

**KEY MAP**  
SCALE: 1" = 1,000'±

# FINAL SITE PLAN FOR 3 RONSON, LLC PROPOSED DUNKIN DONUTS & RETAIL TENANT

BLOCK 88.01, LOT 43  
1165 NEW JERSEY STATE ROUTE 27  
TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NJ

APPROVAL BLOCK	
APPROVED BY THE TOWNSHIP OF FRANKLIN PLANNING BOARD	
CHAIRPERSON	DATE
SECRETARY	DATE
TOWNSHIP ENGINEER	DATE

**APPLICANT & OWNER**

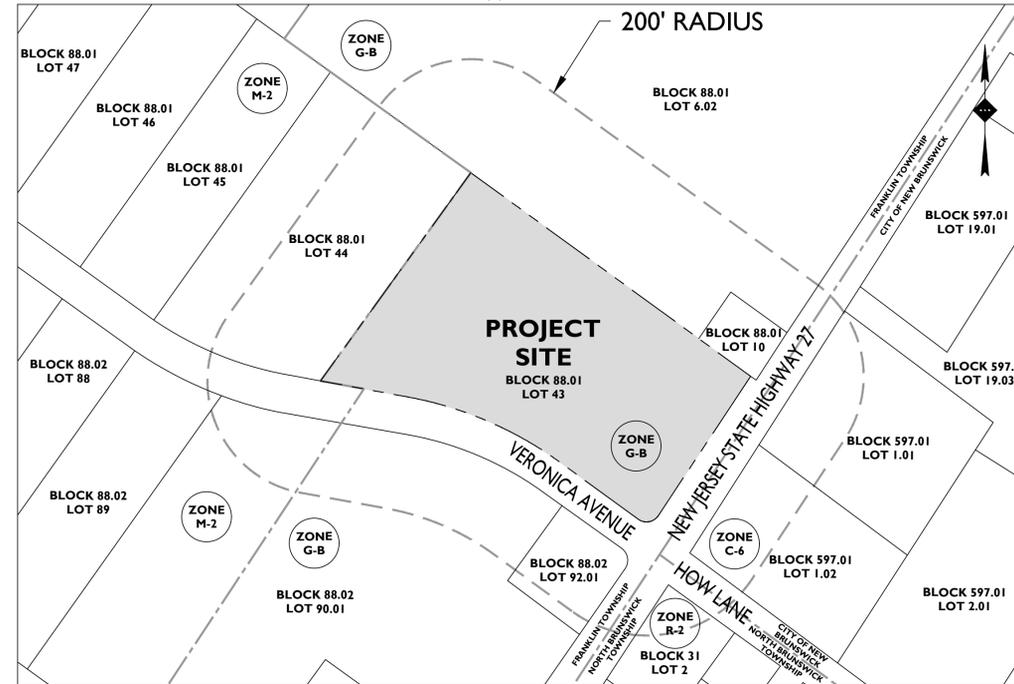
3 RONSON LLC  
115 EAST 11TH AVENUE  
ROSELLE, NJ 07203  
908-259-9800

ZONING RELIEF TABLE			
CODE SECTION	REQUIRED	PROPOSED	RELIEF TYPE
BULK REQUIREMENTS GENERAL BUSINESS ZONE	MAXIMUM IMPERVIOUS COVERAGE: 70.0%	72.5%	VARIANCE
§ 112-206.9(A)(3)(b) LANDSCAPE DESIGN	ARTICULATE BUILDING FACADES WITH LANDSCAPED SEATING AREAS TO PROVIDE VISUAL INTEREST AND PEDESTRIAN-FRIENDLY PLACES.	DOES NOT COMPLY	WAIVER
§ 112-206.9(A)(5) LANDSCAPE DESIGN	SITE FURNISHINGS INCLUDE BENCHES, WASTE RECEPTACLES, PLANTERS, RAILINGS AND BOLLARDS. VISUAL CONSISTENCY OF THESE ELEMENTS IS DESIRED THROUGHOUT EACH DEVELOPMENT.	DOES NOT COMPLY	WAIVER
§ 112-206.9(C)(2) LANDSCAPE DESIGN	NO AREAS FOR OUTDOOR STORAGE, TRASH COLLECTION OR COMPACTION, LOADING, OR OTHER SUCH USES MUST BE LOCATED WITHIN 20 FEET OF ANY PUBLIC STREET, PUBLIC SIDEWALK, OR INTERNAL PEDESTRIAN WALKWAY.	11.1 FT	WAIVER
§ 112-206.9(C)(3) LANDSCAPE DESIGN	LOADING AND TRASH RECEPTACLES MUST BE INCORPORATED INTO THE OVERALL DESIGN OF THE BUILDING SO THAT VISUAL AND ACOUSTIC IMPACTS ARE CONTAINED AND OUT OF VIEW FROM ADJACENT PROPERTIES AND PUBLIC STREETS.	DOES NOT COMPLY	WAIVER
§ 112 SCHEDULE 5	RETAIL SERVICE ACTIVITIES: MAXIMUM NUMBER: 1 PER TENANT MAX SIGN AREA: 30 SF PER TENANT MAX VERTICAL DIMENSION: 3 FT  ONE ADDITIONAL ATTACHED SIGN IS PERMITTED AT REAR AND SIDE ENTRANCES, PROVIDED THAT EACH IS EQUAL TO OR LESS THAN THE MAXIMUM PERMITTED SIZE OF THE FRONT SIGN.  MAXIMUM ALLOWABLE SIGNS: 3 (1 FOR TENANT AND 1 FOR SIDE ENTRANCE)	5 SIGNS 25 SF COMPLIES  FRONT SIGN = 25 SF SIDE ENTRANCE SIGN = 25 SF  5 SIGNS (V)	VARIANCE

(V) VARIANCE  
(W) WAIVER



**AERIAL MAP**  
1" = 150' ±



**TAX & ZONING MAP**  
1" = 150' ±

PLANS PREPARED BY:



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15 Spring Street, Princeton, NJ 08542  
Phone 609.362.6900

200' PROPERTY OWNERS LIST				
BLOCK	LOT	LOCATION	OWNER	OWNER ADDRESS
88.02	89	81 VERONICA AVENUE	G W VERONICA AVENUE II ASSOCIATES	3 LOUIS STREET EDISON, NEW JERSEY 08820
88.01	44	80 VERONICA AVENUE	FINGER FAMILY, LLC	19 POINT OF WOODS NORTH BRUNSWICK, NEW JERSEY 08902
88.02	92.01	1213 ROUTE 27	POWER TEST REALTY, GETTY REALTY CORP	TWO JERICHO PLS-WING C, SUITE 110 JERICHO, NEW YORK 11753
88.02	90.01	1221 ROUTE 27	FRANKLIN SHOPPING CTR PARTNERS LLC	1260 STELTON ROAD PISCATAWAY, NEW JERSEY 08854
88.01	10	1133 ROUTE 27	BARRY, PN & BARRY, WB & BARRY, SM & BARRY, KC	1133 ROUTE 27 SOMERSET, NEW JERSEY 08873
88.01	6.02	955 ROUTE 27	CLEARY, W.A. CORP.	1049 ROUTE 27 SOMERSET, NEW JERSEY 08873



Know what's below  
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DRAWING TITLE	SHEET #
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ISSUE	DATE	BY	DESCRIPTION
4	07/23/2020	AMB	FOR TOWNSHIP AND DRCC SUBMISSION
3	04/22/2020	AMB	FOR NIDOT SUBMISSION
2	02/17/2020	AMB	FOR DRCC SUBMISSION
1	01/04/2020	HC	REVISED BY HARBOR CONSULTANTS

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**FINAL SITE PLAN**

NIDOT APPLICATION #  
A-27-C-23966-2020

**3 RONSON, LLC**  
115 EAST 11TH AVENUE  
ROSELLE, NJ 07203

**PROPOSED FAST FOOD RESTAURANT AND RETAIL TENANT**  
BLOCK 88.01, LOT 43  
1165 NJ STATE ROUTE 27  
TOWNSHIP OF FRANKLIN  
SOMERSET COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.  
NEW JERSEY LICENSE No. 47290  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN | PROJ. ID: PRI-20007

TITLE:  
**COVER SHEET**

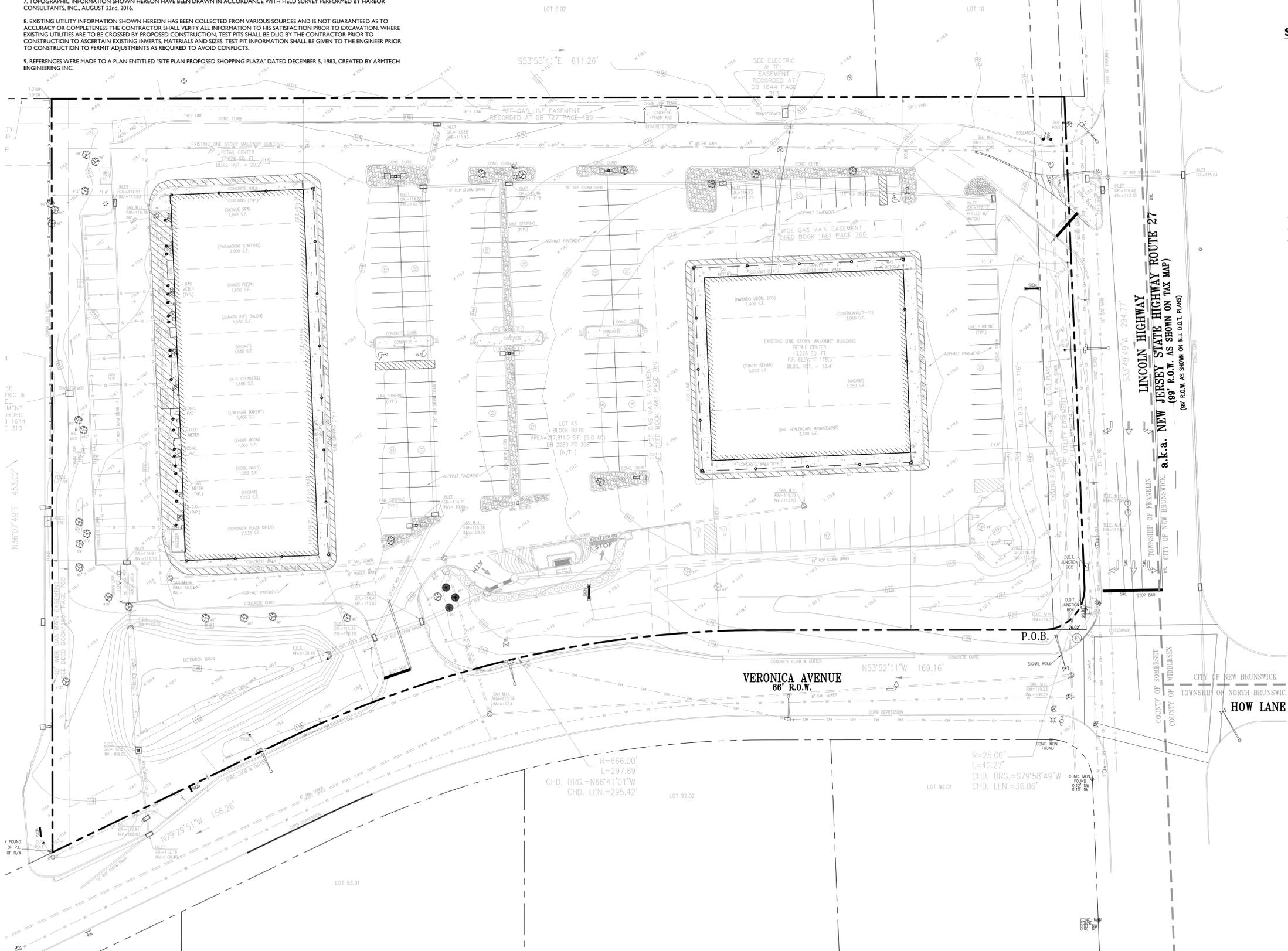
DRAWING:  
**C-1**

**SURVEY NOTES:**

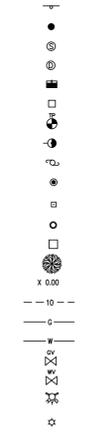
1. NO DETERMINATIONS HAVE BEEN MADE REGARDING UNDERGROUND UTILITIES WHICH MAY EXIST, UNLESS AS SHOWN.
2. NO DETERMINATIONS HAVE BEEN MADE REGARDING HAZARDOUS MATERIAL CONDITIONS.
3. NO DETERMINATIONS HAVE BEEN MADE REGARDING WETLANDS LOCATION.
4. PROPERTY IS SITUATED IN FLOOD ZONE X (BASE FLOOD ELEVATIONS DETERMINED) PER A PLAN ENTITLED "FIRM FLOOD INSURANCE RATE MAP, FOR THE TOWNSHIP OF FRANKLIN COMMUNITY/PANEL No. 340434 0276 E, MAP No. 34035C0276E EFFECTIVE DATE SEPTEMBER 28th, 2007.
5. PLANIMETRIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., AUGUST 22nd, 2016.
7. TOPOGRAPHIC INFORMATION SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY HARBOR CONSULTANTS, INC., AUGUST 22nd, 2016.
8. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
9. REFERENCES WERE MADE TO A PLAN ENTITLED "SITE PLAN PROPOSED SHOPPING PLAZA" DATED DECEMBER 5, 1983, CREATED BY ARMTECH ENGINEERING INC.

