE</p> <p><b>Block-Lot: 95-5.01</b> RUSSELL, KEVIN 196 CHURCHILL AVE SOMERSET NJ 08873 RE: 196 CHURCHILL AVE</p> <p><b>Block-Lot: 94-22</b> VAN LIEW, BARON 183 CHURCHILL AVENUE SOMERSET NJ 08873 RE: 183 CHURCHILL AVE</p> <p><b>Block-Lot: 95-18</b> HUGHES, SHAWN 170 CHURCHILL AVE SOMERSET NJ 08873 RE: 170 CHURCHILL AVE</p>	<p><b>Block-Lot: 94-26</b> COOK, DONNA M &amp; ERIC K 189 CHURCHILL AVE SOMERSET NJ 08873 RE: 189 CHURCHILL AVE</p> <p><b>Block-Lot: 95-17</b> SANCHEZ, DANISSA &amp; GRIZZLE, KRISNIEVE 174 CHURCHILL AVE. SOMERSET, NJ 08873 RE: 174 CHURCHILL AVE</p> <p><b>Block-Lot: 94-20</b> WESTON, FRIEDA &amp; JONES, DOROTHY 177 CHURCHILL AVE SOMERSET NJ 08873 RE: 177 CHURCHILL AVE</p> <p><b>Block-Lot: 95-16</b> AWADALLA, JOSEPH &amp; EVONNE 178 CHURCHILL AVE. SOMERSET, NJ 08873 RE: 178 CHURCHILL AVE</p> <p><b>Block-Lot: 94-18</b> GARCIA, VICTOR &amp; ANDREA SAKY 533 WHEELER PL. SOMERSET, NJ 08873 RE: 533 WHEELER PL</p> <p><b>Block-Lot: 95-15</b> AWADALLA, JOSEPH &amp; EVONNE 178 CHURCHILL AVE. SOMERSET, NJ 08873 RE: 178 CHURCHILL AVE</p> <p><b>Block-Lot: 600-1.0</b> UNITED NJ R.R. &amp; CNLCO ATTN: PROPERTY TAX DEPT. 245 PARK AVENUE NEW YORK, NY 10167 RE: RAILROAD AND CANAL</p> <p><b>Block-Lot: 94-29.02</b> DUARTE, DANIA M. 195 CHURCHILL AVENUE SOMERSET, NJ 08873 RE: 195 CHURCHILL AVE</p> <p><b>Block-Lot: 94-27.02</b> ORTIZ, JENNIFER 29 JAMES STREET NEW BRUNSWICK, NJ 08901 RE: 193 CHURCHILL AVE</p>
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As per NJSA 40:55D-12.h, you must also notify the following registered agencies:

Right-of-Way Department	Business Manager	Sunoco Pipeline LP
Buckeye Pipe Line Company	Comcast Cable	Right of Way Dept
PO Box 368	279 Amwell Road	Montello Complex
Emmaus, PA 18049-0368	Hillsborough, NJ 08844	525 Fritztown Road
		Sinking Spring PA 19608



**200 FT RADIUS MAP**  
SCALE: 1" = 200'±

**ZONING LEGEND**

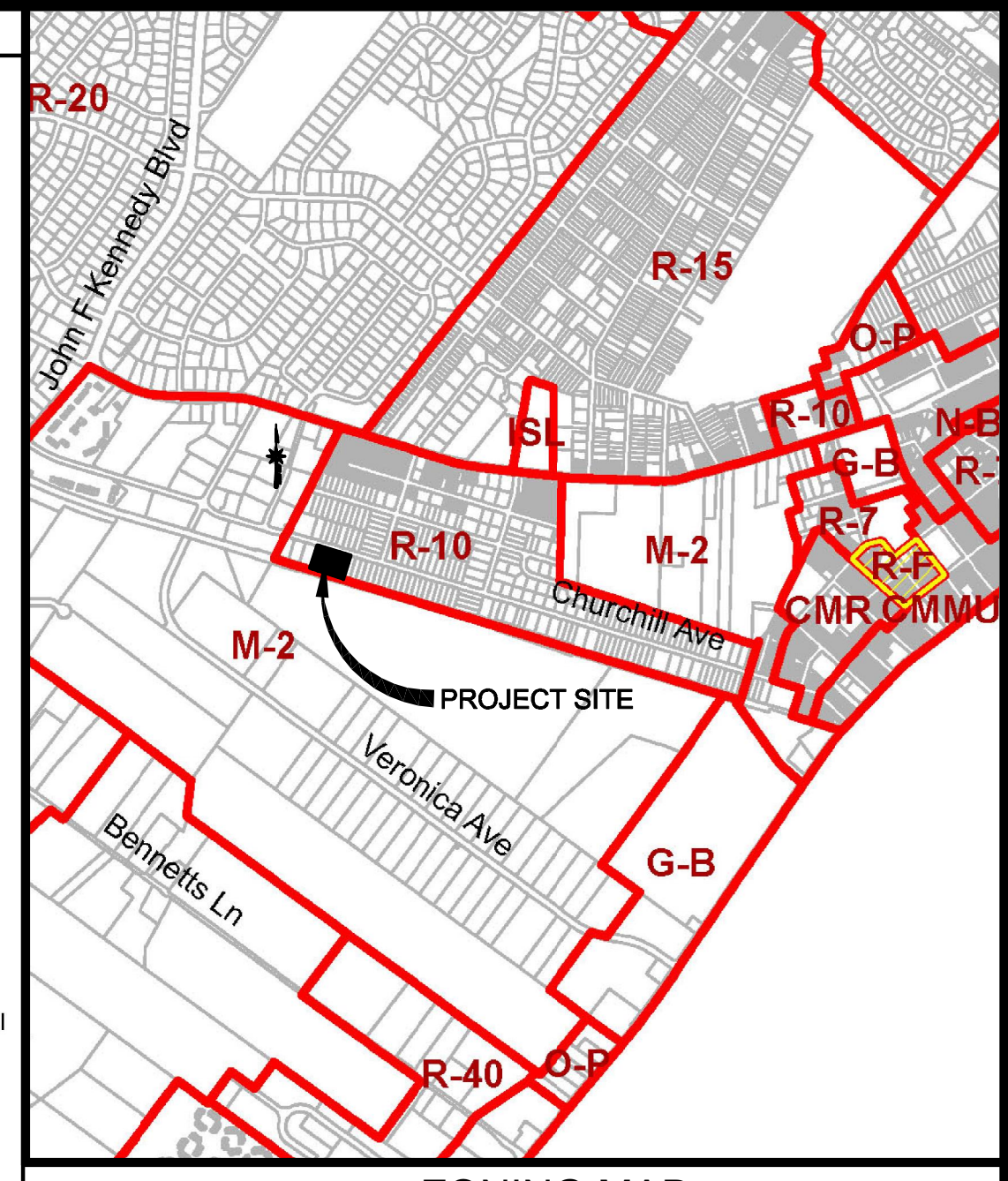
<b>Overlay Zoning Districts</b>	A	Agricultural
AC - Agricultural Cluster Option	CP	Canal Preservation
CR - NH - Cluster Residential (Nob Hill)	RR3	Rural Residential
H - Local Historic District	RR5	Rural Residential
NBR - Neighborhood Business - Residential	R-40	Single-Family Residential
NRPC - Natural Resource Protection Cluster Option	R-20	Single-Family Residential
NRPC (R-40) - Natural Resource Protection Cluster (R-40 option)	R-15	Single-Family Residential
RC - Residential Cluster Option	R-10	Single-Family Residential
RDO - Retail District Overlay	R-10A	Single-Family Development
	R-10B	Single-Family Development
	R-7	Residential
	C-R	Cluster-Residential
	S-C-V	Senior Citizen Village
	PAC	Planned Adult Community
	PRC	Planned Residential Community
	ISL	Independent Senior Living
	N-B	Neighborhood Business
	G-B	General Business
	HBD	Hamilton Street Business District
	C-B	Corporate Business
	R-O-L	Research-Office-Laboratory
	O-P	Office-Professional
	M-1	Light Manufacturing
	M-2	Light Manufacturing
	M-3	Mining

<b>Renaissance Redevelopment Area</b>	I-P	Institutional/Public
	R-C	Renaissance Commercial
	NBR	Neighborhood Business/Residential
	R-F	Residential Infill
	CMMU	Churchill-Millstone Mixed Use
	CMR	Churchill-Millstone Residential
	MFR	Multi-Family Residential

<b>D&amp;R Canal Redevelopment Area</b>	M-S	Market Street District
	O-B	Onka Bus District
	F-I	Franklin Inn District
	O-G	Old Georgetown District



**ZONING MAP**  
SCALE: 1" = 1,500'±

**ZONING SCHEDULE**

R-10 SINGLE FAMILY RESIDENTIAL ZONE DISTRICT

REGULATION	REQUIRED	PROPOSED LOT 9.01	PROPOSED LOT 11.01	PROPOSED LOT 13.01	VARIANCE
MINIMUM LOT AREA	10,000 SF	19,500.00 SF	19,500.00 SF	19,500.00 SF	NO
MINIMUM LOT FRONTAGE	100 FT	100.00 FT	100.00 FT	100.00 FT	NO
MINIMUM FRONT YARD SETBACK	25 FT	25.00 FT	25.00 FT	25.00 FT	NO
MINIMUM ONE SIDE YARD SETBACK	8 FT	17.00 FT	17.00 FT	17.00 FT	NO
MINIMUM TWO SIDE YARD SETBACKS	20 FT	35.00 FT	35.00 FT	35.00 FT	NO
MINIMUM REAR YARD SETBACK	40 FT	135.00 FT	135.00 FT	135.00 FT	NO
MAXIMUM BUILDING HEIGHT	35 FT 2½ STORIES	<35.0 FT 2½ STORIES	<35.0 FT 2½ STORIES	<35.0 FT 2½ STORIES	NO
MAXIMUM LOT COVERAGE	20%	11.7%	11.7%	11.7%	NO
MAXIMUM IMPERVIOUS COVERAGE	30%	15.0%	15.0%	15.0%	NO
MINIMUM OFF STREET PARKING SPACES	2.5	3.5	3.5	3.5	NO

**PARKING CALCULATIONS**

OFF-STREET PARKING REQUIREMENTS AND CALCULATIONS BASED ON RESIDENTIAL SITE IMPROVEMENT STANDARDS (RSIS).

