

FOR OFFICIAL USE ONLY

Planning Board

Zoning Board of Adjustment

Name of Application: _____ Docket Number: _____

PART A

APPLICANT REQUESTS THE FOLLOWING:

Explain, in detail sufficient for the Board to understand the nature of the proposal, the exact nature of the proposed application and proposed physical modifications to be made to the site, building(s) and/or signage including the proposed use of the premises.

ERECTOR OF A 60x40 GARAGE (POLE BUILDING) FOR STORAGE OF CARS

Identify the type of variance(s) requested. Check all that apply.

"C" Variance(s)

The strict application of the provisions of the Development Ordinance would result in peculiar and exceptional practical difficulties or exceptional and undue hardship - N.J.S.A.. 40:55D-70.C(1)

The purposes of the Municipal Land Use Law would be advanced by a deviation from the zoning ordinance requirements and the benefits of the deviation would substantially outweigh any detriment - N.J.S.A.. 40:55D-70.C(2)

"D" Variance(s):

Use or principal structure in a district restricted against such use or principal structure - N.J.S.A.. 40:55D-70.D(1)

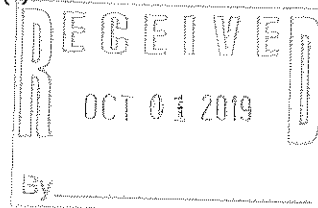
Expansion of a nonconforming use - N.J.S.A.. 40:55D-70D(2)

Deviation from a specification or standard pertaining solely to a conditional use - N.J.S.A.. 40:55D-70, D(3)

Increase in the permitted floor area ratio - N.J.S.A.. 40:55D-70.D(4)

Increase in the permitted density - N.J.S.A.. 40:55D-70.D(5)

Height of a principal structure exceeds by 10 feet or 10% the maximum height permitted in the district for a principal structure - N.J.S.A.. 40:55D-70.D(6)



Identify requested variances from the requirements of the Franklin Township Land Development Ordinance:

<u>Ordinance Section</u>	<u>Requirement</u>	<u>Proposed Deviation</u>
§112-		
§112-		
§112-		
§112-		
§112		
§112		
§112-		

PART B

APPLICANT: Individual Partnership Corporation

APPLICANT: Owner Applicant Other _____

Name TOM + KAREN DUFFY
 Street Address 1464 HAMOTA ST Apt./Ste/Unit # _____
 City SOMERSET State NJ Zip Code 08873
 Phone 908-500 9728 Fax _____
 Email TPDUFFY1216@GMAIL.COM

OWNER (if different from Applicant):

Name _____
 Street Address _____ Apt./Ste/Unit # _____
 City _____ State _____ Zip Code _____
 Phone _____ Fax _____
 Email _____

PART C

Note: "*" indicates not required in association with signage variances

SUBJECT PROPERTY:

Block/s 87,04 Lot/s 17 Zone _____

Street Address 1464 HANNA ST

City SAMPSON State NJ Zip Code 08873

Approximate Site Size * 30,945 SF Acres/ _____ Sq. ft.

Present use of the property, specify: RESIDENCE

Proposed use of the property, specify: RESIDENCE

Public water available: * Yes No If not, proposed? Yes No

Public sanitary sewer available: * Yes No If not, proposed? Yes No

Describe any off tract improvement required or proposed* NA

Deed restrictions, covenants, easements, association by-laws:

Yes (Provide a copy) No Proposed (Must be submitted for review)

Does the applicant own any contiguous property?* Yes No

If yes, state the address, block and lot of such property: _____

Has there been any previous appeal, request, or application to this or any other Township Boards involving this property? Yes No

If, yes, state type, docket number, the nature and date of such appeal: _____

How long has the present owner had title to this property? * 30

Is the property under contract to be sold? