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TYPE OF OCCUPANCY

FOR THE PROPERTY AT

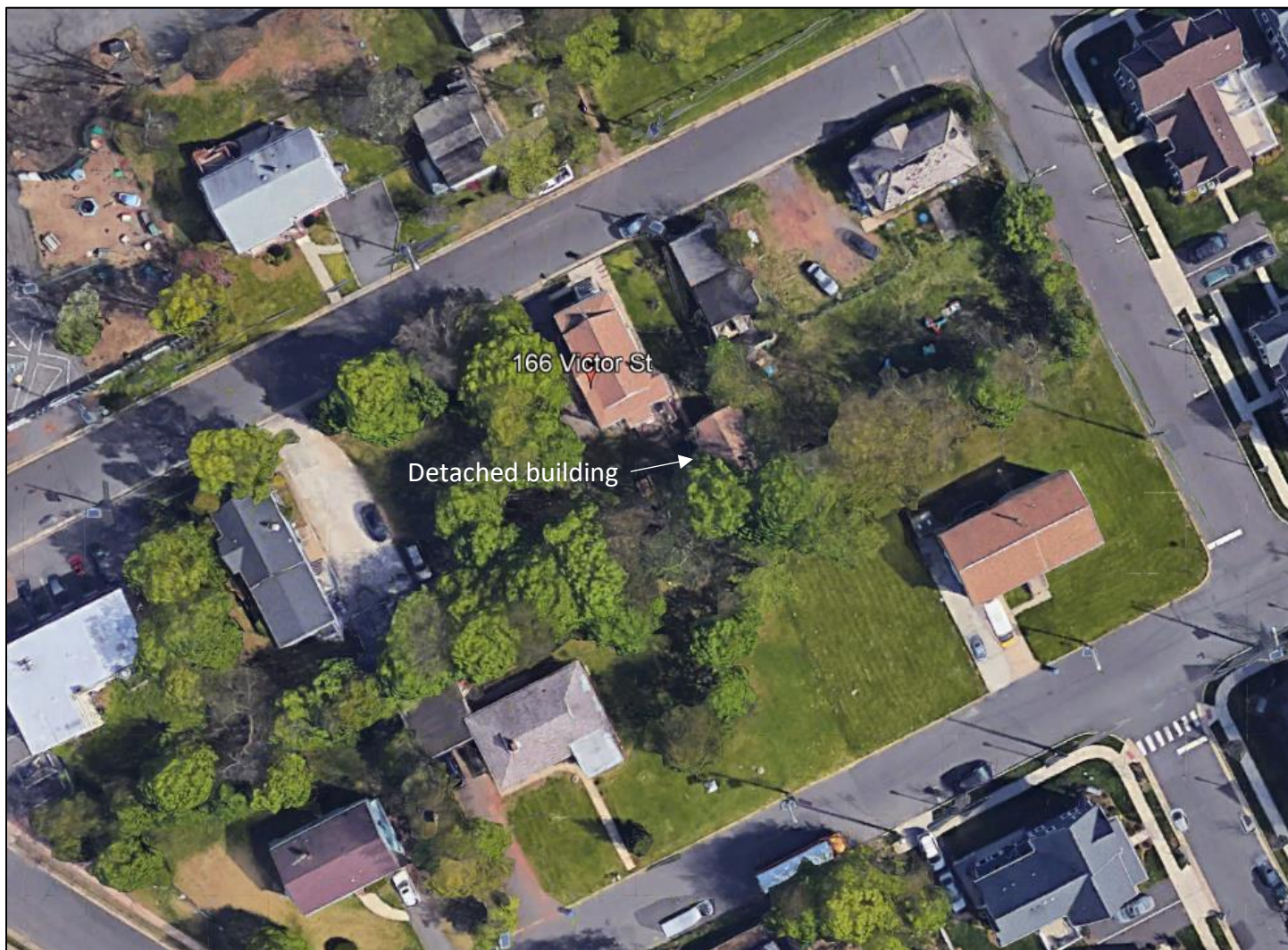
166 Victor Street, Somerset, NJ 08873



8/22/2020  
Revised 1/3/2021

## Overview and Analysis

Peter U. Lanfrit Esq., 2875 US-1, North Brunswick Township, NJ 08902, contacted me David Bekus to investigate a detached building at 166 Victor Street, Somerset, NJ, to see if it could be classified as a preexisting non confirming use. The property includes a main home and a detached building behind the larger unit. The detached building has been occupied as a residence. The purpose of this investigation was to determine if the detached building was originally occupied as a living space and if that occupation preceded 1958.