HOUSING UNIT TYPE AND SIZE: SINGLE-FAMILY DETACHED 4 BEDROOM

PARKING REQUIREMENT: 2.5 PARKING SPACES PER DWELLING UNIT

TOTAL NUMBER OF DWELLING UNITS = 1

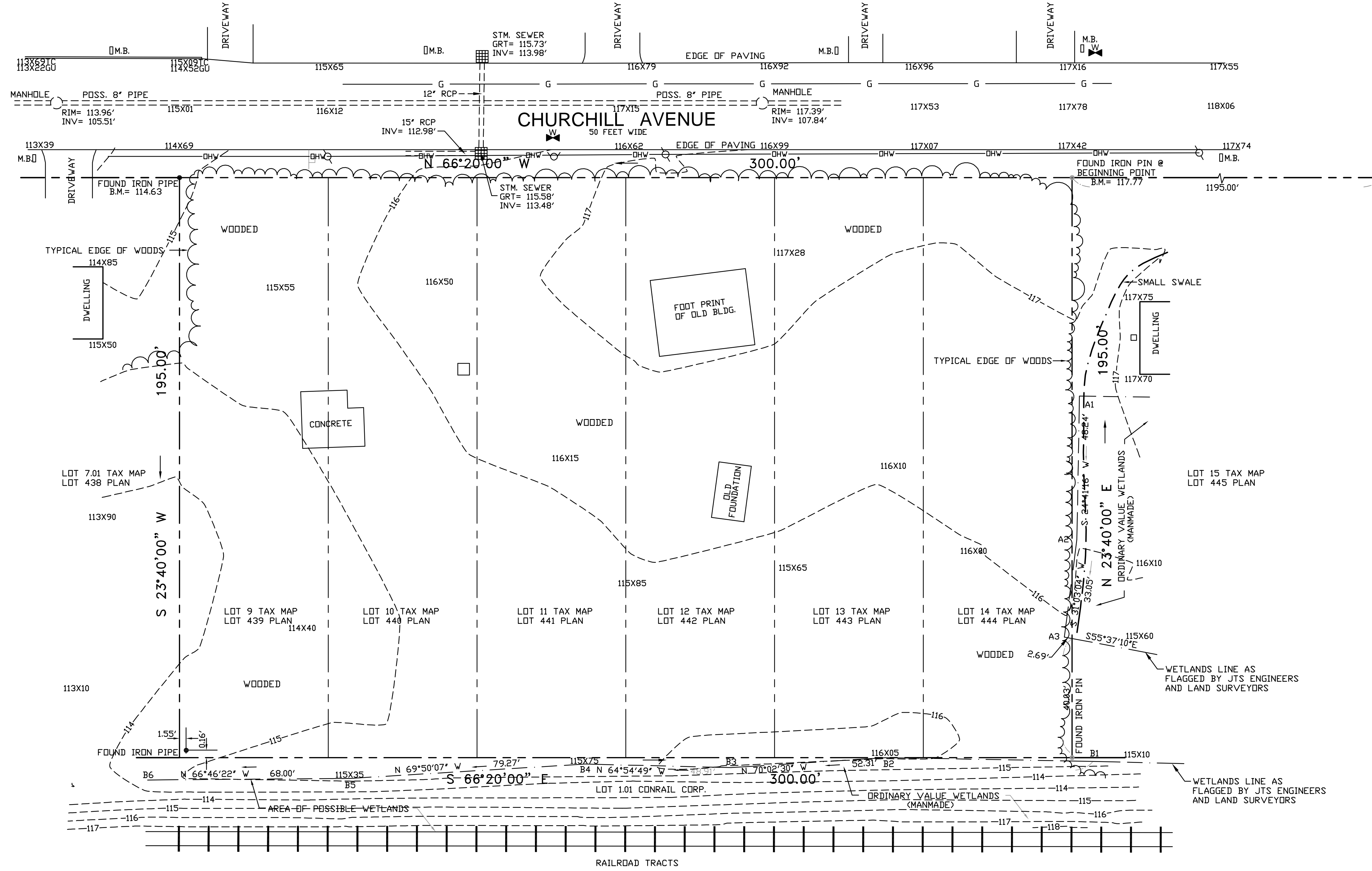
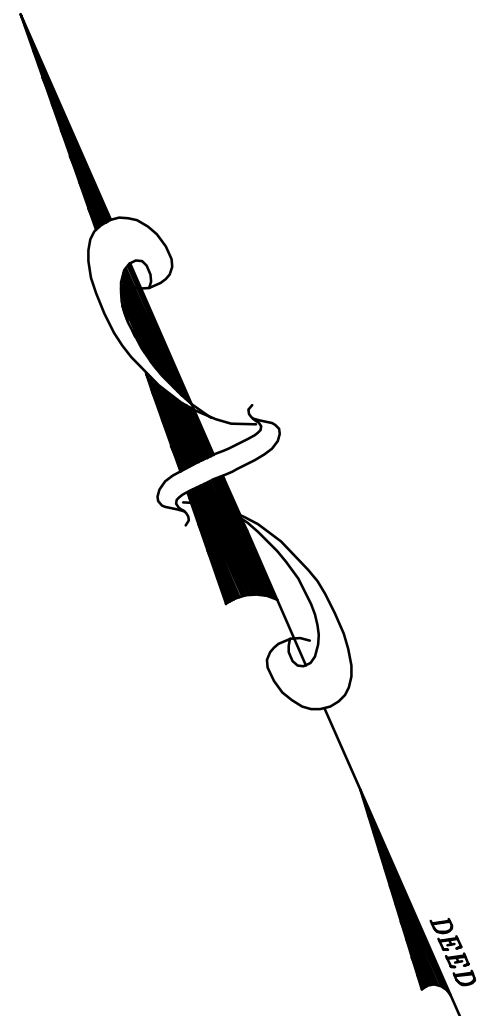
MINIMUM PARKING SPACES REQUIRED = 1 UNIT x 2.5 SPACES = 2.5 SPACES UNIT

TOTAL PROPOSED PARKING SPACES PROVIDED = 3.5 (A TWO-CAR GARAGE AND DRIVEWAY COMBINATION WITH A MINIMUM PARKING WIDTH OF 20 FT. FOR A MINIMUM LENGTH OF 18 FT.)

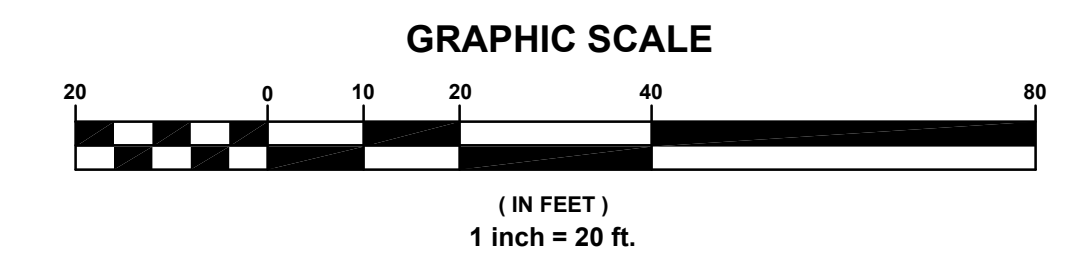
**GENERAL NOTES**

- PROPERTY KNOWN AND DESIGNATED AS LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95 AS SHOWN ON THE CURRENT TOWNSHIP OF FRANKLIN TAX MAP.
- PROPERTY CONTAINS 58,500.00 S.F. OR 1.34 AC.
- PROPERTY SITUATED IN THE R-10 SINGLE FAMILY RESIDENTIAL ZONE DISTRICT.
- SURVEY REFERENCE: PLAN ENTITLED "SURVEY OF PREMISES AND TOPOGRAPHIC PLAN #186 CHURCHILL AVENUE LOTS: 9 THRU 14 BLOCK: 95 PLATE: 57.02 SITUATE: TOWNSHIP OF FRANKLIN COUNTY OF SOMERSET, NEW JERSEY", DATED 2/22/2019, PREPARED BY PHILIP J. SCHAEFFER, P.L.S., NJ LAND SURVEYOR LICENCE NO. 34498.
- EXISTING CONDITIONS REFERENCE: PLAN ENTITLED "SURVEY OF PREMISES AND TOPOGRAPHIC PLAN #186 CHURCHILL AVENUE LOTS: 9 THRU 14 BLOCK: 95 PLATE: 57.02 SITUATE: TOWNSHIP OF FRANKLIN COUNTY OF SOMERSET, NEW JERSEY", DATED 2/22/2019, PREPARED BY PHILIP J. SCHAEFFER, P.L.S., NJ LAND SURVEYOR LICENCE NO. 34498.
- SUBDIVISION SHALL BE PERFECTED BY A PLAT PREPARED BY A PROFESSIONAL LAND SURVEYOR IN CONFORMITY WITH THE PROVISIONS OF THE "MAP FILING LAW", OR A DEED CLEARLY DESCRIBING THE SUBDIVISION.
- ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NGVD88).
- OWNER AND APPLICANT:  
ACCESS CAPITAL INVESTMENTS, LLC  
100 CHALLENGER ROAD, 8TH FLOOR  
RIDGEFIELD PARK, NJ 07660
- EXISTING USE: VACANT
- PROPOSED USE: THREE (3) SINGLE FAMILY HOMES

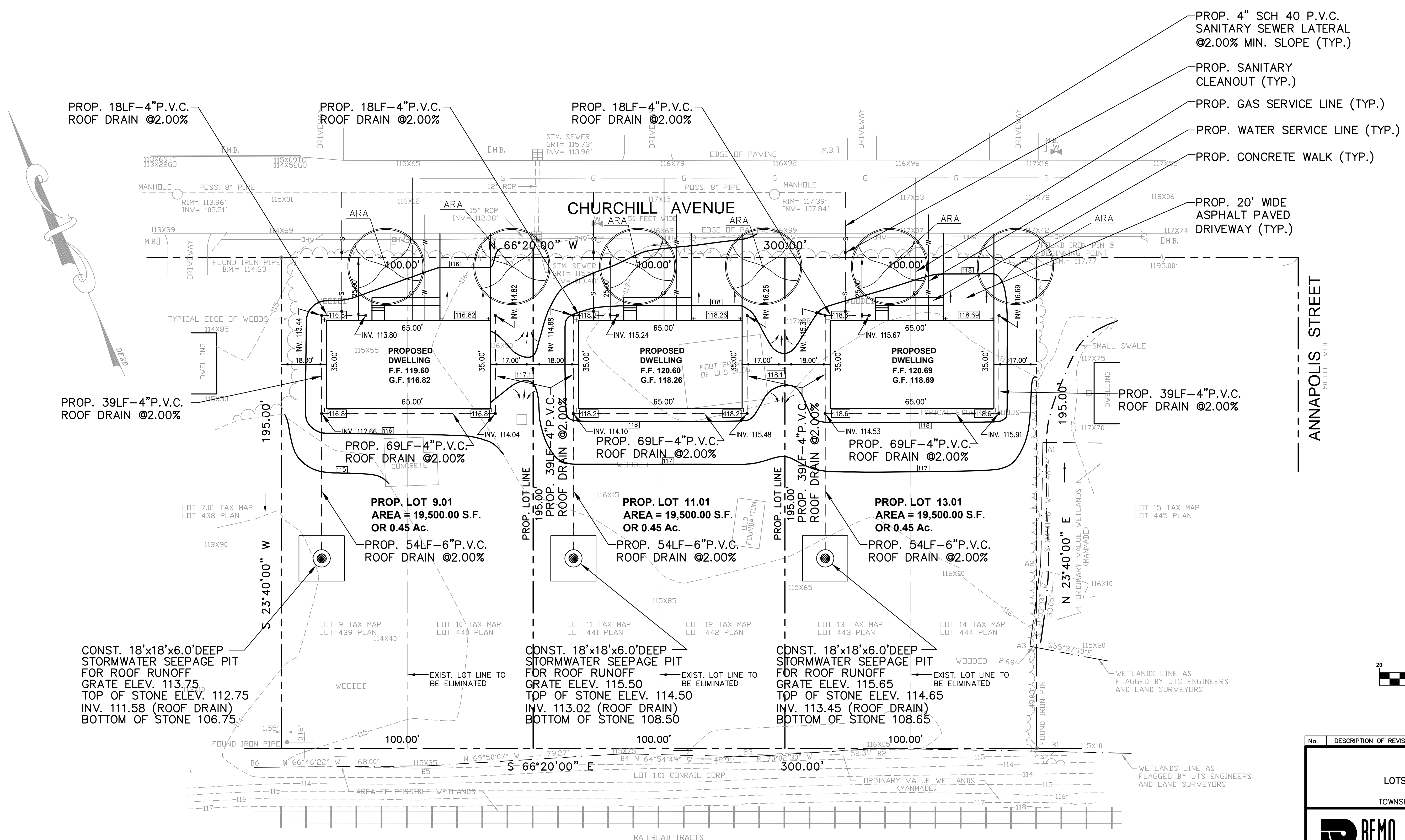
No.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED
<b>200 FT. RADIUS MAP AND ZONING SCHEDULE</b>				
186 CHURCHILL AVENUE LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95 SITUATED IN TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY				
<b>REMO ENGINEERING, LLC</b> CONSULTING ENGINEERS AND DESIGN PROFESSIONALS		205 ROUTE 9 NORTH #33 FREEHOLD, NJ 07728 732-303-7992 + 732-742-1001 MARC@REMOENGINEERING.COM NJ CERTIFICATE OF AUTHORIZATION NO. 24QA28098400		
MARC A. REMO, P.E., P.P., C.M.E.				DATE: 10/05/2020
NJ PROFESSIONAL ENGINEER LIC. No. 37145 + NJ PROFESSIONAL PLANNER LIC. No. 5195				SHEET NO.: 2 OF 7