**DESCRIPTION:**

BEING KNOWN AND DESIGNATED AS LOT 43 IN BLOCK 88.01 ON THE TOWNSHIP OF FRANKLIN TAX ASSESSMENT MAP.  
 BEING MORE COMMONLY KNOWN AS No. 1165 NEW JERSEY STATE HIGHWAY ROUTE 27 TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY



**SYMBOL**



**DESCRIPTION**

- STREET SIGN
- CLEANOUT
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- SOIL BORING
- GUY WIRE
- UTILITY POLE
- P.K. NAIL FOUND
- CONC. MONUMENT FOUND
- IRON BAR FOUND
- MAILBOX
- STREET TREE
- EXIST. SPOT ELEVATION
- EXISTING CONTOUR LINE
- GAS LINE
- WATER LINE
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- LIGHT POST

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 LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 30' PROJ. ID: PRI-200007

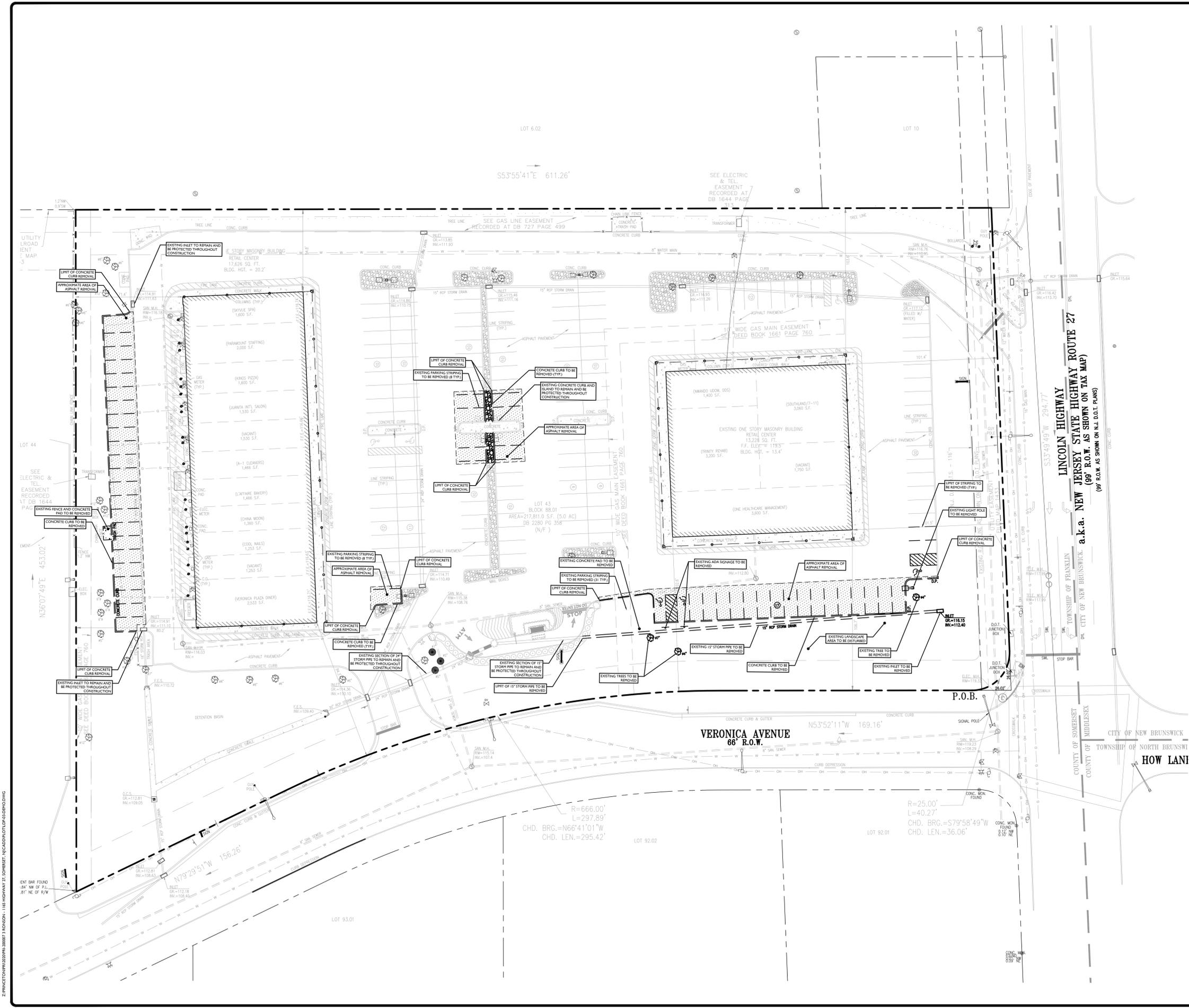
TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:

**C-2**



Z:\PROJECTS\2020\2020073 RONSON - 1165 HWY 27 - SOMERSET - NICHOLAS LOT 43.dwg



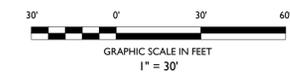
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
- - - -	SAWCUT LINE
[Hatched Box]	ASPHALT REMOVAL AREA



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**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND CONTRACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



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A-27-C-2396-2020

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JEFFREY A. MARTELL, P.E.  
NEW JERSEY LICENSE No. 4790  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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SCALE: 1" = 30' PROJ. ID: PRI-20007

TITLE:  
**DEMOLITION PLAN**

DRAWING:  
**C-3**

Z:\PROJECTS\192020\192020\_3 RONSON - 1165 HWY 27 - SOMERSET - NIDOT\192020.DWG



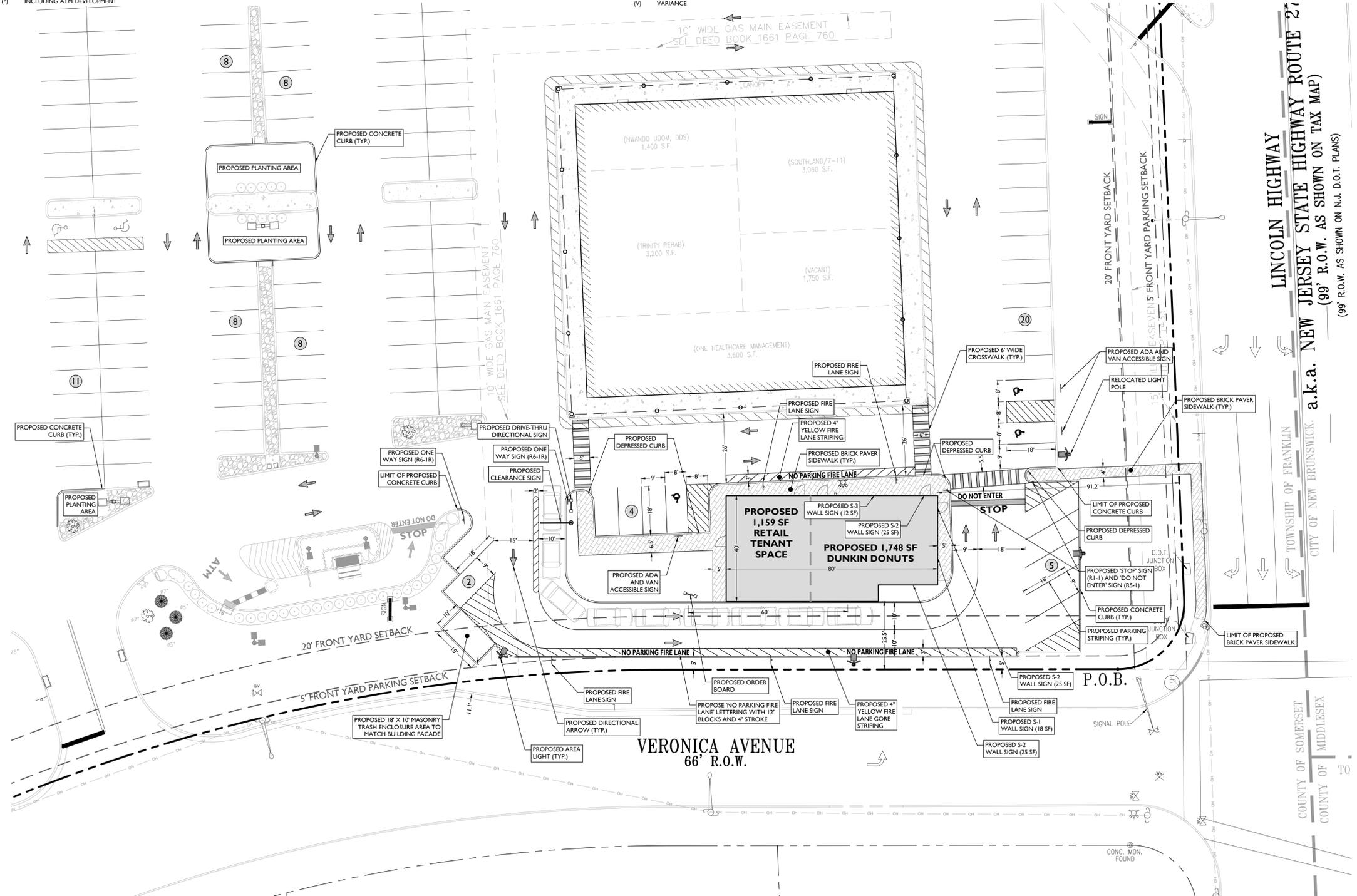
LAND USE AND ZONING			
BLOCK 88.01, LOT 44			
GENERAL BUSINESS ZONE (GB)			
<b>PROPOSED USE</b>	PERMITTED USE		
EATING AND DRINKING ESTABLISHMENTS			
<b>ZONING REQUIREMENT</b>	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>
MINIMUM LOT SIZE	80,000 SF	217,811 SF	NO CHANGE
FRONTAGE (LINCOLN HIGHWAY)	100 FT	294.8 FT	NO CHANGE
FRONTAGE (VERONICA AVENUE)	100 FT	623.3 FT	NO CHANGE
<b>MINIMUM FRONT YARD SETBACK</b>			
LINCOLN HIGHWAY	20 FT	101.4 FT	91.2 FT
VERONICA AVENUE	20 FT	94.3 FT	25.5 FT
<b>MINIMUM SIDE YARD SETBACK (ONE)</b>	10 FT	54.8 FT	NO CHANGE
<b>MINIMUM SIDE YARD SETBACK (BOTH)</b>	40 FT	126.2 FT	NO CHANGE
<b>MINIMUM REAR YARD SETBACK</b>	N/A	N/A	N/A
<b>MAXIMUM BUILDING HEIGHT</b>	30 FT	20.2 FT	19.8 FT
<b>MAXIMUM NUMBER OF STORIES</b>	2 STORIES	1 STORY	1 STORY
<b>MAXIMUM LOT COVERAGE</b>	30%	14.1% (30,819 SF)	15.5% (33,726 SF)
<b>MAXIMUM IMPERVIOUS COVERAGE</b>	70%	70.1% (152,738 SF) (EN)*	72.5% (157,884 SF) (V)
<b>FLOOR AREA RATIO</b>	0.30	0.14	0.16

(V) VARIANCE  
 (EN) EXISTING NON-COMFORMITY INCLUDING ATM DEVELOPMENT  
 (\*) VARIANCE

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 112 SCHEDULE 4	REQUIRED SHOPPING CENTER PARKING: 1 SPACE PER 225 SF 1/2" X 33.881" = 151 SPACES	157 SPACES
§ 112-83 DESIGN STANDARDS	EACH PARKING SPACE SHALL BE 9 FT IN WIDTH AND 18 FT IN LENGTH	9 FT X 18 FT
§ 112-86 PRIVATE WALKS ADJACENT TO BUILDINGS	A PRIVATE WALK, IF PROVIDED, ADJACENT TO A BUILDING SHALL NOT BE LESS THAN 4 FT IN WIDTH	4 FT
§ 112-88 INTERIOR DRIVEWAYS	INTERIOR DRIVEWAYS SHALL BE AT LEAST 18 FT WIDE WHERE USED WITH 60 DEGREE PARKING	18 FT
§ 112-102.D OFF STREET PARKING AND LOADING SPACE WITH REQUIRED SETBACK	NO PARKING AREA SHALL BE LOCATED CLOSER THAN 5 FT TO A FRONT PROPERTY LINE NOR CLOSER THAN 3 FT TO A SIDE OR REAR PROPERTY LINE	COMPLIES

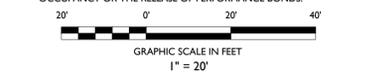
SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 112-111.D SIGN LOCATION	NO SIGN SHALL BE LOCATED ON A BUILDING ABOVE THE ROOF OR PROJECTING FROM THE WALL, OR PLACED ABOVE THE EAVES OF A BUILDING OR STRUCTURE ON A FLAT ROOF, OR EXTENDING FROM THE WALL FACE.	COMPLIES
§ 112-113 PERFORMANCE STANDARDS	A. EVERY SIGN SHALL BE IN GOOD SCALE AND PROPORTION IN DESIGN AND VISUAL RELATIONSHIP TO STRUCTURES, BUILDING AND OTHER SURROUNDINGS. B. EVERY SIGN SHALL BE DESIGNED AS AN INTEGRAL ARCHITECTURAL ELEMENT OF THE STRUCTURE BUILDING AND SITE TO WHICH IT PRINCIPALLY RELATES. AS AN ARCHITECTURAL ELEMENT, A SIGN SHALL BE IN HARMONY WITH THE STRUCTURE, BUILDING OR SITE CHARACTER IN USE. C. THE COLORS, MATERIALS AND LIGHTING OF EVERY SIGN SHALL BE HARMONIOUS WITH THE STRUCTURE BUILDING AND SITE TO WHICH IT PRINCIPALLY RELATES.	COMPLIES COMPLIES COMPLIES
§ 112 SCHEDULE 5	RETAIL SERVICE ACTIVITIES: MAXIMUM NUMBER: 1 PER TENANT MAX SIGN AREA: 30 SF PER TENANT MAX VERTICAL DIMENSION: 3 FT  ONE ADDITIONAL ATTACHED SIGN IS PERMITTED AT REAR AND SIDE ENTRANCES, PROVIDED THAT EACH IS EQUAL TO OR LESS THAN THE MAXIMUM PERMITTED SIZE OF THE FRONT SIGN.  MAXIMUM ALLOWABLE SIGNS: 3 (1 FOR TENANT AND 1 FOR SIDE ENTRANCE)	5 SIGNS 25 SF COMPLIES  FRONT SIGN = 25 SF SIDE ENTRANCE SIGN = 25 SF  5 SIGNS (V)

(V) VARIANCE



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED MOUNTABLE CURB
---	PROPOSED EXTENDED CURB
---	PROPOSED SIGNS / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED AREA LIGHT
---	PROPOSED RETAINING WALL
---	PROPOSED HANDRAIL
---	PROPOSED CHAINLINK FENCE
---	PROPOSED BOARD-ON-BOARD FENCE
---	PROPOSED GUIDERAIL
---	PROPOSED BUILDING DOORS

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.
  - A AS-BUILT PLAN PREPARED BY A LICENSED LAND SURVEYOR SHALL BE SUBMITTED TO THE TOWNSHIP PRIOR TO ANY CERTIFICATE OF OCCUPANCY OR THE RELEASE OF PERFORMANCE BONDS.