The building is single level and divided into several rooms, including, kitchen, bedroom, closets, and a bathroom.

Data on 166 Victor St, Franklin Twp	
Type	residential
Building Description	1SF
Year Constructed	1950
Zoning	R7
Acreeage	0.1722
Additional Lots	L16-17

Information taken from NJ Parcels

On Wednesday, August 12, 2019, I visited the site, took pictures, and examined the property. Public records indicate a home was built in 1950. The main home and cottage are of the same construction and materials, indicating they were built at the same time. The building configuration, construction, framing, window, and trim details indicate a building of that time.



There is an abandoned chimney, further indication the building was intended for full time occupancy.

The lay out of the doors and windows indicate a building intended for occupancy. Often second buildings on properties are built as garages or sheds.

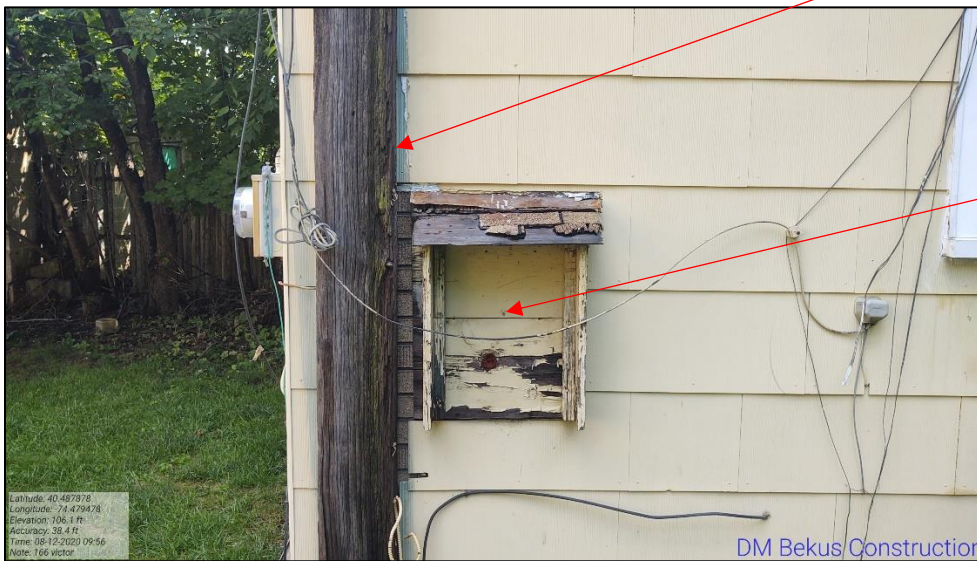
There are no indications that this building had a garage or shed doors. Which would indicate a previous use as a garage or shed and then converted.



The window trim and removable screen are indicative of construction in the 1950's and early and comport with a use intended for full time occupancy.



This is a creosote-soaked mast that is built into the building. Indicating electric service was intended from the inception



This is the location of a previous electric meter. This type of cover was prevalent prior to the 1960's and rarely seen in homes built from the early 1960's on



This is a 4" cast iron sewer vent on the exterior of the building. Cast Iron was used though the 1960's and started to be replaced in new construction in the 1970's by various plastic pipes. Cast iron was commonly used in the 1950's as it replaced the often-used clay and transit pipes of the early 20 th century.

The installation of a 4" sewer line supports the use of the structure of a full-time residential space. Garages and sheds both in the fifties and now are rarely fitted with bathrooms.



The existing cement board siding was popular from the 1920's to the early 1970's.

The fibrous imitation brick siding, that maybe the original siding was popular in the area from the 1920's through the early 1950's. Which along with all the other components of this building support a 1950's or early construction and occupancy.



This one of several interior windows, each with casing (the trim around the window) of the size and style commonly used from the 19<sup>th</sup> century though the 1950's.

The interior wall finish was installed, butted up next to the trim, indicating the trim preexisted the wall finish. It would be common for the interior of a 70-year-old building to be altered.

## Conclusion

With Reasonable professional certainty, I David Bekus affirm the following:

The detached building at 166 Victor Street, Somerset, NJ 08873 was built and occupied prior to 1958 as a separate occupied unit.

David M. Bekus receives compensation for reports and opinions.

Sincerely,

A handwritten signature in black ink that reads "David M. Bekus".

David M. Bekus