ANNAPOLIS STREET  
50 FEET WIDE



No.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED
<b>EXISTING CONDITIONS PLAN</b>				
186 CHURCHILL AVENUE LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95 SITUATED IN TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY				
<b>REMO ENGINEERING, LLC</b> CONSULTING ENGINEERS AND DESIGN PROFESSIONALS		205 ROUTE 9 NORTH #33 FREEHOLD, NJ 07728 732-303-7982 • 732-742-1001 MARC@REMOENGINEERING.COM NJ CERTIFICATE OF AUTHORIZATION NO. 24QA28098400		
MARC A. REMO, P.E., P.P., C.M.E.				DATE:
NJ PROFESSIONAL ENGINEER LIC. No. 37145 • NJ PROFESSIONAL PLANNER LIC. No. 5195				SHEET NO.: 3 OF 7



- PROP. 4" SCH 40 P.V.C. SANITARY SEWER LATERAL @2.00% MIN. SLOPE (TYP.)
- PROP. SANITARY CLEANOUT (TYP.)
- PROP. GAS SERVICE LINE (TYP.)
- PROP. WATER SERVICE LINE (TYP.)
- PROP. CONCRETE WALK (TYP.)

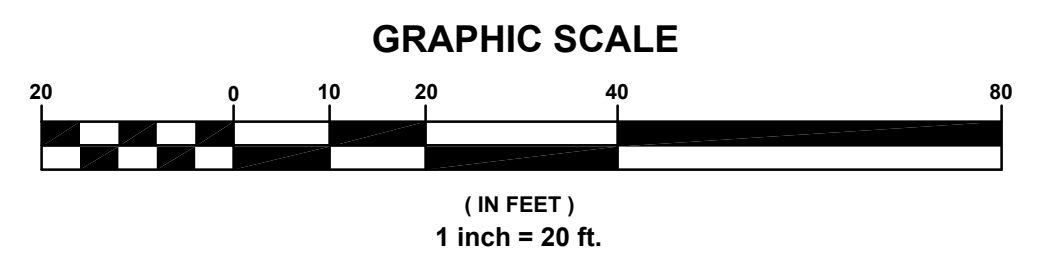
PROP. 20' WIDE ASPHALT PAVED DRIVEWAY (TYP.)

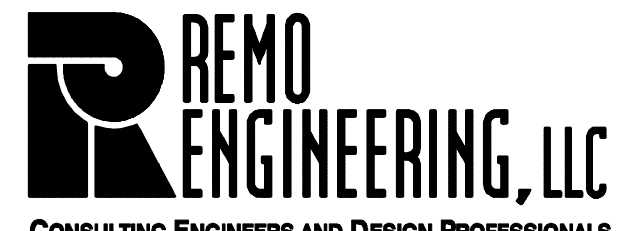
PROP. 39LF-4"P.V.C. ROOF DRAIN @2.00%

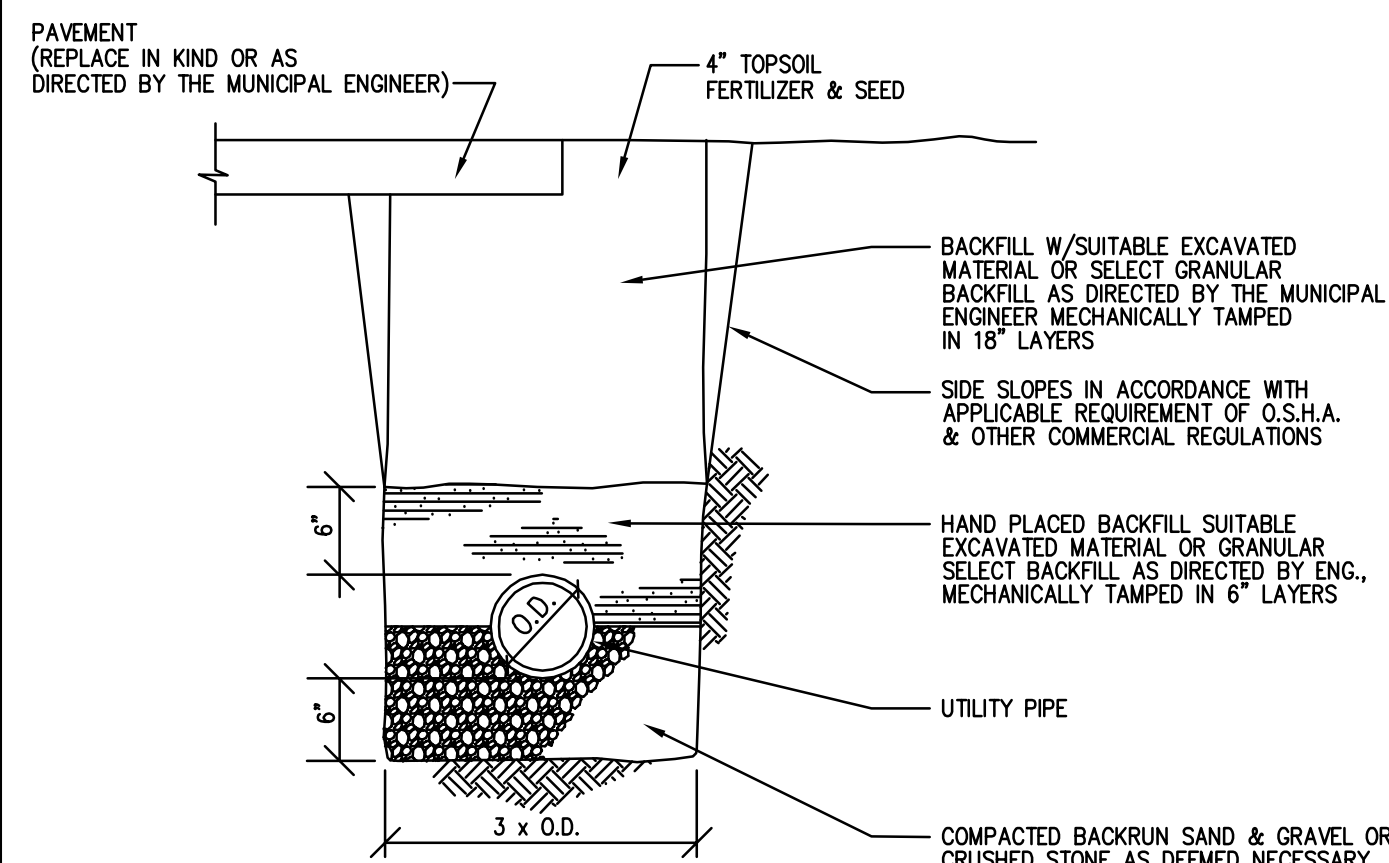
PROP. LOT 9.01  
AREA = 19,500.00 S.F.  
OR 0.45 Ac.

PROP. LOT 11.01  
AREA = 19,500.00 S.F.  
OR 0.45 Ac.

PROP. LOT 13.01  
AREA = 19,500.00 S.F.  
OR 0.45 Ac.

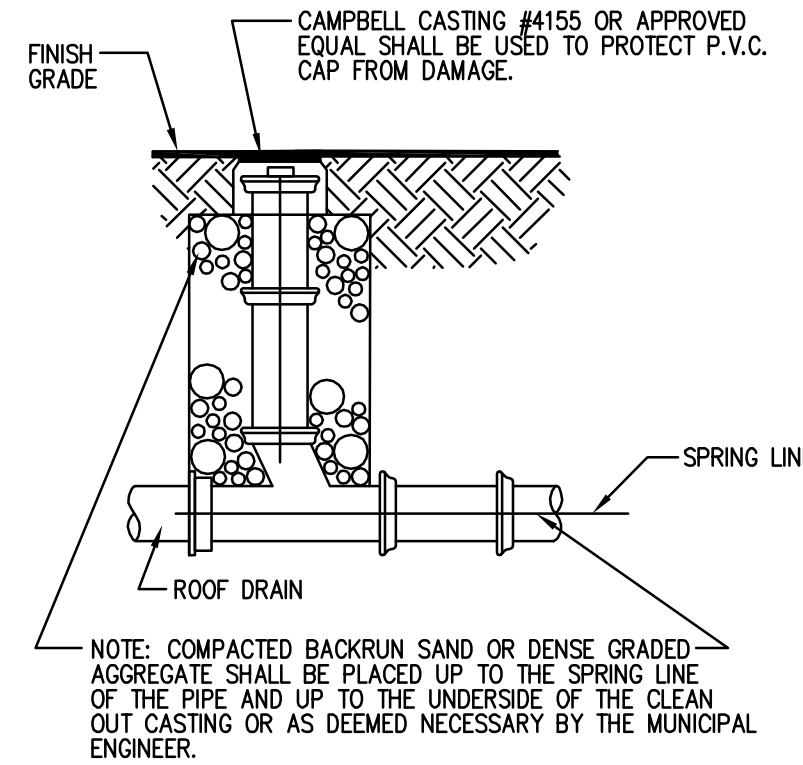
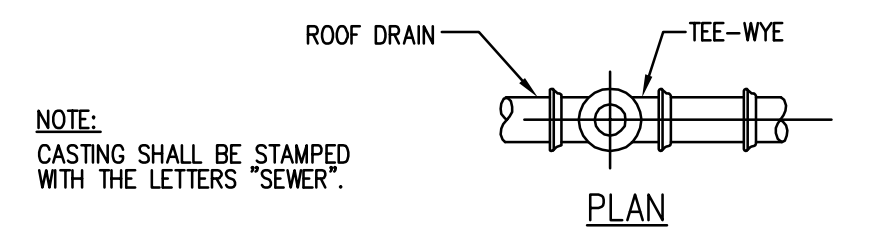


No.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED
<b>SUBDIVISION PLAN</b>				
186 CHURCHILL AVENUE				
LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95				
SITUATED IN				
TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY				
 CONSULTING ENGINEERS AND DESIGN PROFESSIONALS		205 ROUTE 9 NORTH #33 FREEHOLD, NJ 07728 732-303-7992 + 732-742-1001 MARCREMO@REMOENGINEERING.COM NJ CERTIFICATE OF AUTHORIZATION NO. 24QA28098400		
		SCALE: 1" = 20' FILE NO. 08222001 DRAWN: M.A.S. CHECKED: M.A.R. DATE: 10/05/2020 SHEET NO.: 4 OF 7		
<b>MARC A. REMO, P.E., P.P., C.M.E.</b>				
<small>NJ PROFESSIONAL ENGINEER LIC. No. 37145 + NJ PROFESSIONAL PLANNER LIC. No. 5195</small>				