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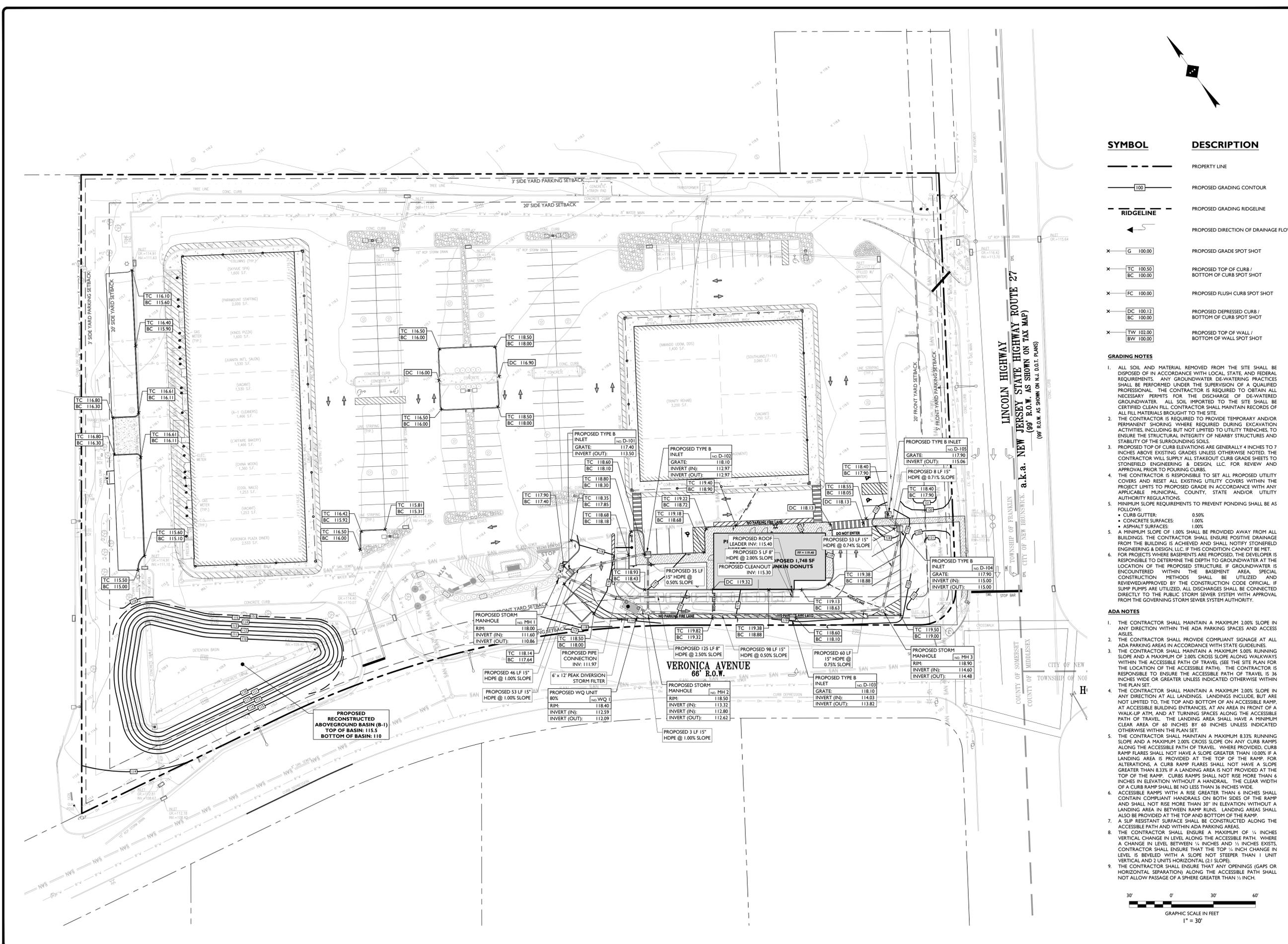
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SCALE: 1" = 20' PROJ. ID: PRI-200007

TITLE:  
**SITE PLAN**

DRAWING:  
**C-5**

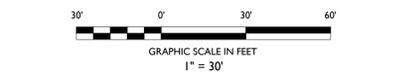
Z:\PROJECTS\19022019\30000\3 RONSON - 1165 HIGHWAY 27, SOMERSET, NJ\CDR\LOT43\_PLOT1.DWG



SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X	PROPOSED GRADE SPOT SHOT
X	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X	PROPOSED FLUSH CURB SPOT SHOT
X	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
  - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
  - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
  - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
    - CURB GUTTER: 0.50%
    - CONCRETE SURFACES: 1.00%
    - ASPHALT SURFACES: 1.00%
  - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
  - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
  - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
  - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
  - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
  - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



FOR TOWNSHIP AND DRCC SUBMISSION	AMB	07/23/2020	4	ISSUE	DATE	BY	DESCRIPTION
FOR NIDOT SUBMISSION	AMB	04/22/2020	3				
FOR DRCC SUBMISSION	AMB	02/17/2020	2				
REVISED BY HARBOR CONSULTANTS	HC	01/04/2020	1				

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FINAL SITE PLAN

**3 RONSON, LLC**  
115 EAST 11TH AVENUE  
ROSELLE, NJ 07068

**PROPOSED FAST FOOD RESTAURANT AND RETAIL TENANT**  
BLOCK 88.0, LOT 43  
1145 N STATE ST  
TOWNSHIP OF FRANKLIN  
SOMERSET COUNTY, NEW JERSEY

NIDOT APPLICATION #  
A-27-C-2396-2020

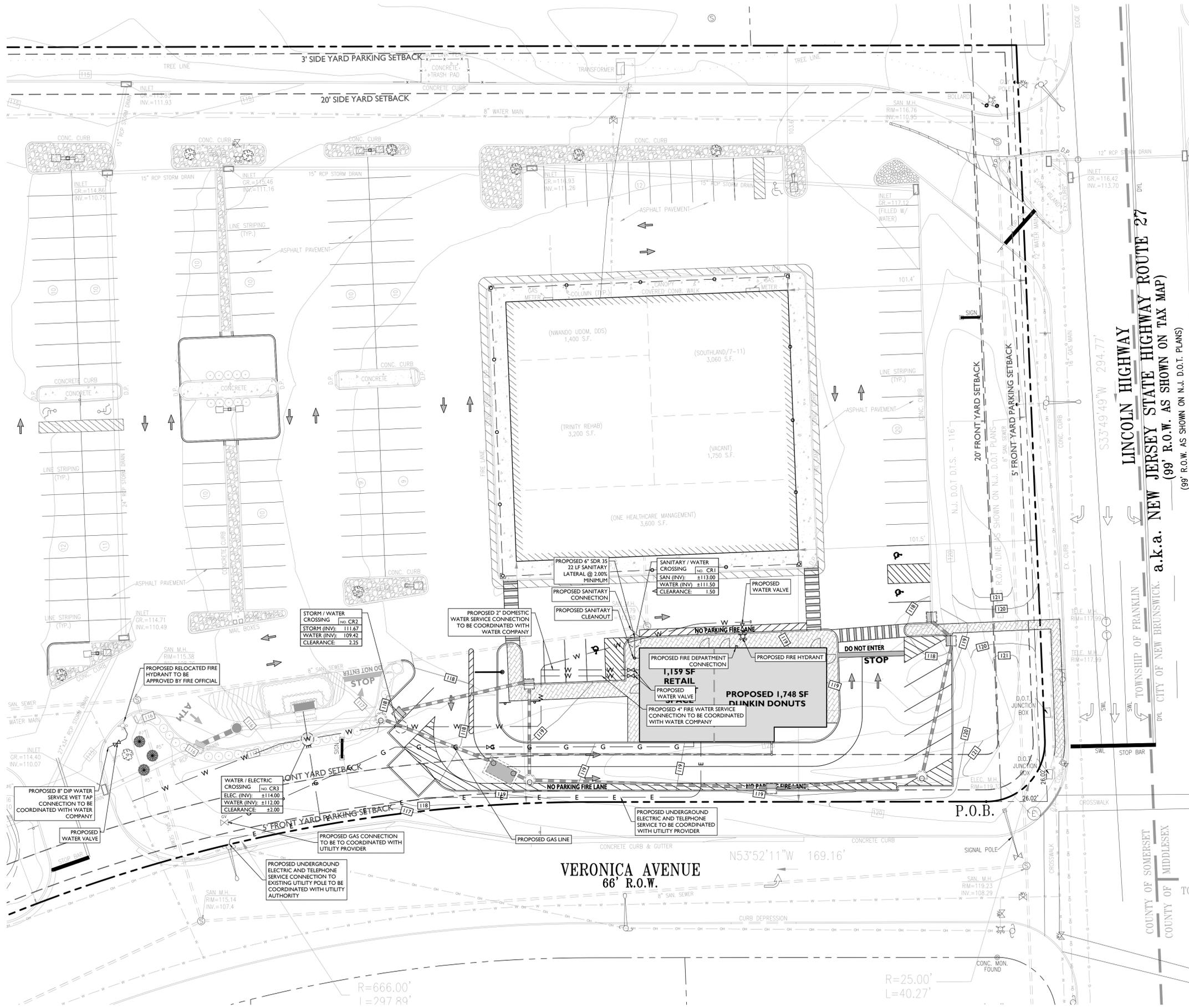
JEFFREY A. MARTELL, P.E.  
NEW JERSEY LICENSE No. 47290  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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SCALE: 1" = 30' PROJ. ID: PRI-20007

TITLE: **GRADING AND DRAINAGE PLAN**

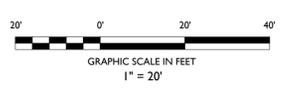
DRAWING: **C-6**



SYMBOL	DESCRIPTION
---	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E/T/C	PROPOSED ELECTRICAL/DATA CONDUITS
T/C	PROPOSED DATA CONDUITS
E	PROPOSED ELECTRIC CONDUITS
OH	PROPOSED OVERHEAD WIRES
G	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊕	PROPOSED WATER TEE / BEND
⊙	PROPOSED FIRE HYDRANT
⊕	PROPOSED FIRE DIRECT CONNECTION (FDC)
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
⊕	PROPOSED UTILITY POLE
⊕	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

- DRAINAGE AND UTILITY NOTES**
1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK-OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
  3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
  4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
  8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
  9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
  10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- UTILITY NOTES:**
1. ALL CONSTRUCTIONS SHALL COMPLY WITH THE CURRENT RULES AND REGULATIONS/ OR ORDINANCES OF FRANKLIN TOWNSHIP, NJDEP, AWWA AND ALL APPLICABLE REGULATORY AGENCIES HAVING JURISDICTION.
  2. THE MINIMUM DISTANCES BETWEEN WATER MAINS AND SANITARY SEWERS SHALL BE IN ACCORDANCE WITH STATE STANDARDS I.E. MINIMUM VERTICAL CLEARANCE IN PARALLEL SHALL BE 10 FT. MINIMUM VERTICAL DISTANCE BETWEEN PIPE CROSSING SHALL BE 18 INCHES WITH THE SANITARY SEWER BELOW THE WATER LINE. IF SUCH MINIMUM CLEARANCE CANNOT BE PROVIDED, THE SANITARY SEWER SHALL BE ENCASED 10 FT FROM EACH SIDE OF THE CROSSING OR A TOTAL OF 20 FT.
  3. WATER MAINS CROSSING STORM SEWERS OR DRAINS WHERE THE CLEARANCE BETWEEN PIPES IS LESS THAN 18 INCHES, PIPE SUPPORTS FOR THE STORM LINE SHALL BE PROVIDED IN ORDER TO PREVENT THE LOAD TRANSFER TO THE AFFECTED UTILITY.
  4. THE MINIMUM DEPTH OF COVER TO THE WATER MAIN SHALL BE 4 FT FROM THE TOP OF THE PIPE TO THE FINISHED GRADE.



NO.	DATE	ISSUE	BY	DESCRIPTION
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NIDOT APPLICATION #  
A-27-C-23966-2020

JEFFREY A. MARTELL, P.E.  
NEW JERSEY LICENSE NO. 47290  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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SCALE: 1" = 20' PROJ. ID: PRI-200007

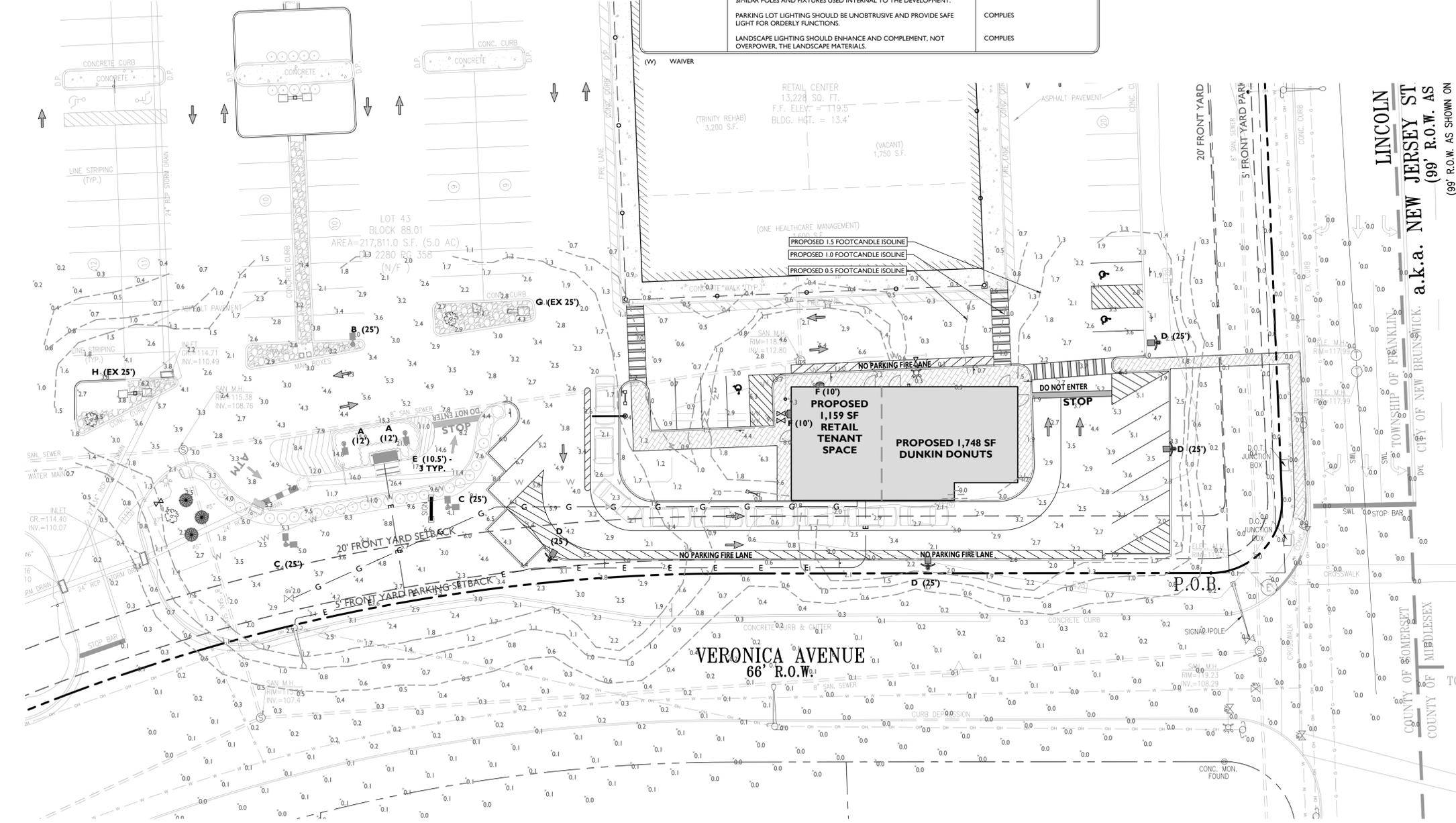
TITLE: **UTILITY PLAN**

DRAWING: **C-7**

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	2	EDGE SERIES SINGLE LED AREA LIGHT - 4M - 60 - LEDS - 700mA - 40K	4M	0.90	CREE LIGHTING	ARE-EDG-4M_-60-E-UL-700-40K-CONFIGURED.IES
	B	1	EDGE SERIES SINGLE LED AREA LIGHT - 4M - 100 - LEDS - 525mA - 40K	4M	0.90	CREE LIGHTING	ARE-EDG-4M_-10-E-UL-525-40K-CONFIGURED.IES
	C	2	EDGE SERIES DOUBLE 90° LED AREA LIGHT - 4M - 100 - LEDS - 525mA - 40K	4M	0.90	CREE LIGHTING	ARE-EDG-4M_-10-E-UL-525-40K-CONFIGURED.IES
	D	4	EDGE SERIES SINGLE LED AREA LIGHT - 4MB - 100 - LEDS - 525mA - 40K	4MB	0.90	CREE LIGHTING	ARE-EDG-4MB_-10-E-UL-525-40K-CONFIGURED.IES
	E	3	BATTEN LED CANOPY LIGHT - 48" - 5,000K - HIGH OUTPUT	-	0.90	GE LIGHTING	Batten-4FT-HO-5000K-I-IESNA2002(GEVH4850BAT)_lcm201-106769.IES
	F	2	EDGE SERIES SINGLE LED WALL LIGHT - 4M - 60 - LEDS - 700mA - 40K	4MB	0.90	CREE LIGHTING	SEC-EDG-4M_-06-E-UL-700-40K-CONFIGURED.IES

EXISTING AND MODIFIED LUMINAIRE SCHEDULE					
SYMBOL	LABEL	QUANTITY	MOUNTING HEIGHT	FIXTURE DESCRIPTION	NOTES
	G	1	EXISTING	EXISTING SINGLE AREA LIGHT	EXISTING LIGHT FIXTURE TO REMAIN
	H	1	EXISTING	EXISTING DOUBLE AREA LIGHT - 180 DEGREES	EXISTING LIGHT FIXTURE TO REMAIN

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 112-33.2(A)(1)	WHERE USED FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, ROADWAYS AND PARKING LOTS, ONLY SHIELDED LIGHT FIXTURES SHALL BE USED.	COMPLIES
§ 112-33.2(A)(2)(b)	OTHER UPWARD DIRECTED ARCHITECTURAL, LANDSCAPE OR DECORATIVE DIRECT LIGHT EMISSIONS SHALL HAVE AT LEAST 90% OF THEIR TOTAL DISTRIBUTION PATTERN WITHIN THE PROFILE OF THE ILLUMINATED STRUCTURE.	COMPLIES
§ 112-33.2(A)(4)	FOUNDATIONS SUPPORTING LIGHTING POLES NOT INSTALLED THREE FEET BEHIND THE CURB SHALL NOT BE LESS THAN 30 INCHES ABOVE GROUND.	COMPLIES
§ 112-33.2(B)(2)	OUTDOOR LIGHT FIXTURES PROPERLY INSTALLED AND THEREAFTER MAINTAINED SHALL BE DIRECTED SO THAT THERE WILL NOT BE ANY OBJECTIONABLE DIRECT GLARE SOURCE VISIBLE ABOVE A HEIGHT OF FIVE FEET FROM ANY OTHER PROPERTY OR PUBLIC ROAD.	COMPLIES
§ 112-33.2(C)(2)	OUTDOOR PARKING FACILITIES: OUTDOOR PARKING LOT ILLUMINANCE SHALL BE BASED ON CERTAIN ILLUMINANCE SPECIFICATIONS RECOMMENDED BY THE IESNA, AS SPECIFIED BELOW:  MAINTAINED ILLUMINANCE FOR PARKING LOTS: HORIZONTAL ILLUMINANCE MINIMUM = 0.2 FC AVERAGE = 1.0 FC AVERAGE TO MINIMUM = 5:1 MAXIMUM TO MINIMUM = 20:1 MINIMUM VERTICAL ILLUMINANCE = 0.1 FC	MINIMUM = 0.2 FC AVERAGE = 2.73 FC AVERAGE TO MINIMUM = 13.65 FC MAXIMUM TO MINIMUM = 68.50 FC COMPLIES
§ 112-206.10(A)(1)	PEDESTRIAN-LEVEL, BOLLARD LIGHTING, GROUND-MOUNTED LIGHTING, OR OTHER LOW, GLARE-CONTROLLED FIXTURES MOUNTED ON BUILDING OR LANDSCAPE WALLS MUST BE USED TO LIGHT PEDESTRIAN WALKWAYS. ACCENT LIGHTING ON BUILDINGS IS ENCOURAGED AS A SECURITY FEATURE.	COMPLIES
§ 112-206.10(A)(2)	DIRECT STOREFRONT LIGHTING ONTO THE FACADE OR THE SIDEWALK IMMEDIATELY IN FRONT OF THE STORE.	COMPLIES
§ 112-206.10(B)(1-4)	LIGHTING SHOULD BE SHIELDED TO PREVENT GLARE ON ADJACENT PROPERTIES.  DISPLAY WINDOWS SHOULD BE ACCENTED BY USING LIGHTS PLACED INSIDE THE BUILDING.	COMPLIES
§ 112-206.10(C)(1-4)	ALL LIGHTING FIXTURES SHOULD BE COMPATIBLE WITH THE ARCHITECTURAL DESIGN OF THE BUILDING.  POLES AND FIXTURES SHOULD BE DESIGNED TO BE ARCHITECTURALLY COMPATIBLE WITH STRUCTURES AND LIGHTING ON ADJACENT PROPERTIES.  ILLUMINATE ALL INTERSECTIONS WITH PERIMETER PUBLIC ROADS WITH SIMILAR POLES AND FIXTURES USED INTERNAL TO THE DEVELOPMENT.  PARKING LOT LIGHTING SHOULD BE UNOBTRUSIVE AND PROVIDE SAFE LIGHT FOR ORDERLY FUNCTIONS.  LANDSCAPE LIGHTING SHOULD ENHANCE AND COMPLEMENT, NOT OVERPOWER, THE LANDSCAPE MATERIALS.	COMPLIES  N/A  COMPLIES



SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
  - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
  - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
    - LIGHT EMITTING DIODES (LED): 0.90
    - HIGH PRESSURE SODIUM: 0.72
    - METAL HALIDE: 0.72
  - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

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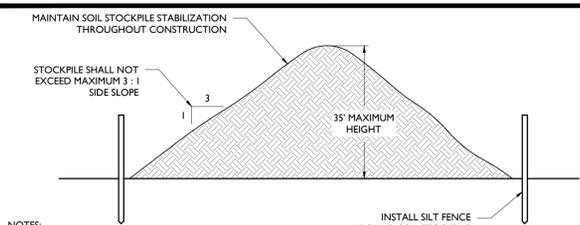
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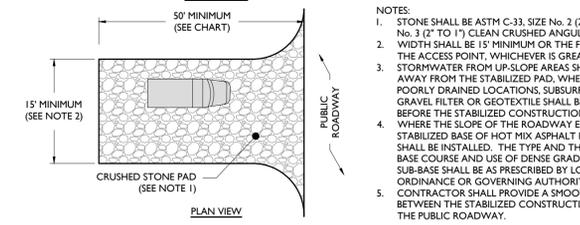
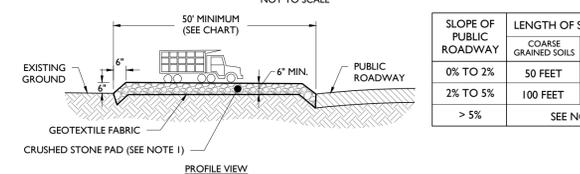
TITLE:  
**LIGHTING PLAN**

DRAWING:  
**C-8**

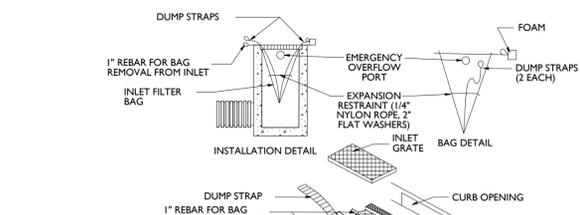


NOTES:  
 1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.  
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

**SOIL STOCKPILE DETAIL**



**STABILIZED CONSTRUCTION ACCESS DETAIL**



**INLET FILTER BAG DETAIL**

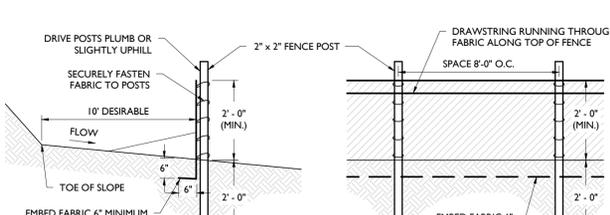
**MULCH ANCHORING SPECIFICATIONS:**

- MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.
  - PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
  - MULCH NETTINGS - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
  - CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE ON THE CONTOUR.

**SEQUENCE OF CONSTRUCTION**

- INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE (2 DAYS).
- DEMOLISH EXISTING STRUCTURES, PAVEMENT, AND GRAVEL (7 DAYS).
- ROUGH GRADING AND TEMPORARY SEEDING (2 DAYS).
- EXCAVATE AND INSTALL DRAINAGE PIPING AND INLETS (30 DAYS).
- INSTALL INLET FILTERS (1 DAY).
- BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (120 DAYS).
- LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS).
- REMOVE SOIL EROSION MEASURES (1 DAY).

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.



**SILT FENCE DETAIL**

**SEEDING SPECIFICATIONS:**

**I.A. TEMPORARY SEEDING AND MULCHING:**  
 GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.  
 FERTILIZER - APPLY 1 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".  
 SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.  
 MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

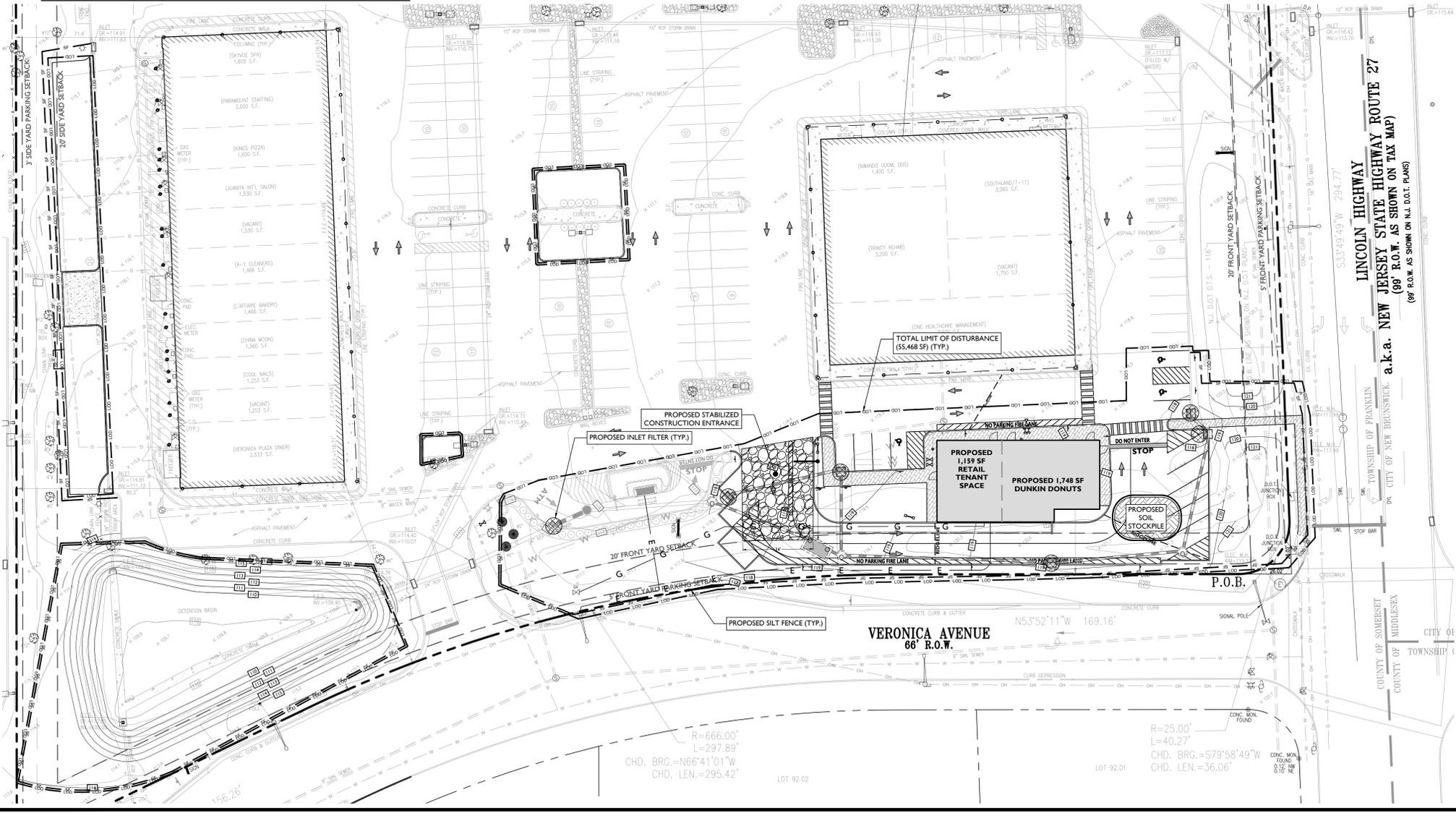
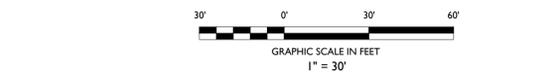
**I.B. PERMANENT SEEDING AND MULCHING:**  
 TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).  
 GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.  
 FERTILIZER - APPLY 1 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".  
 SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).  
 MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

**SOMERSET - UNION COUNTY SOIL EROSION AND SEDIMENT CONTROL NOTES**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW OR HAY OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD OF 1 1/2" TO 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- THE SOMERSET-UNION COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATION STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER IT, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN THAT N.J.S.A. 424-39 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BEHIND STORM WATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE DISTRICT RESERVES THE RIGHT TO DETERMINE WHEN CERTIFICATION OF A NEW AND SEPARATE SOIL EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR THESE ACTIVITIES.
- ALL SOIL STOCKPILES AREA TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #2.
- A UNIFORM APPLICATION OF TOPSOIL WILL BE APPLIED TO AN AVERAGE DEPTH OF 5.0 INCHES, WITH A MINIMUM OF 4.0 INCHES.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - -	ADJACENT PROPERTY BOUNDARY
---	LOD
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER

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**FINAL SITE PLAN**

**3 RONSON, LLC**  
 115 EAST 11TH AVENUE  
 ROSELLE, NJ 07068

**RESTAURANT AND RETAIL TENANT**  
 BLOCK 88.0, LOT 43  
 1145 N.J. STATE ROUTE 27  
 TOWNSHIP OF FRANKLIN  
 SOMERSET COUNTY, NEW JERSEY

NIDOT APPLICATION #  
 A-27-C-23966-2020

JEFFREY A. MARTELL, P.E.  
 NEW JERSEY LICENSE No. 4790  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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SCALE: 1" = 30' PROJ. ID: PRI-200007

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

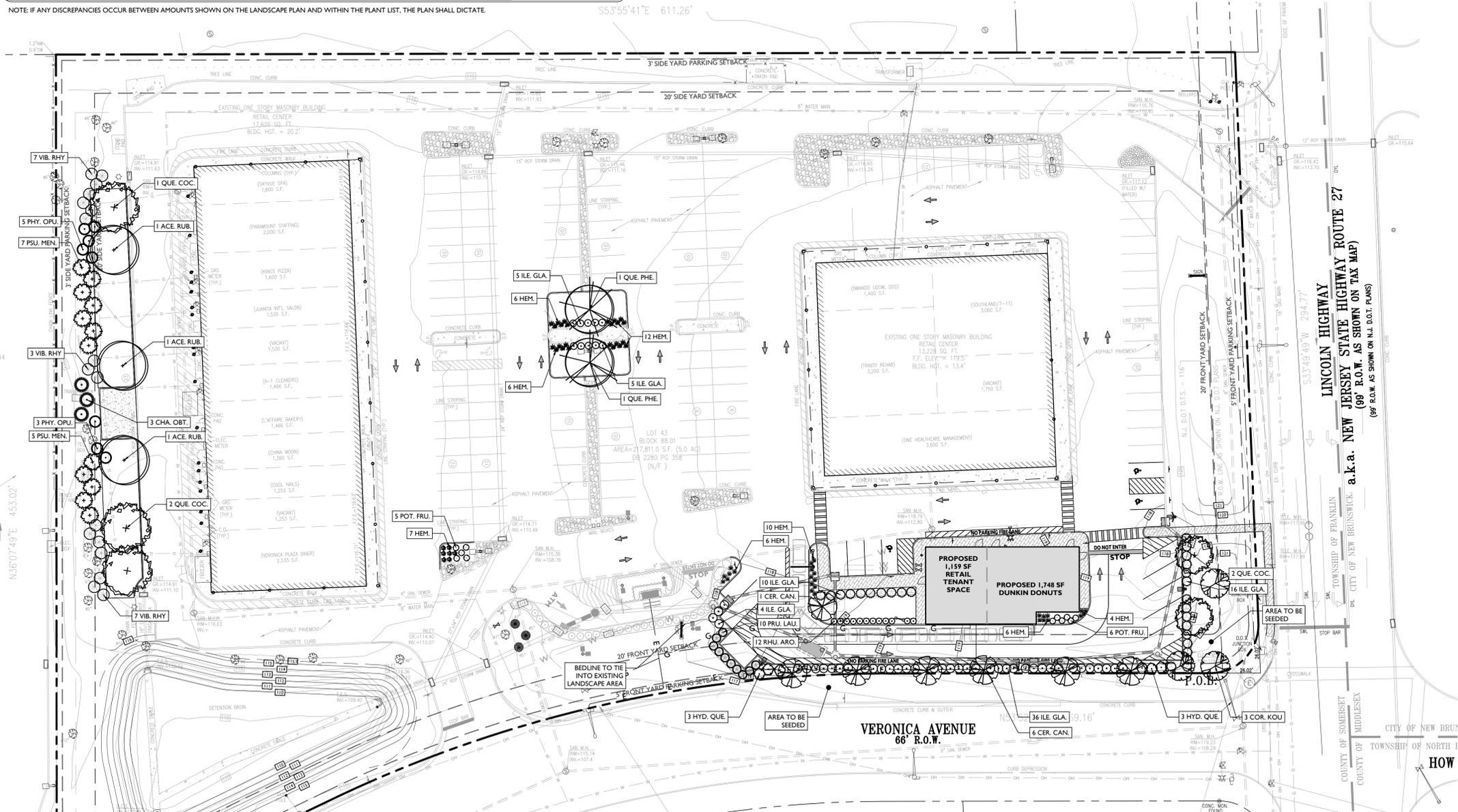
DRAWING:  
**C-9**

PLANT SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>DECIDUOUS TREES</b>					
ACE. RUB.	3	ACER RUBRUM 'FRANKSRED'	RED SUNSET RED MAPLE	2'-2.5' CAL.	B&B, SYMMETRICAL, LEADER INTACT, BRANCHED 7 FT FROM GRADE
CER. CAN.	7	CERCIS CANADENSIS	EASTERN REDBUD	2'-2.5' CAL., 12' -14' FT	B&B, SYMMETRICAL, LEADER INTACT, BRANCHED 7 FT FROM GRADE
COR. KOU.	3	CORNUS KOUSA	FLOWERING DOGWOOD	8'- 10' HT	B&B, MULTISTEM
QUE. COC.	5	QUERCUS COCCINEA	SCARLET OAK	2'-2.5' CAL., 12' -14' FT	B&B, SYMMETRICAL, LEADER INTACT, BRANCHED 7 FT FROM GRADE
QUE. PHE.	2	QUERCUS PHELLOS	WILLOW OAK	2'-2.5' CAL.	B&B, SYMMETRICAL, LEADER INTACT, BRANCHED 7 FT FROM GRADE
<b>EVERGREEN TREES</b>					
CHA. OBT.	3	CHAMAECYPARIS OBTUSA 'GRACILIS'	HINOKI FALSE CYPRESS	7'-8'	B&B
PSU. MEN.	12	PSUEDOTUYA MENZIESII	DOUGLAS FIR	7'-8'	B&B
<b>EVERGREEN SHRUBS</b>					
ILE. GLA.	76	ILEX GLABRA	INKBERRY	24'-30"	B&B
PRU. LAU.	10	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SKIP LAUREL	3'-4' HT	B&B
<b>DECIDUOUS SHRUBS</b>					
HYD. QUE.	6	HYDRAGEA QUERCIFOLIA 'RUBY SLIPPERS'	OAK LEAF HYDRANGEA	30'-36"	CONT. 4' O.C.
POT. FRU.	11	POTENTILLA FRUITICOSA 'HAPPY FACE'	CINQUEFOIL	15'-18"	CONT. 3' O.C.
RHU. ARO.	12	RHUS AROMATICA 'GRO-LOW'	GROW LOW SUMAC	18'-24"	CONT. 3' O.C.
VIB. RHY.	17	VIBURNAM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNAM	30'-36"	CONT. 3' O.C.
PHY. OPU.	8	PHYSCARPUS OPUFOLIUS 'MONLO'	NINEBARK	18'-24"	CONT. 3' O.C.
<b>PERENNIALS</b>					
HEM.	57	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY	1' GAL.	CONT. 12" O.C.

LANDSCAPING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 112-SCHEDULE 6 LANDSCAPE REQUIREMENTS	A MINIMUM OF ONE EVERGREEN SHRUB PER FIVE LINEAR FEET OF LOT FRONTAGE SHALL BE REQUIRED. [339 LF OF FRONTAGE / 5 = 68 SHRUBS REQUIRED]	68 SHRUBS PROPOSED
§ 112-206.9(A)(1)(a) LANDSCAPE DESIGN	USE PARKING LOT LANDSCAPING TO MINIMIZE THE EXPANSIVE APPEARANCE OF PARKING LOTS, PROVIDE SHADED PARKING AREAS, AND MITIGATE ANY NEGATIVE ACOUSTIC IMPACTS OF MOTOR VEHICLES.	COMPLIES
§ 112-206.9(A)(1)(b) LANDSCAPE DESIGN	PROVIDE TREES AND OTHER LANDSCAPE SCREENING TO SHIELD LARGE PARKING AREAS FROM ADJACENT LOTS.	COMPLIES
§ 112-206.9(A)(2)(a) LANDSCAPE DESIGN	PROVIDE AN ATTRACTIVE, SHADED ENVIRONMENT ALONG STREET EDGES THAT GIVES VISUAL RELIEF FROM CONTINUOUS HARD STREET EDGES.	COMPLIES
§ 112-206.9(A)(2)(b) LANDSCAPE DESIGN	A LOW CONTINUOUS LANDSCAPE HEDGE.	COMPLIES
§ 112-206.9(A)(2)(b) LANDSCAPE DESIGN	A LOW DECORATIVE MASONRY WALL IN COMBINATION WITH LANDSCAPING.	MASONRY WALL AND LANDSCAPING PROPOSED
§ 112-206.9(A)(3)(b) LANDSCAPE DESIGN	ARTICULATE BUILDING FACADES WITH LANDSCAPED SEATING AREAS TO PROVIDE VISUAL INTEREST AND PEDESTRIAN-FRIENDLY PLACES.	DOES NOT COMPLY (W)
§ 112-206.9(A)(5) LANDSCAPE DESIGN	SITE FURNISHINGS INCLUDE BENCHES, WASTE RECEPTACLES, PLANTERS, RAILINGS AND BOLLARDS. VISUAL CONSISTENCY OF THESE ELEMENTS IS DESIRED THROUGHOUT EACH DEVELOPMENT.	DOES NOT COMPLY (W)
§ 112-206.9(C)(2) LANDSCAPE DESIGN	NO AREAS FOR OUTDOOR STORAGE, TRASH COLLECTION OR COMPACTION, LOADING, OR OTHER SUCH USES MUST BE LOCATED WITHIN 20 FEET OF ANY PUBLIC STREET, PUBLIC SIDEWALK, OR INTERNAL PEDESTRIAN WALKWAY.	11.1 FT (W)
§ 112-206.9(C)(3) LANDSCAPE DESIGN	LOADING AND TRASH RECEPTACLES MUST BE INCORPORATED INTO THE OVERALL DESIGN OF THE BUILDING SO THAT VISUAL AND ACOUSTIC IMPACTS ARE CONTAINED AND OUT OF VIEW FROM ADJACENT PROPERTIES AND PUBLIC STREETS.	DOES NOT COMPLY (W)

(W) WAIVER

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



NOTE: ALL PLANT RELOCATIONS/SUBSTITUTIONS SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 272-2000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS YOUR RESPONSIBILITY TO VERIFY THAT YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITY SERVICES ARE LOCATED (SUCH AS WATER, GAS, ELECTRIC, PHONE, CABLE, ETC.) ONCE THE SERVICES ARE MARKED OUT, YOU CAN DIG WITH CONFIDENCE WITHOUT THE RISK OF DAMAGING PROPERTY OR THE SERVICES ARE DAMAGED. IF YOU ARE HAVING A WORK FOR YOU, THEY ARE RESPONSIBLE TO CONTACT ONE CALL. UTILITY SERVICES ARE MARKED OUT WITH PAINT OR A FLAG. THE HELP OF YOU IDENTIFY WHAT UTILITY HAS PERFORMED A MARK OUT.