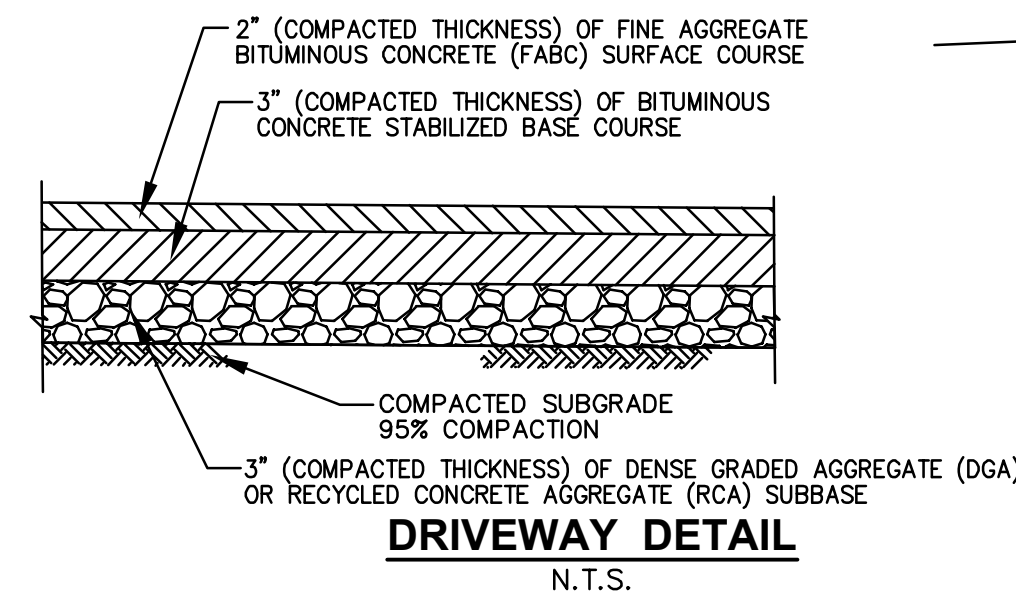


NOTE: EXCAVATIONS IN EXISTING PAVED ROADWAYS SHALL BE COORDINATED WITH THE MUNICIPALITY ROAD DEPARTMENT. AND ALL EXCAVATION SHALL BE PAVED WITH TEMPORARY BITUMINOUS PAVEMENT FROM THE DATE OF ORIGINAL EXCAVATION UNTIL PERMANENT PAVEMENT IS INSTALLED.

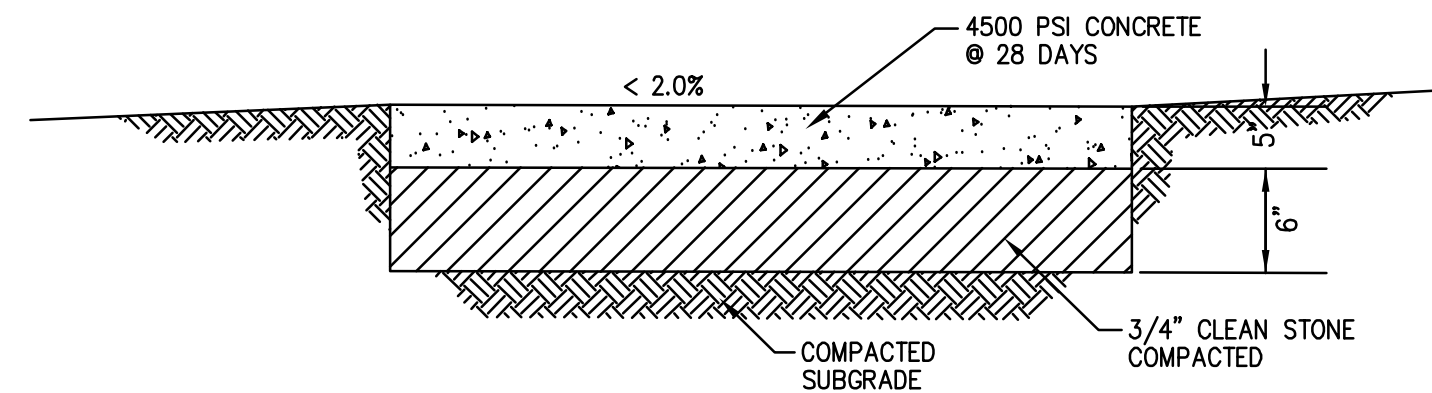
**TYPICAL UTILITY TRENCH DETAIL**  
N.T.S.



**STORM SEWER CLEANOUT DETAIL**  
N.T.S.

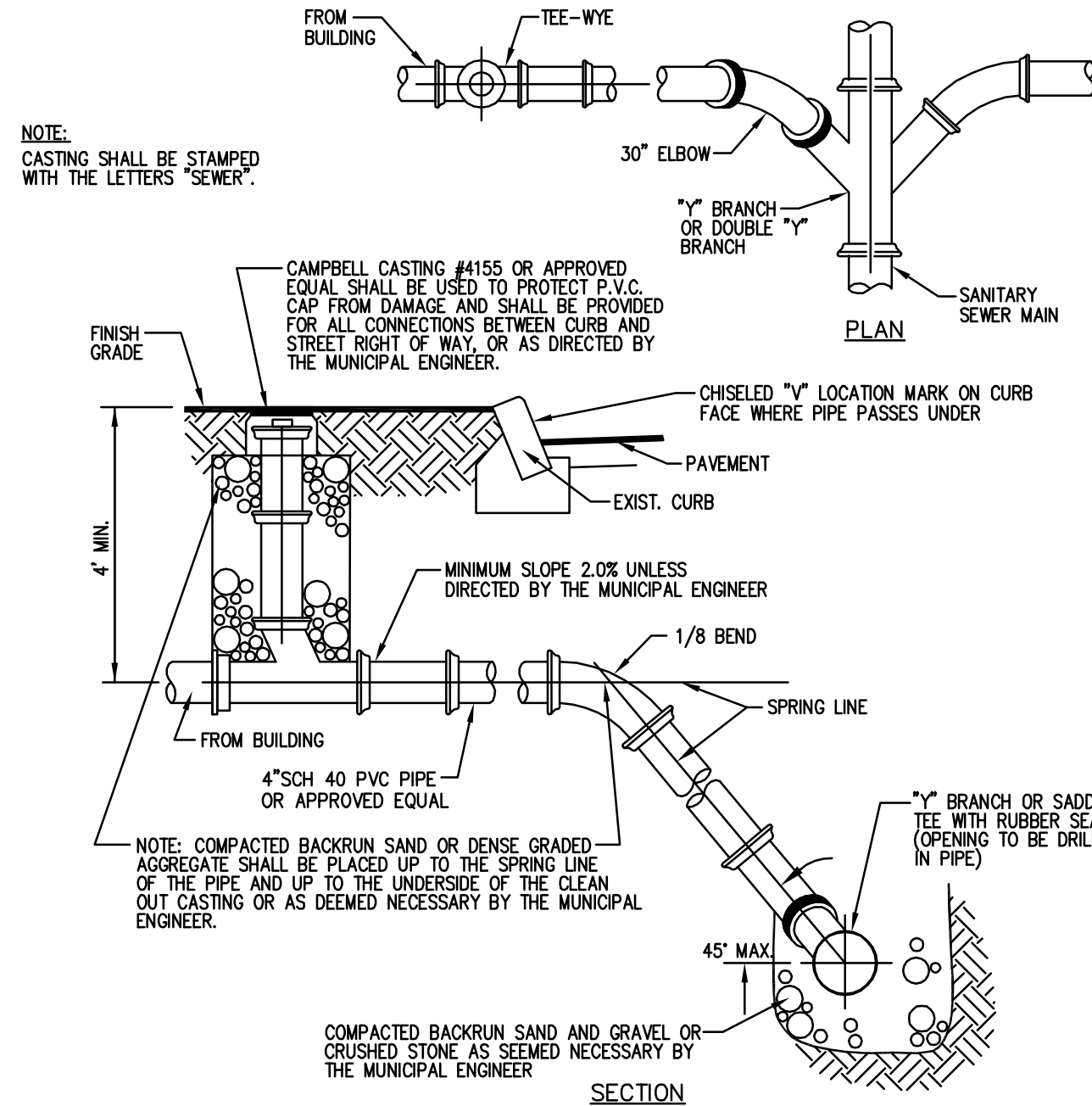


**DRIVEWAY DETAIL**  
N.T.S.

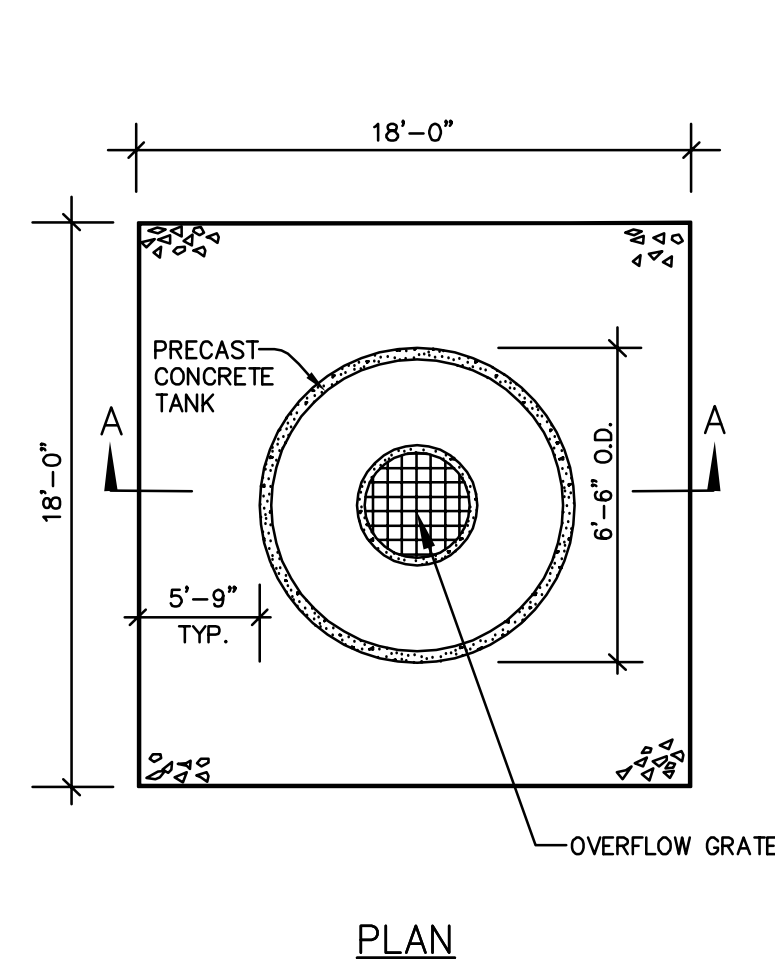


- NOTES:**
- EXPANSION JOINTS SHALL BE PROVIDED AT 20 FEET (MAX.) INTERVALS. JOINTS SHALL BE FILLED WITH 1/2" BITUMINOUS EXPANSION JOINT FILLER.
  - ALL CONCRETE WALK THAT IS BROKEN, CRACKED, OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO ACCEPTANCE.
  - THE MUNICIPALITY SHALL APPROVE ALL SUBGRADES PRIOR TO THE POURING OF ANY CONCRETE.

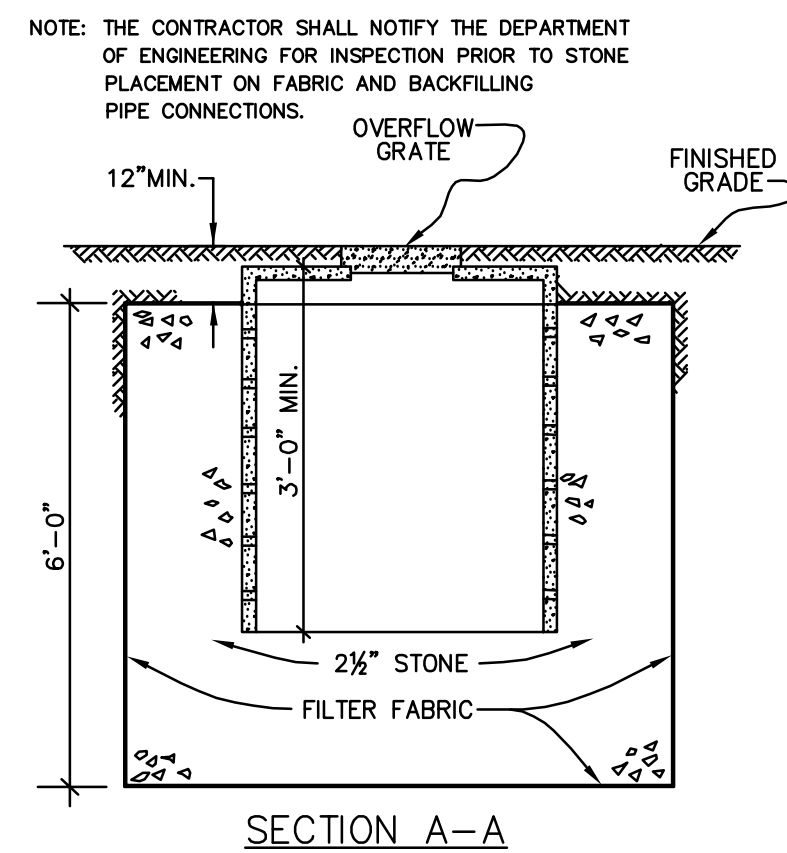
**CONCRETE WALK DETAIL**  
N.T.S.



**SANITARY LATERAL CONNECTION DETAIL**  
N.T.S.



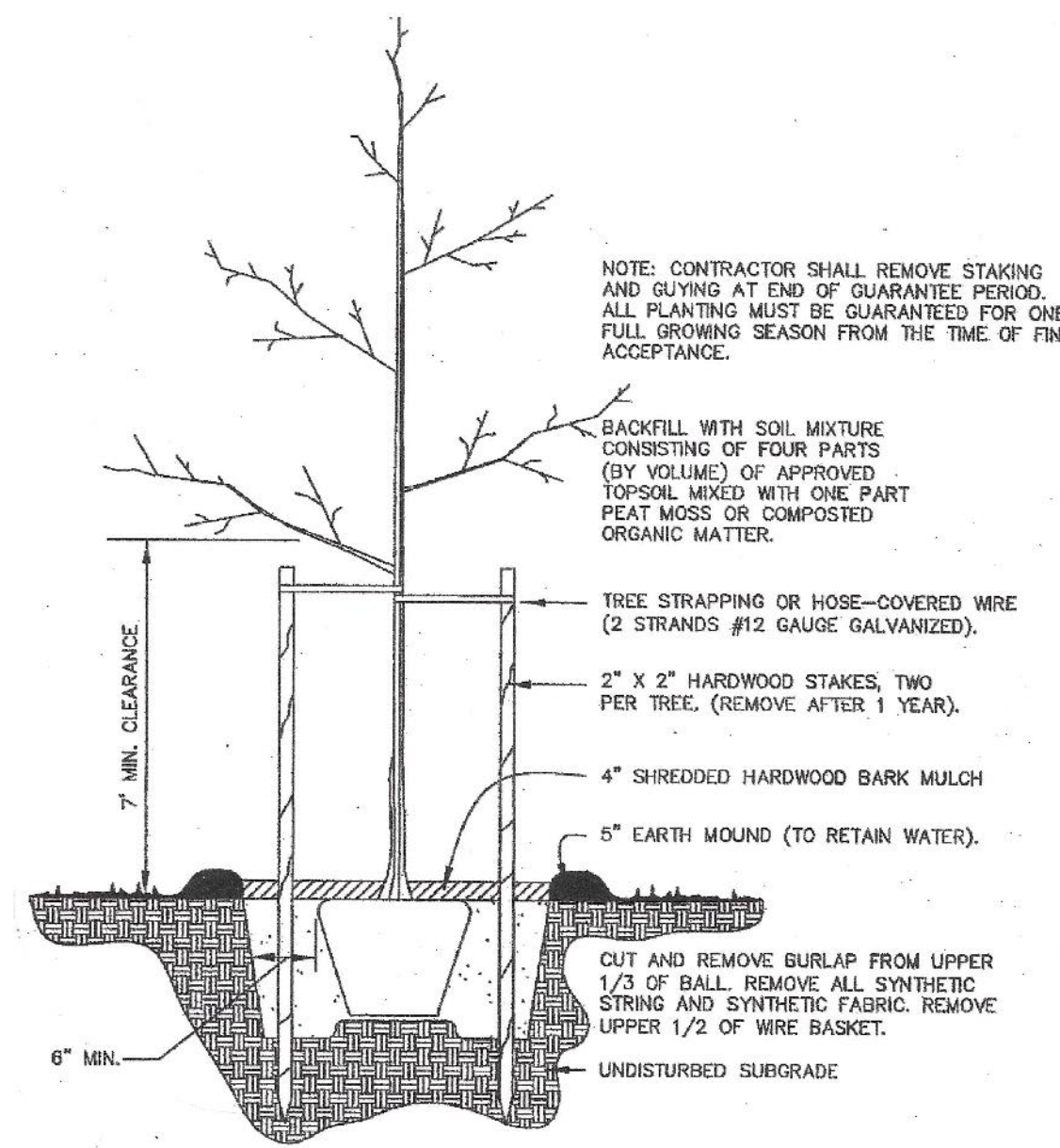
**SEEPAGE PIT DETAIL**  
N.T.S.



- NOTES:**
- SEEPAGE PIT EXCAVATION TO BE LINED WITH FILTER FABRIC "TYPAR" MANUFACTURED BY DUPONT OR APPROVED EQUAL.
  - PRECAST CONCRETE SEEPAGE TANK MODEL "P-3" MANUFACTURED BY PEERLESS CONCRETE PRODUCTS COMPANY OR APPROVED EQUAL.

**STORMWATER SEEPAGE PIT NOTES**

- PROPOSED ROOF DRAIN AND SUMP PUMP OUTLET SHALL BE CONNECTED TO THE SEEPAGE PIT.
- CLEAN-OUTS SHALL BE PROVIDED EVERY 50 FT. AND/OR CHANGE IN HORIZONTAL DIRECTION.
- GALVANIZED STEEL GUTTER SCREENS SHALL BE INSTALLED OVER ROOF GUTTERS TO PREVENT LEAVES AND/OR DEBRIS FROM ENTERING SEEPAGE PIT.
- THE STONE FILL FOR THE SEEPAGE PIT SHALL BE 2.5 IN. CLEAN CRUSHED STONE.
- THE STONE FILL SHALL BE WRAPPED ENTIRELY IN FILTER FABRIC.
- A 6.5 FT OUTSIDE DIAMETER PRECAST CONCRETE SEEPAGE TANK SHALL BE PART OF THE SEEPAGE PIT TO PROMOTE INFILTRATION AND TO SERVE AS AN OBSERVATION WELL.
- THE SEEPAGE PIT SHALL BE PROVIDED WITH AN OVERFLOW GRATE.
- THE SEEPAGE PIT SHALL BE LOCATED A MINIMUM OF 10 FT. FROM BUILDING FOUNDATION.
- BOTTOM OF SEEPAGE PIT SHALL BE LOCATED A MINIMUM OF 2 FT. ABOVE SEASONAL HIGH WATER TABLE (SHWT) AND BEDROCK.



**SHADE TREE PLANTING DETAIL**  
N.T.S.

**LANDSCAPING SCHEDULE**

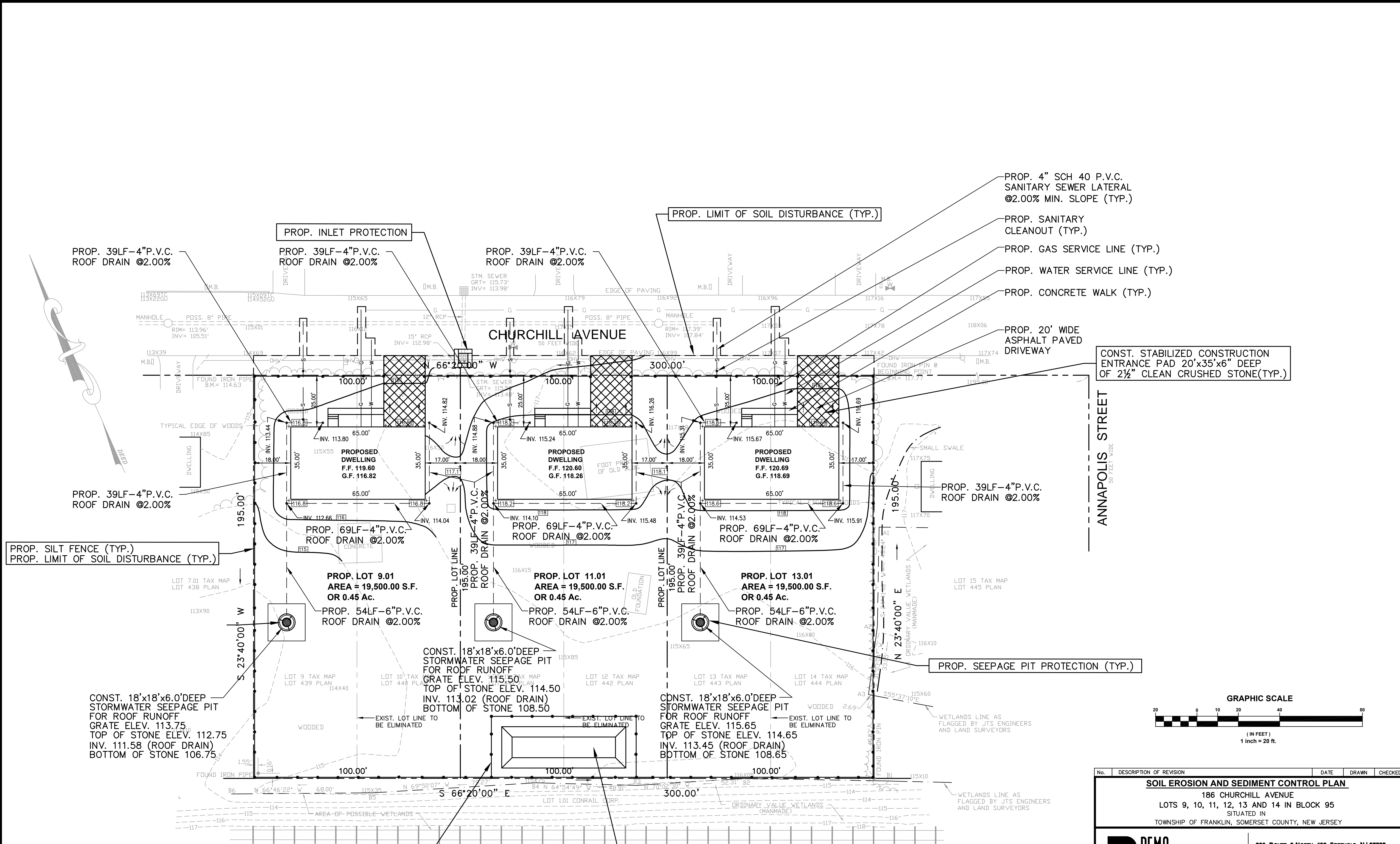
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOTS
ARA	6	ACER RUBRUM 'ARMSTRONG'	'ARMSTRONG' CULMUNAR RED MAPLE	3"-3.5" CAL.	B&B