**ONE CALL**

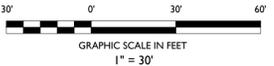
NEW JERSEY

ELECTRIC-RED, GAS/OIL-YELLOW, TELEPHONE-ORANGE, WATER-BLUE, SEWER-GREEN, TEMPORARY SURVEY MARKINGS-MAGENTA, PROPOSED EXCAVATION-WHITE.

**IRRIGATION NOTE:**  
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI, PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

**LANDSCAPING NOTES**

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



NO.	DATE	ISSUE	BY	DESCRIPTION
4	07/23/2020	AMB		FOR TOWNSHIP AND DRCC SUBMISSION
3	04/22/2020	AMB		FOR NIDOT SUBMISSION
2	02/17/2020	AMB		FOR DRCC SUBMISSION
1	01/04/2020	HC		REVISED BY HARBOR CONSULTANTS

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FINAL SITE PLAN

**3 RONSON, LLC**  
115 EAST 11TH AVENUE  
ROSELLE, NJ 07068

NIDOT APPLICATION #  
A-27-C-2396-2020

**PROPOSED FAST FOOD RESTAURANT AND RETAIL TENANT**  
BLOCK 88.0, LOT 43  
1165 NJ STATE ROUTE 27  
TOWNSHIP OF FRANKLIN  
SOMERSET COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.  
NEW JERSEY LICENSE No. 4790  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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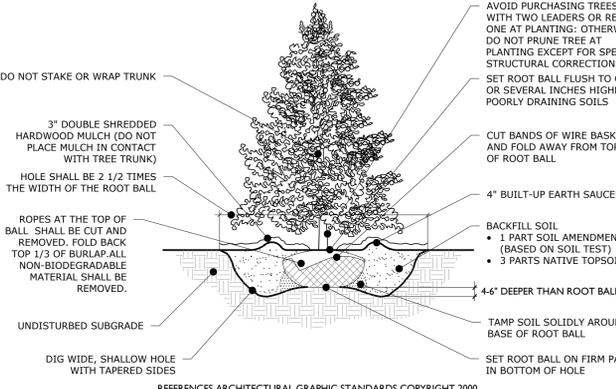
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TITLE:  
**LANDSCAPING PLAN**

DRAWING:  
**C-10**

**NOTES:**

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
  - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
  - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

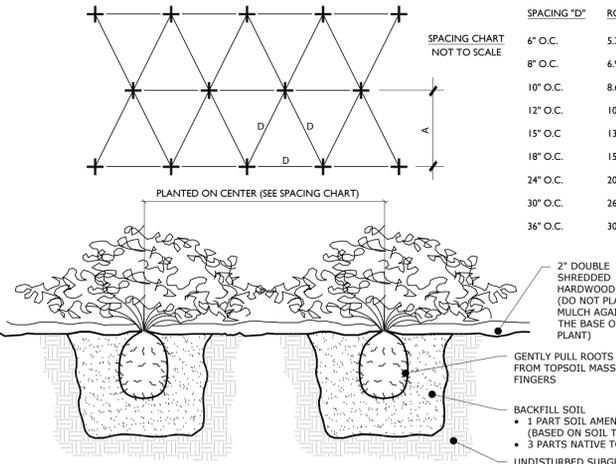


**EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE

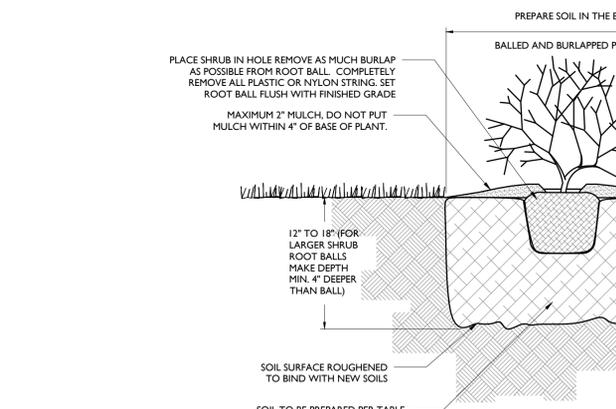
**NOTES:**

- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
  - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
  - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



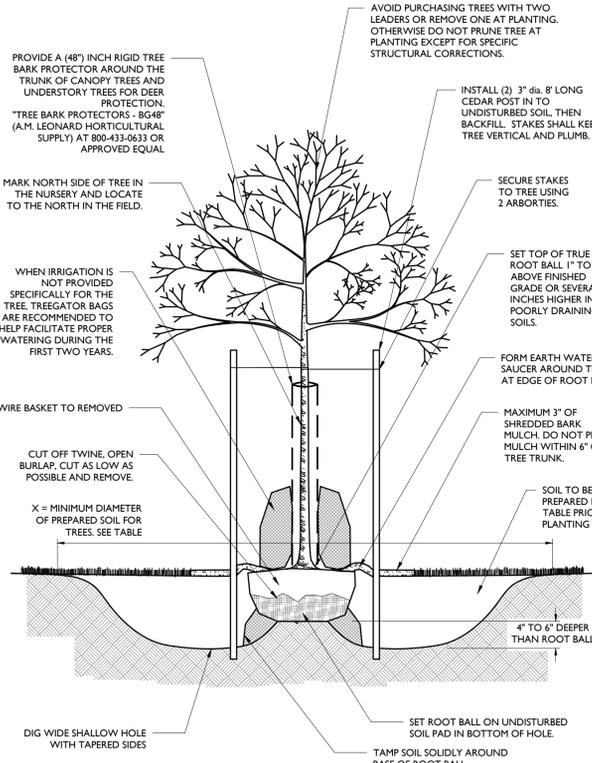
**GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL**

NOT TO SCALE



**SHRUB PLANTING DETAIL**

NOT TO SCALE



**DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE

**GENERAL LANDSCAPING NOTES:**

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE SUBJECT TO THE INSPECTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
- UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

**PROTECTION OF EXISTING VEGETATION NOTES:**

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE Drip-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROJECT TREE PROTECTION PLAN. NO WORK MAY BEGUN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
- IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE Drip-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
  - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
  - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") ABOVE FINISHED GRADE. THE GRAVEL SHALL BE PLACED IN A MINIMUM OF 18 INCHES (18") ABOVE FINISHED GRADE. BEFORE ANY EARTH FILL IS PLACED, NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
  - LOWERING GRADES: EXISTING TREES, SHRUBS, OR GRASSING IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

**SOIL PREPARATION AND MULCH NOTES:**

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "TREE SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
  - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
  - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINABLE ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
- TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
- OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
- ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
  - MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGUS INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
  - DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
  - MYCRO® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
  - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A RANGE OF 3 TO 9.
  - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
  - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

**HEALTHY START MACRO TABS 12-8-8**

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (BBB) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

**LAWN (SEED OR SOD) NOTES:**

- SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION".
- REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
- SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
- PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

**PLANT QUALITY AND HANDLING NOTES:**

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR BRUSH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS DESIGNATED BALL AND BURLAP (BB&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING SPECIFICATIONS.

- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED TOPSOIL. IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
- NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
- IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REMOVE OR ENCASE PLANT MATERIAL FROM THE OBSTRUCTION.
- IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
  - PLANTS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
  - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
- THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPARENT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 

ABIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
ACER BUEBERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
ACER GLABRUM	CURCULIOIDES VARIETIES	PLATANUS VARIETIES
ACER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
ACER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
BETULA VARIETIES	ILEX X FOETIDIFLORA	PRUNUS VARIETIES
CARPINUS VARIETIES	ILEX NELLE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
CEDRUS DEODARA	ILEX OPACA	SALIX WEEPING VARIETIES
CELTIS VARIETIES	JUNIPERUS VIRGINIANA	SORBUS VARIETIES
CERIDOPHYLLUM VARIETIES	KOELRUTERIA PANICULATA	TAXODIUM VARIETIES
CERCIS CANADENSIS	LIQUIDAMBAR VARIETIES	TAXUS VARIETIES
CORNUS VARIETIES	LIRIODENDRON VARIETIES	TILIA TOMENTOSA VARIETIES
CRATAEGUS VARIETIES	MALLUS IN LEAF	ULMUS PARVIFOLIA VARIETIES
	NYSSA SYLVATICA	ZELKOVA VARIETIES
- IF A PROPOSED PLANT IS UNAVAILABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYES IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DIRECTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MEANS.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

**PLANT MATERIAL GUARANTEE NOTES:**

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART: VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

NO.	DATE	ISSUE	BY	DESCRIPTION
4	07/23/2020	AMB		FOR TOWNSHIP AND DRCC SUBMISSION
3	04/22/2020	AMB		FOR NIDOT SUBMISSION
2	02/17/2020	AMB		FOR DRCC SUBMISSION
1	01/04/2020	HC		REVISED BY HARBOR CONSULTANTS

NOT APPROVED FOR CONSTRUCTION

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**FINAL SITE PLAN**

**3 RONSON, LLC**  
115 EAST 11TH AVENUE  
ROSELLE, NJ 07068

NIDOT APPLICATION #  
A-27-C-239646-2020

**PROPOSED FAST FOOD RESTAURANT AND RETAIL TENANT**  
BLOCK 88.0, LOT 43  
1165 N STATE ROUTE 27  
TOWNSHIP OF FRANKLIN  
SOMERSET COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.  
NEW JERSEY LICENSE No. 47290  
LICENSED PROFESSIONAL ENGINEER

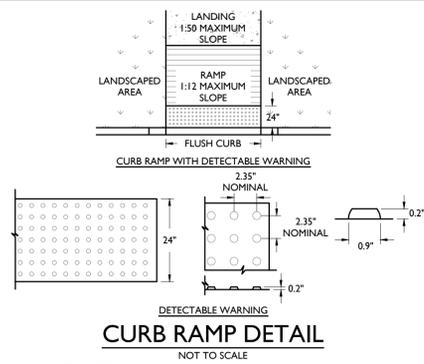
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SCALE: AS SHOWN | PROJ. ID: PRI-20007

TITLE:  
**LANDSCAPING DETAILS**

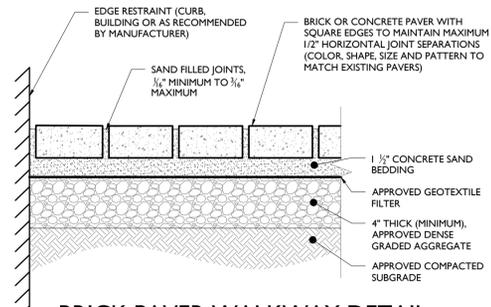
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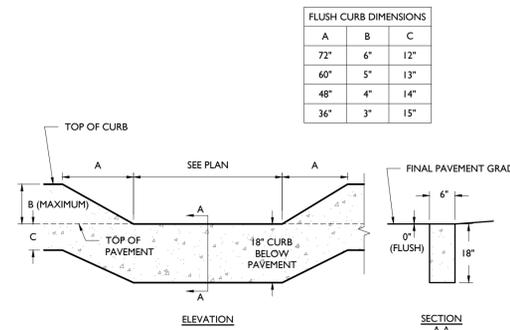
**CURB RAMP DETAIL**  
NOT TO SCALE

- NOTES:
- CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
  - A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
  - DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
  - VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
  - DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.
  - RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



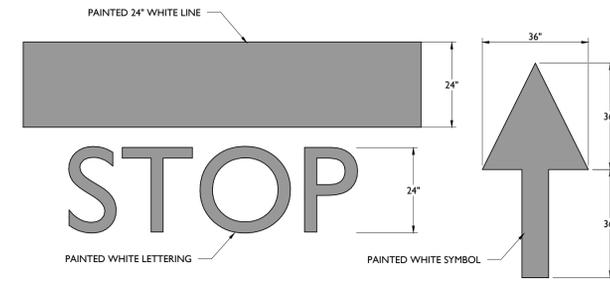
**BRICK PAVER WALKWAY DETAIL**  
NOT TO SCALE