**LANDSCAPING NOTES**

- ALL MATERIALS TO BE TYPE AND SIZE AS LISTED UNLESS OTHERWISE APPROVED.
- TREES AND SHRUBS TO BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS REGARDING SIZE AND QUALITY.
- CALIPER MEASURED 1 FT. ABOVE TRUNK CROWN.
- EXISTING TREES AND SHRUBS SHALL REMAIN WHEREVER POSSIBLE.
- PLANTS ARE TO BE PLANTED UPRIGHT IN A DIRECTION SO AS TO PROVIDE BEST APPEARANCE IN RELATIONSHIP TO ADJACENT AREAS.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. REFER TO DETAILS.
- PLANTING PITS ARE TO BE PREPARED TO A MINIMUM DEPTH OF 12" AND PITS ARE TO HAVE A MINIMUM OF 1" OF GOOD TOPSOIL. LAWN AREAS ARE TO HAVE A MINIMUM OF 6" (4" FOR SOO) OF TOPSOIL.
- TREE PITS, PLANT BEDS, AND GROUND COVER AREAS SHALL BE MULCHED WITH A MINIMUM DEPTH OF 3 IN. (AFTER SETTLEMENT) OF SHREDDED HARDWOOD MULCH.
- PROVIDE NEW OR AMENDED TOPSOIL BACKFILL FOR ALL NEWLY PLANTED MATERIAL. ORGANIC MATTER CONTENT: MINIMUM: PH RANGE BETWEEN 5.0 TO 6.5 INCLUSIVE. FREE OF STONES 1" OR GREATER AND FREE OF ALL DEBRIS AND EXTRANEUS MATERIALS.
- CHEMICAL FERTILIZERS TO BE DERIVED FROM ORGANIC SOURCES AND APPLIED IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
- ALL OPEN SPACES SHALL BE SEEDED OR SOODED AS NOTED ON PLAN.
- LANDSCAPING PLAN IS DIAGRAMATIC. PLANT LOCATIONS MAY BE ADJUSTED FOR FIELD CONDITIONS WITH PRIOR APPROVAL.
- THE CONTRACTOR MUST VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY IMPLEMENTATION.
- ANY DISCREPANCIES AND/OR INCONSISTENCIES ARE TO BE BROUGHT TO THE ATTENTION OF REMO ENGINEERING, LLC FOR REVIEW AND RESOLUTION.
- ALL LANDSCAPING NOT SURVIVING FOR A PERIOD OF ONE YEAR SHALL BE REPLACED WITH THE SAME OR EQUIVALENT SIZE SPECIES.
- STREET TREES SHALL BE BRANCHED AT 7 FT.
- AAN STANDARDS: ALL PLANTS SHALL MEET OR EXCEED THE MINIMUMS AS NOTED IN THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN ANSI Z601.
- ALL SUBSTITUTIONS IN PLANT MATERIALS SHALL BE REVIEWED BY REMO ENGINEERING, LLC AND APPROVED IN WRITING BY THE MUNICIPALITY.
- FOR SHADE TREES, CENTER LEADER SHALL NEVER BE REMOVED AND ONLY DEAD OR BROKEN BRANCHES SHALL BE PRUNED TO NATURAL TARGETS.
- ALL PLANTS TO BE INSTALLED AT NURSERY GRADE OR HIGHER WITH NO SUB-GRADE DISTURBANCE.
- TREE SUPPORT SYSTEMS DIRECTLY CONTACTING TREE TRUNK SHALL EITHER BE LOOSELY SECURED WIDE STRAPPING OR 1" MINIMUM WIDE PLASTIC INTERLOCK TYPE CHAIN.
- ALL TREE SUPPORT SYSTEMS MUST BE REMOVED WITHIN ONE YEAR OF STRAIGHTENING.
- ANY SYNTHETIC ROPE AND FABRIC USED SHALL BE REMOVED COMPLETELY FROM PLANTING PIT AND DISPOSED OF PROPERLY.
- BURLAP AND SISAL CORD SHALL NOT BE LEFT EXPOSED TO SOIL SURFACE.
- ALL TREE TRUNK WRAP MATERIALS SHALL BE REMOVED DURING INSTALLATION PROCESS.
- FERTILIZER SHALL NOT BE USED FOR TREES AND SHRUBS DURING THE FIRST YEAR AFTER INSTALLATION.
- MULCH SHALL NOT BE PILED DIRECTLY ONTO TREE ROOT COLLAR.
- ROOT BARRIER AS MANUFACTURED BY DEEP ROOT, TO BE PROVIDED ON ALL FOUR SIDES OF PLANTINGS LOCATED WITHIN 10 FT. OF NEW OR EXISTING CURB, PAVEMENT AND/OR SIDEWALKS.
- CONCRETE FOR WALKS MUST BE 4500 PSI @ 28 DAYS WITH 4.5% TO 7.5% AIR ENTRAINMENT AND A MAXIMUM PERMITTED SLUMP OF 2" TO 4". FORM INSPECTIONS MUST BE REQUESTED OF THE MUNICIPALITY'S DIVISION OF ENGINEERING 24 HOURS PRIOR TO CONCRETE PLACEMENT.
- ALL CONCRETE SHALL BE TESTED. TESTING SHALL BE CONDUCTED BY AN INDEPENDENT LAB TO INSURE CONFORMANCE TO MUNICIPALITY SPECIFICATIONS. REQUESTS FOR TESTING MUST BE MADE TO THE MUNICIPALITY'S DIVISION OF ENGINEERING NOT LATER THAN 3:00 PM OF THE DAY PRIOR TO POURING AFTER THE FORMS HAVE BEEN INSPECTED AND APPROVED BY THE MUNICIPALITY'S DIVISION OF ENGINEERING.
- NO CONCRETE SHALL BE PLACED WHEN THE AIR TEMPERATURE IS BELOW 40 F. (REFER TO MUNICIPALITY SPECIFICATIONS FOR FURTHER INFORMATION).
- ALL CONSTRUCTION SHALL CONFORM TO TOWNSHIP OF FRANKLIN STANDARD SPECIFICATIONS LATEST EDITION OR AMENDMENTS, OR NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION LATEST EDITION OR AMENDMENTS, OR RESIDENTIAL SITE IMPROVEMENT STANDARDS LATEST EDITION OR AMENDMENTS, WHERE APPLICABLE.

No.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED
<b>CONSTRUCTION DETAILS</b>				
186 CHURCHILL AVENUE LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95 SITUATED IN TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY				
<b>REMO ENGINEERING, LLC</b> CONSULTING ENGINEERS AND DESIGN PROFESSIONALS		205 ROUTE 9 NORTH #33 FREEHOLD, NJ 07728 732-303-7992 + 732-742-1001 MARC@REMOENGINEERING.COM NJ CERTIFICATE OF AUTHORIZATION NO. 24QA28098400		
SCALE: AS SHOWN				FILE NO. 08222001
DRAWN: M.A.S.				CHECKED: M.A.R.
DATE: 10/05/2020				SHEET NO.: 5 OF 7

MARC A. REMO, P.E., P.P., C.M.E.  
NJ PROFESSIONAL ENGINEER LIC. No. 37145 + NJ PROFESSIONAL PLANNER LIC. No. 5195



PROP. 4" SCH 40 P.V.C. SANITARY SEWER LATERAL @2.00% MIN. SLOPE (TYP.)

PROP. SANITARY CLEANOUT (TYP.)

PROP. GAS SERVICE LINE (TYP.)

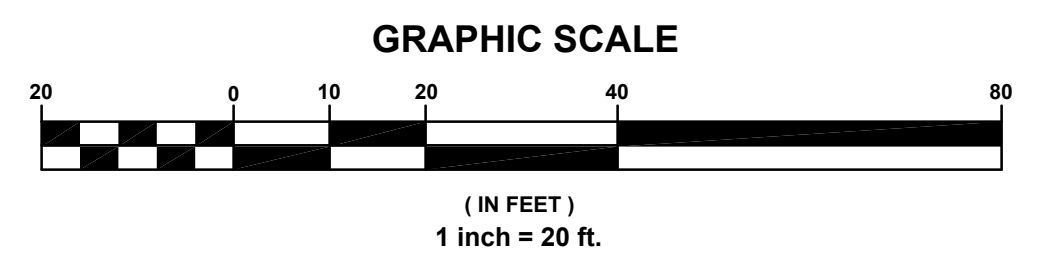
PROP. WATER SERVICE LINE (TYP.)

PROP. CONCRETE WALK (TYP.)

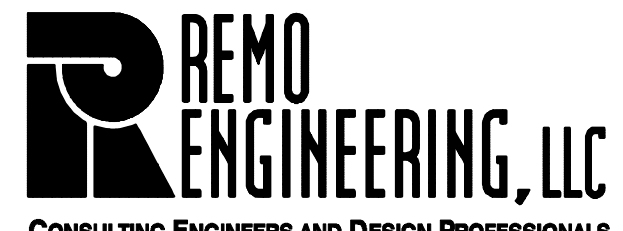
PROP. 20' WIDE ASPHALT PAVED DRIVEWAY

CONST. STABILIZED CONSTRUCTION ENTRANCE PAD 20'x35'x6" DEEP OF 2 1/2" CLEAN CRUSHED STONE(TYP.)