1



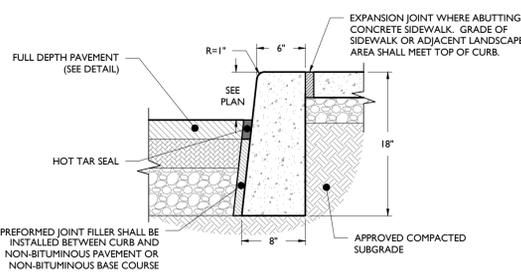
**FLUSH CURB DETAIL**  
NOT TO SCALE

2



**STOP BAR & ARROW DETAILS**  
NOT TO SCALE

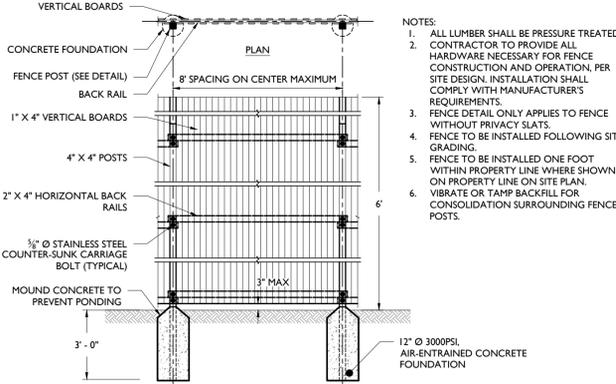
3



**CONCRETE CURB DETAIL**  
NOT TO SCALE

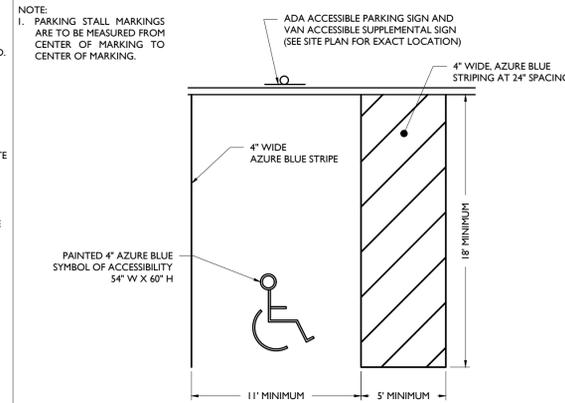
- NOTES:
- CONCRETE SHALL BE 4500 PSI AT 28 DAYS, AIR-ENTRAINED.
  - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 30 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
  - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
  - 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

4



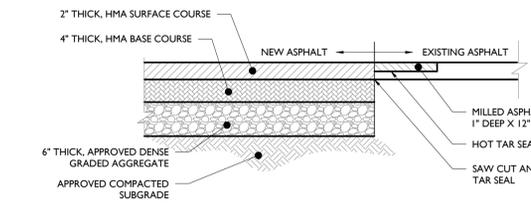
**BOARD ON BOARD FENCE DETAIL**  
NOT TO SCALE

5



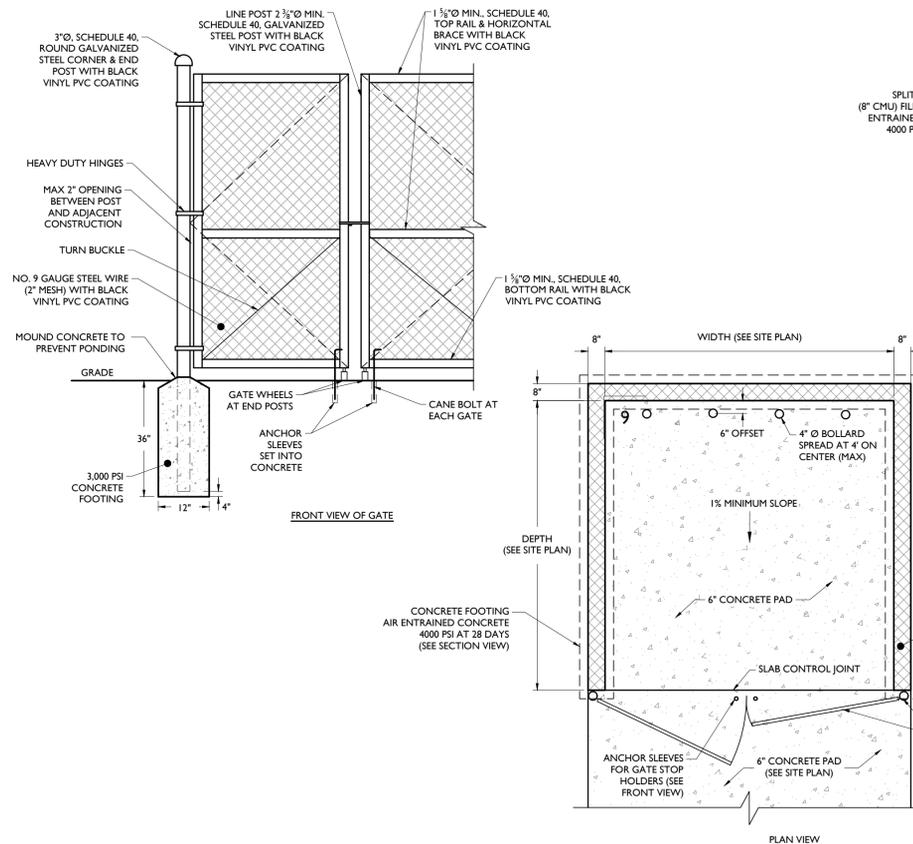
**ACCESSIBLE PARKING STALL MARKINGS**  
NOT TO SCALE

6



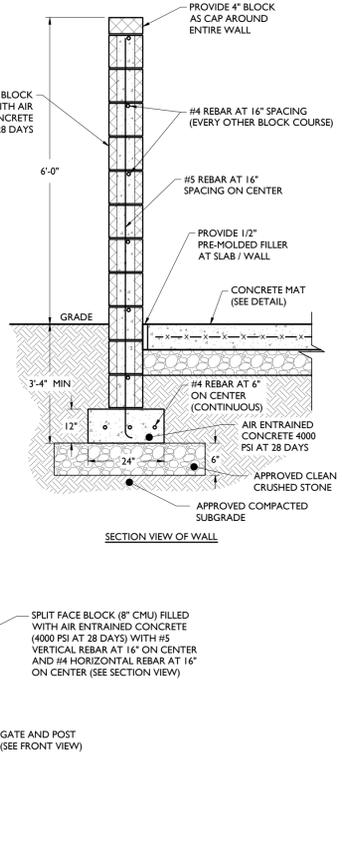
**FULL DEPTH ASPHALT PAVEMENT DETAIL**  
NOT TO SCALE

7

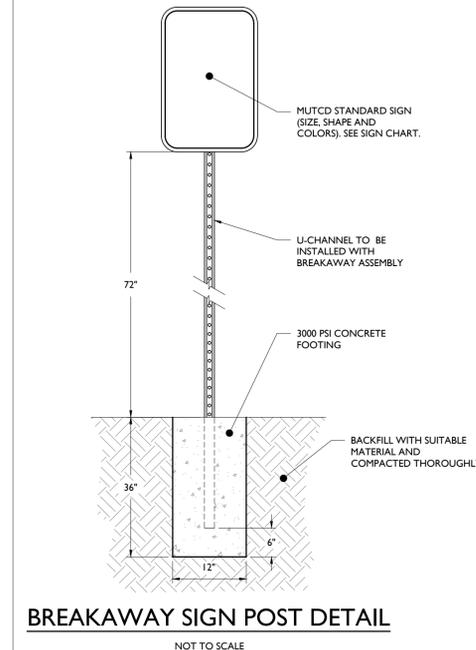


**MASONRY TRASH / RECYCLE ENCLOSURE DETAIL**  
NOT TO SCALE

8

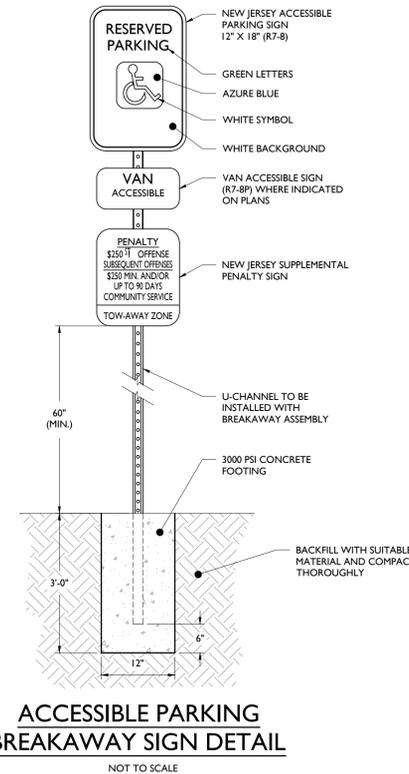


9



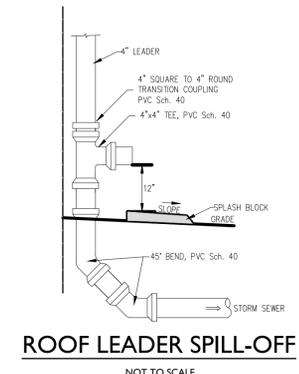
**BREAKAWAY SIGN POST DETAIL**  
NOT TO SCALE

10



**ACCESSIBLE PARKING BREAKAWAY SIGN DETAIL**  
NOT TO SCALE

11



**ROOF LEADER SPILL-OFF**  
NOT TO SCALE

12

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FINAL SITE PLAN  
NIDOT APPLICATION #  
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115 EAST 11TH AVENUE  
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BLOCK 88.0, LOT 43  
1165 NJ STATE ROUTE 27  
TOWNSHIP OF FRANKLIN  
SOMERSET COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.  
NEW JERSEY LICENSE No. 47290  
LICENSED PROFESSIONAL ENGINEER



SCALE: N.T.S. PROJ. ID: PRI-200007

TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:

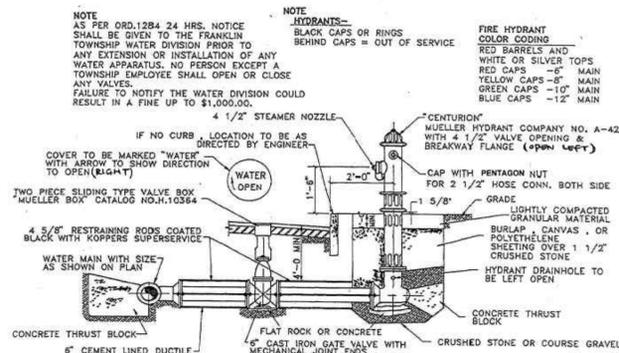
**C-12**

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND
ONE WAY RIGHT (R6-1R)		BLACK	WHITE	36"x12"	GROUND

**SIGN DATA TABLE**

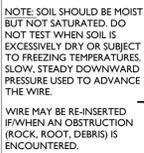
NOT TO SCALE

- NOTE:  
 1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.



**FRANKLIN TOWNSHIP STANDARD HYDRANT AND VALVE INSTALLATION DETAIL**

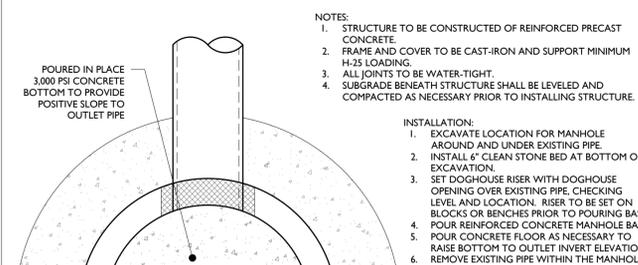
NOT TO SCALE



**PROBING WIRE TEST 15.5 GA STEEL WIRE (SURVEY FLAG)**

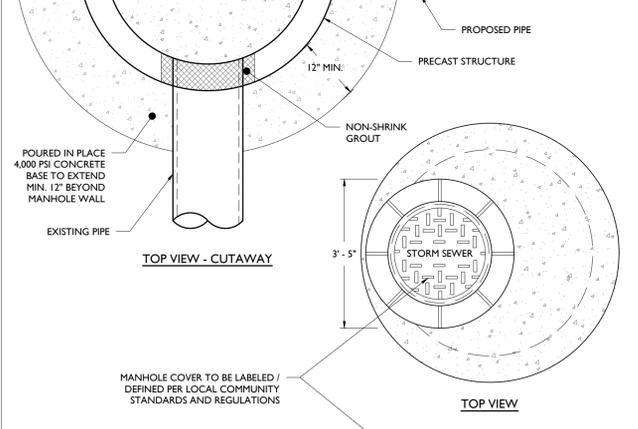
NOT TO SCALE

8. COMPACTION TESTING METHODS
1. PROBING WIRE TEST (SEE DETAIL)
  2. HAND-HELD PENETROMETER TEST (SEE DETAIL)
  3. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
  4. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
  5. NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
  6. SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUB SOIL COMPACTION REPEATED (SCARIFICATION/TILLAGE 6\"/>



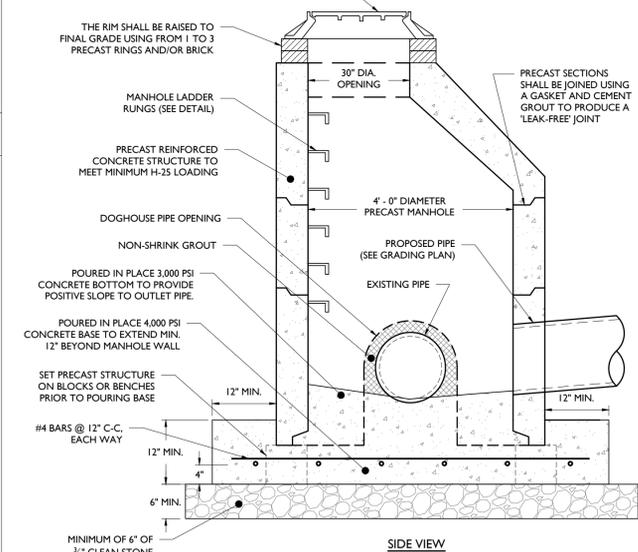
**DOGHOUSE STORM MANHOLE DETAIL**

NOT TO SCALE



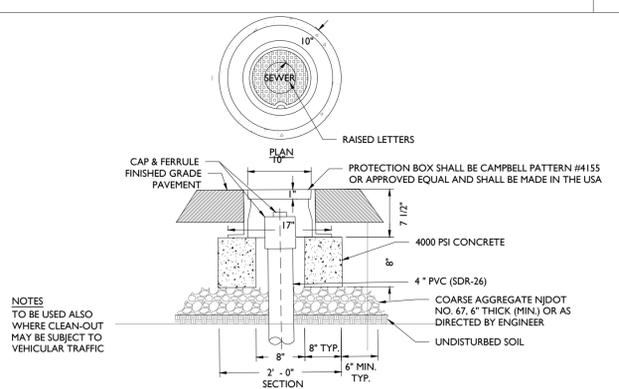
**TYPE 'B' STORM INLET DETAIL**

NOT TO SCALE



**WATER CONNECTION DETAIL**

NOT TO SCALE



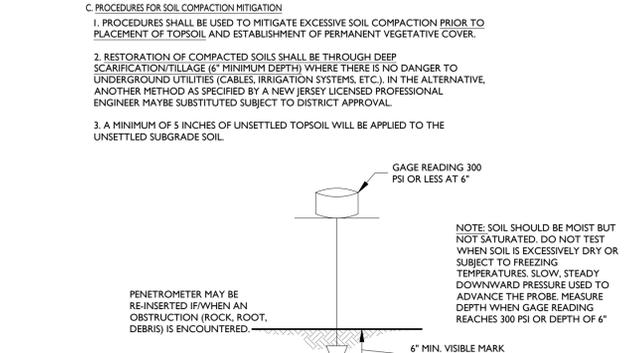
**CLEANOUT PROTECTION BOX DETAIL AT DRIVEWAY & SIDEWALK IN PAVED AREA**

NOT TO SCALE



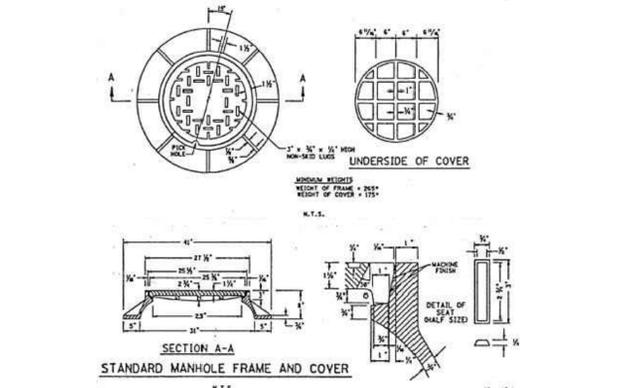
**DOGHOUSE STORM MANHOLE DETAIL**

NOT TO SCALE



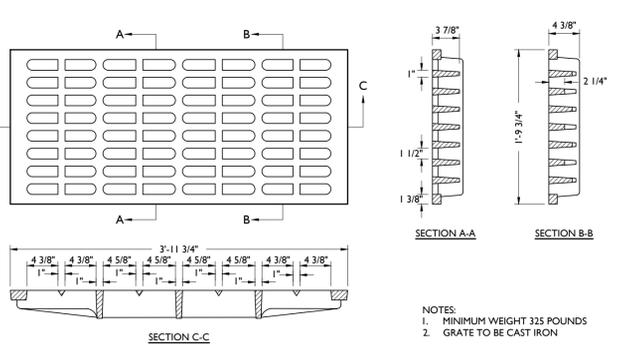
**HANDHELD SOIL PENETROMETER TEST**

NOT TO SCALE



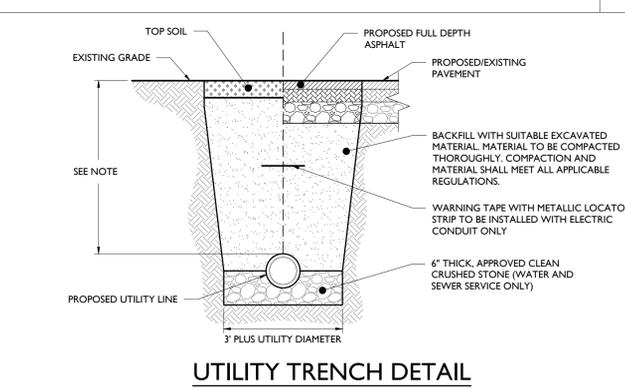
**FRANKLIN TOWNSHIP STANDARD MANHOLE FRAME AND COVER DETAIL**

NOT TO SCALE



**BICYCLE SAFE GRATE**

NOT TO SCALE



**UTILITY TRENCH DETAIL**

NOT TO SCALE

- NOTE:  
 1. MINIMUM PIPE COVER SHALL BE AS FOLLOWS:  
 \* ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY  
 \* GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY  
 \* SEWER SERVICE - 36\"/>

NO.	DATE	ISSUE	BY	DESCRIPTION
4	07/23/2020	AMB		FOR TOWNSHIP AND DRCC SUBMISSION
3	04/22/2020	AMB		FOR NIDOT SUBMISSION
2	02/17/2020	AMB		FOR DRCC SUBMISSION
1	01/04/2020	HC		REVISED BY HARBOR CONSULTANTS

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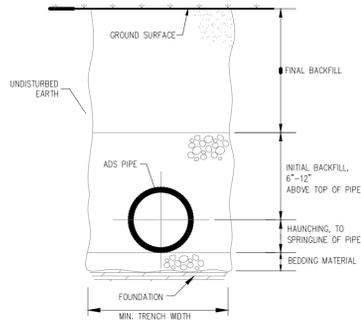
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SCALE: N.T.S. PROJ. ID: PRI-20007

TITLE: **CONSTRUCTION DETAILS**

DRAWING: **C-13**

Z:\PROJECTS\2020\2020-03-03\3 RONSON - 1165 HWY 27 - DRIBEST - NICHOLSON\10-13-20\DWG



- NOTES:**
1. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DERIVED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
  2. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-60" (750-1500mm) CPEP.
  3. HAUNCHING AND INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  4. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

NOMINAL Ø in (mm)	MIN. RECOMMENDED TRENCH WIDTH, in (mm)
4 (100)	21 (530)
6 (150)	23 (580)
8 (200)	25 (630)
10 (250)	28 (710)
12 (300)	31 (790)
15 (375)	34 (860)

5. MINIMUM COVER: MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

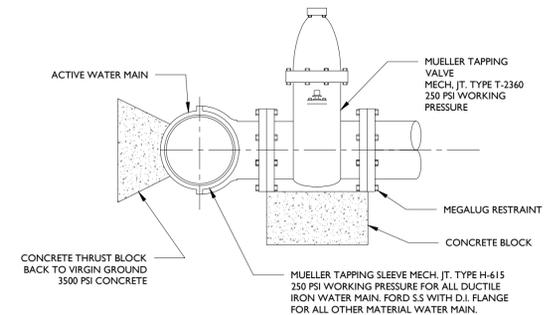
SURFACE LIVE LOADING CONDITION	MINIMUM RECOMMENDED COVER, in (')
H2S (FLEXIBLE PAVEMENT)	12, 24 FOR 60" PIPE
H2S (RIGID PAVEMENT)	12, 24 FOR 60" PIPE
EBD RAILWAY	24
HEAVY CONSTRUCTION	24

\* TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION

**STANDARD DETAIL - H.D.P.E. PIPE BEDDING**  
NOT TO SCALE

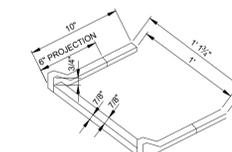


**TRINITY REHAB WALL SIGN (30 SF)**  
NOT TO SCALE



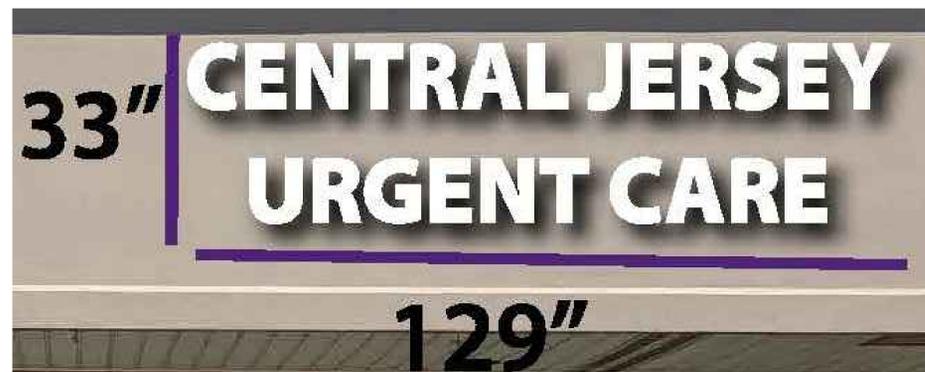
**WET TAP**

- NOTES:**  
NOT TO SCALE
1. ALL NEWLY INSTALLED TAPPING SLEEVES AND TAPPING VALVES SHALL BE PNEUMATICALLY TESTED AT A TEST PRESSURE OF 150 PSI FOR A PERIOD OF THIRTY MINUTES. AT THE END OF THE TEST PERIOD, IF THE TEST PRESSURE HAS REMAINED CONSTANT, THE TAPPING SLEEVE AND VALVE SHALL HAVE PASSED THE TEST.
  2. ANY VALVE INSTALLED OUTSIDE OF ASPHALT AREAS MUST BE CONSTRUCTED WITH A 2'x2'x6" CONCRETE COLLAR AROUND IT.

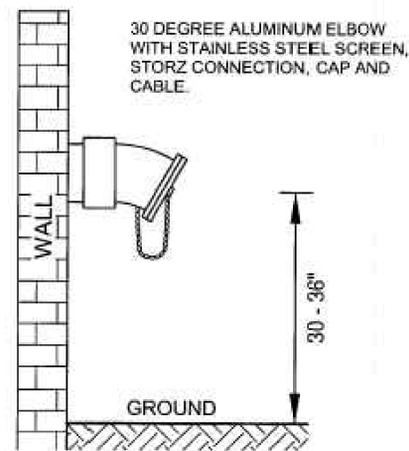


- NOTES:**
1. STEPS SHALL BE POLYPROPYLENE WITH 1/2" ASTM A-615 STEEL REINFORCEMENT MIN. 3" INBEDMENT IN ACCORDANCE WITH ASTM C-478 AND O.S.H.A. STANDARDS.
  2. ALL HANSHOLE STEPS TO MEET OR EXCEED ASTM AND O.S.H.A. REQUIREMENTS.
  3. FOR ROADWAY LOCATIONS STEPS SHALL BE ORIENTED TO ALLOW VIEWING OF ONCOMING TRAFFIC WHEN EXITING STRUCTURE.

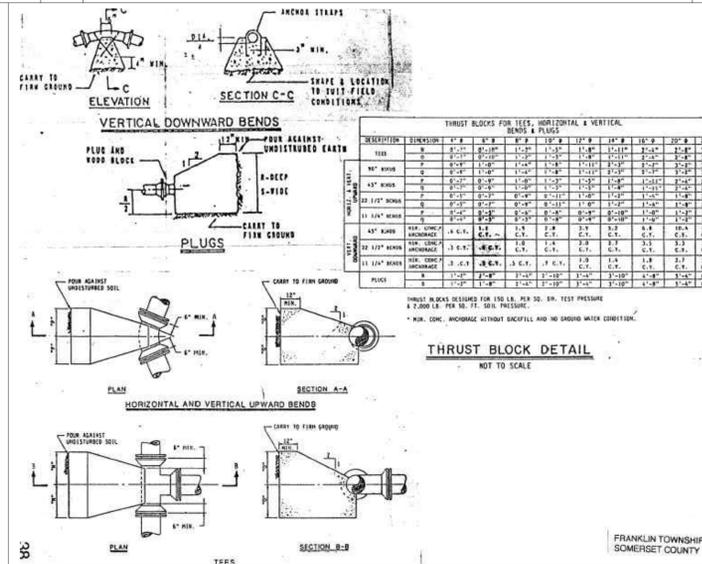
**POLYPROPYLENE LADDER RUNG**  
NOT TO SCALE



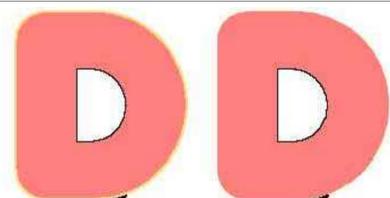
**CENTRAL JERSEY URGENT CARE WALL SIGN (29.56 SF)**  
NOT TO SCALE



**FRANKLIN TOWNSHIP STANDARD FIRE DEPARTMENT CONNECTION DETAIL**  
NOT TO SCALE



**FRANKLIN TOWNSHIP STANDARD THRUST BLOCK DETAIL**  
NOT TO SCALE



**S-1 WALL SIGN (18 SF)**  
NOT TO SCALE



**S-2 WALL SIGN (25 SF)**  
NOT TO SCALE



**S-3 WALL SIGN (12 SF)**  
NOT TO SCALE

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SCALE: N.T.S. PROJ. ID: PRI-200007

TITLE: **CONSTRUCTION DETAILS**

DRAWING: **C-14**