ANNAPOLIS STREET  
50 FEET WIDE



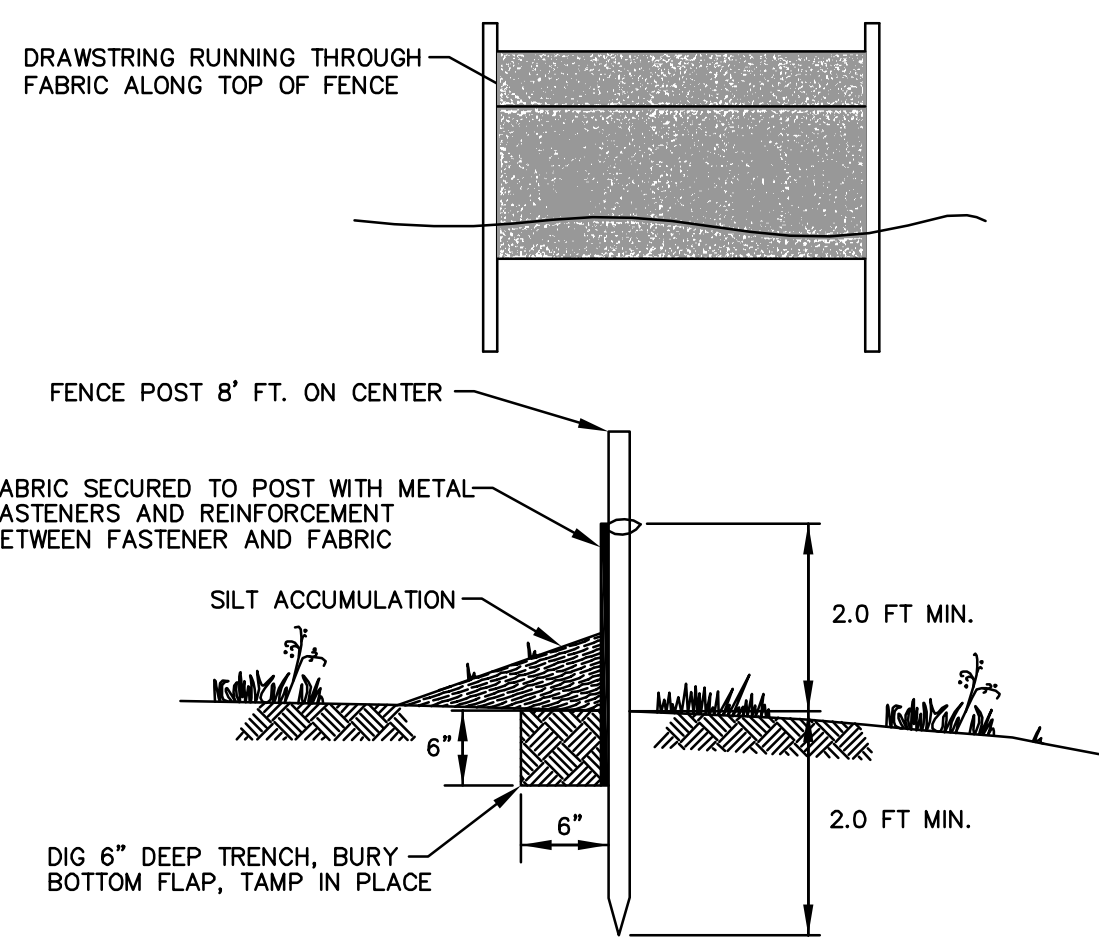
No.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED
<b>SOIL EROSION AND SEDIMENT CONTROL PLAN</b>				
186 CHURCHILL AVENUE LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95 SITUATED IN TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY				



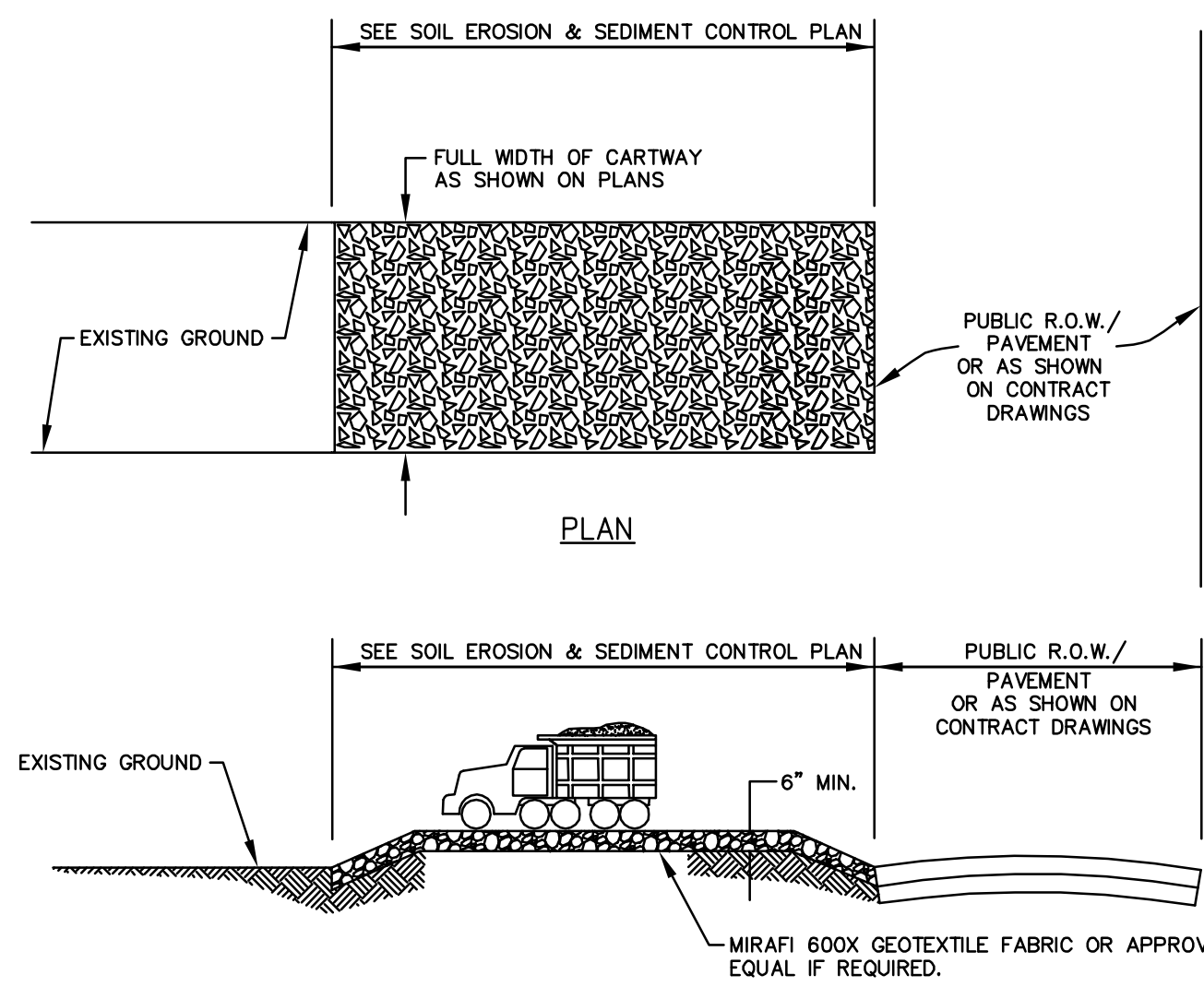
205 ROUTE 9 NORTH #33 FREEHOLD, NJ 07728  
732-303-7992 • 732-742-1001  
MARC@REMOENGINEERING.COM  
NJ CERTIFICATE OF AUTHORIZATION NO. 24QA28098400

MARC A. REMO, P.E., P.P., C.M.E. DATE: 10/05/2020  
NJ PROFESSIONAL ENGINEER LIC. No. 37145 • NJ PROFESSIONAL PLANNER LIC. No. 5195  
SHEET NO.: 6 OF 7

SCALE: 1" = 20'  
FILE NO. 08222001  
DRAWN: M.A.S.  
CHECKED: M.A.R.  
DATE: 10/05/2020  
SHEET NO.: 6 OF 7



**SILT FENCE DETAIL**  
N.T.S.

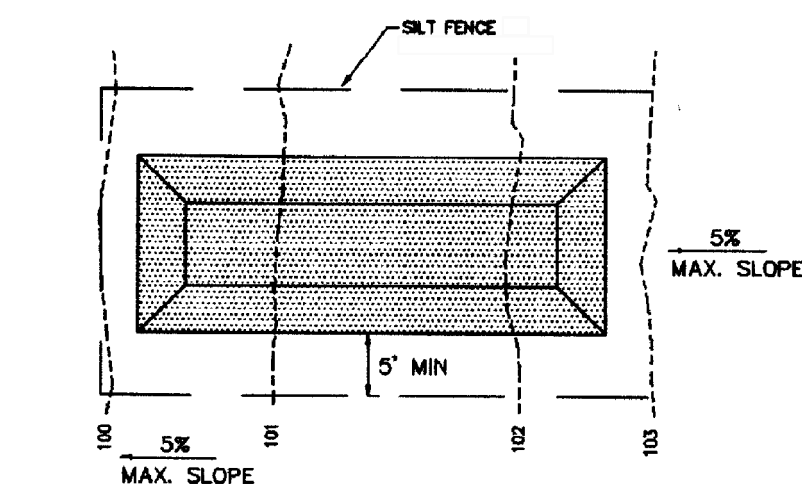


**PROFILE**

**NOTES:**

1. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION DRIVEWAY AND PUBLIC R.O.W.
2. PLACE STABILIZED CONSTRUCTION DRIVEWAY AT LOCATION(S) AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
3. STONE SIZE SHALL BE ASTM C-33, SIZE NO.2 OR 3, CRUSHED STONE.
4. THE THICKNESS OF THE STABILIZED CONSTRUCTION DRIVEWAY SHALL NOT BE LESS THAN 6".
5. THE WIDTH AT THE EXISTING PAVEMENT SHALL NOT BE LESS THAN THE FULL WIDTH OF POINTS OF INGRESS AND EGRESS.
6. THE STABILIZED CONSTRUCTION DRIVEWAY SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC R.O.W./PAVEMENT. THIS REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT OR AS MAYBE REQUIRED BY THE DISTRICT AS CONDITIONS DEMAND.
7. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE PUBLIC R.O.W. PAVEMENT MUST BE REMOVED IMMEDIATELY.
8. WHERE TRACKING OF SOIL ONTO ROADWAYS IS A CONTINUAL OCCURRENCE, ALL CONTRACTORS, BOTH SITE AND DWELLING CONTRACTORS, SHALL BE REQUIRED TO BROOMSWEEP THE ROADWAY AT TWO-HOUR INTERVALS MINIMUM AND PRIOR TO LEAVING THE CONSTRUCTION SITE AT THE DAY END.
9. PLACE MIRAFI 600X GEOTEXTILE FABRIC OR APPROVED EQUAL AT POORLY DRAINED LOCATIONS UNDER STABILIZED CONSTRUCTION DRIVEWAY, IF REQUIRED.

**STABILIZED CONSTRUCTION DRIVEWAY**  
N.T.S.



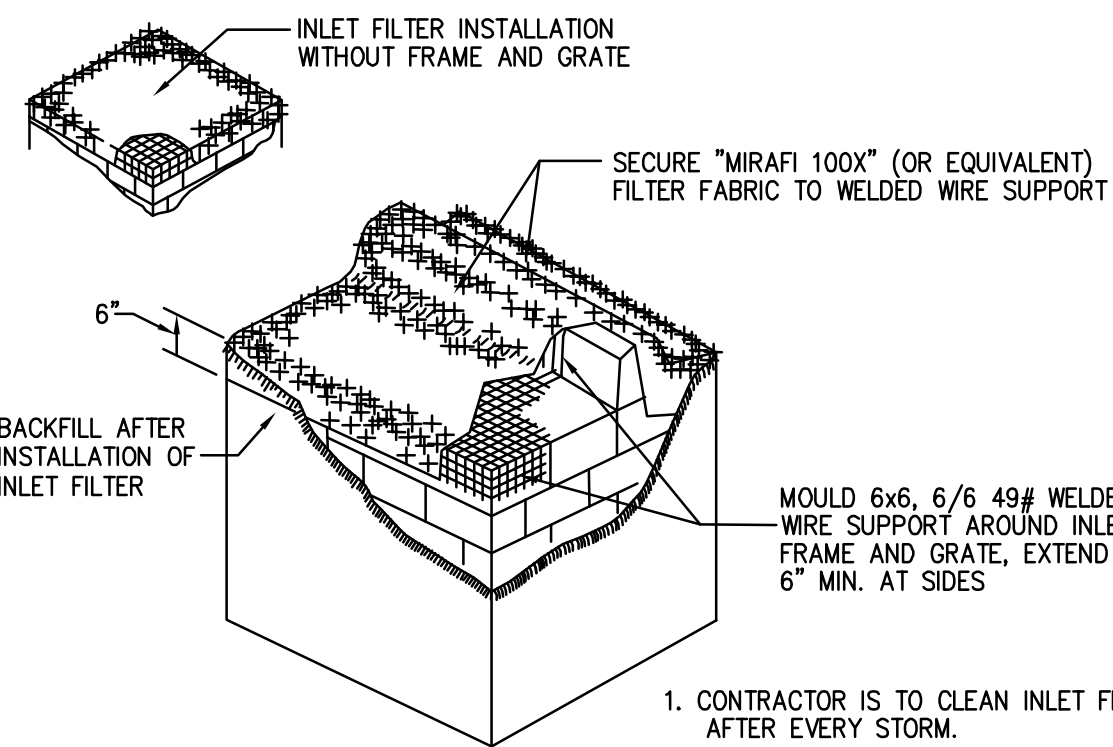
**SILT FENCE**



**SILT FENCE**

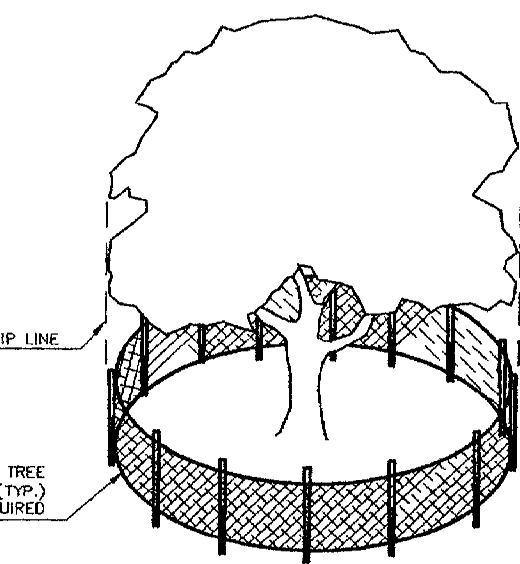
- NOTES:**
1. PLACE STOCKPILES AT LOCATION AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
  2. ALL SIDE SLOPES SHALL BE 3 TO 1 OR FLATTER.
  3. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQ.
  4. SILT FENCE SHALL BE INSTALLED AS DETAILED HEREON.

**SOIL STOCKPILE DETAIL**  
N.T.S.



**INLET FILTER DETAIL**  
N.T.S.

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.



**TREE PROTECTION DETAIL**  
N.T.S.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. THE SOMERSET UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED SEVENTY-TWO (72) HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL OF NEW JERSEY.
3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
5. IN THAT N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR EROSION CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
6. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN (30) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 1 1/2 TO 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
8. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
9. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
10. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS MUST BE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
11. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
12. PERMANENT VEGETATIVE IS TO BE SEEDDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
13. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
14. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF THIRTY-FOUR (34) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
15. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
16. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
17. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF SOIL DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SF IS DISTURBED.
18. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 6.
19. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

**CONSTRUCTION SCHEDULE**

1. CLEAR PROPOSED ENTRANCE AND PLACE STABILIZED CONSTRUCTION ENTRANCE PAD AS NOTED.
2. INSTALL SEDIMENT CONTROL STRUCTURES (I.E. SILT STOP FENCE) ADJACENT TO THE LIMIT OF SOIL DISTURBANCE AS SHOWN.
3. CLEAR LAND AREA TO BE DEVELOPED. TREES SHALL REMAIN WHEREVER POSSIBLE.
4. STOCK PILE AND SEED OR MULCH TOPSOIL.
5. ROUGH GRADE THE SITE.
6. STABILIZE ALL AREAS NOT SUBJECT TO CONSTRUCTION TRAFFIC THAT WILL REMAIN LEFT EXPOSED FOR MORE THAN 30 DAYS.
7. BEGIN BUILDING CONSTRUCTION.
8. CONSTRUCTION UNDERGROUND UTILITIES TO DWELLING.
9. CONSTRUCT ROOF DRAINAGE SYSTEM AND STORMWATER SEEPAGE PIT.
10. FINE GRADE THE SITE.
11. CONSTRUCT DRIVEWAY PAVEMENT.
12. INSTALL LANDSCAPING.
13. STABILIZE ALL DISTURBED AREAS IN ACCORD WITH APPLICABLE TEMPORARY OR PERMANENT SEEDING SPECIFICATIONS.
14. REMOVE SEDIMENT CONTROL STRUCTURES.
15. WHEN AREA IS STABILIZED, SEDIMENT CONTROL STRUCTURES CAN BE REMOVED.

**STANDARD FOR TOPSOILING**

1. MATERIALS
  - A. TOPSOIL SHOULD BE FRIABLE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMHOS PER CENTIMETER. MORE THAN 0.5 MILLIMHOS MAY DESICCATE SEEDLINGS AND ADVERSELY IMPACT GROWTH). IMPORTED TOPSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75%. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
  - B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS AND PH LEVEL.
2. STRIPPING AND STOCKPILING
  - A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.
  - B. STRIPPING SHOULD BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
  - C. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO APPROXIMATELY 6.5.
  - D. A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL.
  - E. STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
  - F. STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS FOR PERMANENT (PAGE 4-1) OR TEMPORARY (PAGE 7-1) VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.
3. SITE PREPARATION
  - A. GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED SOIL TO EROSION. IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE. TIME IS OF THE ESSENCE.
  - B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SEE THE STANDARD FOR LAND GRADING, PAGE 19-1.
  - C. AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
  - D. PRIOR TO TOPSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH THE STANDARD FOR LAND GRADING, PAGE 19-1.
  - E. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
4. APPLYING TOPSOIL
  - A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE (I.E. LESS THAN FIELD CAPACITY, SEE GLOSSARY).
  - B. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. ALTERNATE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPPING, ETC. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OR SOIL HAVING A PH OF 5.0 OR MORE, IN ACCORDANCE WITH THE STANDARDS FOR MANAGEMENT OF HIGH ACID PRODUCING SOIL (PAGE 1-1).
  - C. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED BY THE CONTRACTOR TO INCLUDE SOME OR ALL OF THE FOLLOWING: SUPPLEMENTAL SEEDING, RE-APPLICATION OF LIME AND FERTILIZERS, AND/OR THE ADDITION OF ORGANIC MATTER (I.E. COMPOST) AS A TOP DRESSING. SUCH ADDITIONAL MEASURES SHALL BE BASED ON SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS COOPERATIVE EXTENSION SERVICE OR OTHER APPROVED LABORATORY FACILITIES QUALIFIED TO TEST SOIL SAMPLES FOR AGRONOMIC PROPERTIES.

**STABILIZATION SPECIFICATIONS**

1. TEMPORARY SEEDING AND MULCHING
  - LIME - USE 2 TONS PER ACRE GROUND LIMESTONE; FERTILIZER AT 500 LBS. PER ACRE, USING 10-20-10 OR EQUIVALENT WORK INTO THE SOIL AT A MINIMUM OF 4".
  - SEED - PERENNIAL RYEGRASS AT 40 LBS. PER ACRE. PLANTING DATES MARCH 1 THROUGH MAY 15 AND AUGUST 15 THROUGH OCTOBER 1.
  - MULCHING - USE SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS. PER SQUARE FEET.
  - LIQUID MULCHING BINDER - SYNTHETIC OR ORGANIC BINDERS SUCH AS CURASOL, DCA-70, PETRO - SET, AND TERRA - TACK MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS.
2. PERMANENT SEEDING (LAWN AREA)
  - LIME - USE 3 TONS PER ACRE GROUND LIMESTONE; FERTILIZER AT 500 LBS. PER ACRE, USING 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
  - SEED - TALL FESCUE AT 50 LBS. PER ACRE, REDTOP AT 5 LBS. PER ACRE, OR PERENNIAL RYEGRASS AT 5 LBS. PER ACRE, BIRDFOOT TREFLOIL AT 10 LBS. PER ACRE OR WHITE CLOVER AT 10 LBS. PER ACRE. OPTIMAL PLANTING PERIOD MARCH 1 THROUGH APRIL 30 AND AUGUST 15 THROUGH OCTOBER 15. ACCEPTABLE PLANTING PERIOD MAY 1 THROUGH AUGUST 14.
  - MULCHING - USE THE SAME SPECIFICATIONS LISTED IN "TEMPORARY SEEDING AND MULCHING". INSTALL AS REQUIRED.
3. PERMANENT SEEDING (STEEP BANKS)
  - NOTE: THESE AREAS ARE TO BE SEEDDED AND MULCHED IMMEDIATELY AFTER GRADING.
  - LIME - USE 2 TON PER ACRE GROUND LIMESTONE; FERTILIZER AT 1,000 LBS. PER ACRE USING 10-20-10 OR EQUIVALENT.
  - SEED - USE KENTUCKY FESCUE AND/OR CROWN VETCH.
4. PERMANENT STABILIZATION BY SODDING
  - LIME - USE 2 TONS PER ACRE GROUND LIMESTONE; FERTILIZER AT 1,000 LBS. PER ACRE USING 10-20-10 OR EQUIVALENT.
  - SOD - USE GOOD QUALITY OF NEW JERSEY CERTIFIED, KENTUCKY BLUEGRASS AND/OR RED FESCUE.

**TYPICAL LOT TREATMENT**

SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL APPLY TO EACH INDIVIDUAL LOT ON A LOT-BY-LOT BASIS. THE PROPOSED STONE SUB-BASE OF DRIVEWAY SHALL BE CONSTRUCTED IMMEDIATELY FOLLOWING ROUGH GRADING AND SHALL SERVE AS A STABILIZED CONSTRUCTION ENTRANCE TRACKING PAD CONSISTING OF 2 1/2 CLEAN CRUSHED STONE. SILT STOP FENCE SHALL BE INSTALLED AT THE LOWER ELEVATIONS OF EACH LOT AT THE LIMIT OF SOIL DISTURBANCE, WHERE NECESSARY. STRIPPING OF TOPSOIL SHALL BE CONFINED TO THE PROPOSED DISTURBED AREA. TOPSOIL STOCKPILE SHALL BE LOCATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE. SILT STOP FENCE SHALL BE INSTALLED ALONG THE PERIMETER OF THE STOCKPILE AND THE STOCKPILE SHALL RECEIVE TEMPORARY SEEDING OR MULCH. LOT LINES ARE LIMIT OF SOIL DISTURBANCE UNLESS OTHERWISE NOTED. ALL AREAS BEYOND PROPOSED LIMIT OF SOIL DISTURBANCE SHALL REMAIN UNDISTURBED.

**DUST CONTROL NOTES**

ANY OF THE FOLLOWING METHODS SHALL BE USED FOR DUST CONTROL:

1. MULCHES: SEE STABILIZATION SPECIFICATIONS.
2. TILLAGE: TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED APPROXIMATELY 12" APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
3. SPRINKLING: SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
4. BARRIERS: BALES OF HAY AND/OR SILT STOP FENCES CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

**CONSTRUCTION DURATION OF PROJECT**

THE CONSTRUCTION DURATION IS ESTIMATED TO BE 12 MONTHS.

No.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED
<b>SOIL EROSION AND SEDIMENT CONTROL DETAILS</b>				
186 CHURCHILL AVENUE LOTS 9, 10, 11, 12, 13 AND 14 IN BLOCK 95 SITUATED IN TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY				
		205 ROUTE 9 NORTH #33 FREEHOLD, NJ 07728 732-303-7992 + 732-742-1001 MARC.REMO@REMOENGINEERING.COM NJ CERTIFICATE OF AUTHORIZATION NO. 24QA28098400		
CONSULTING ENGINEERS AND DESIGN PROFESSIONALS				
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DRAWN: M.A.S.				
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DATE: 10/05/2020				
SHEET NO.: 7 OF 7				

MARC A. REMO, P.E., P.P., C.M.E. DATE: 10/05/2020  
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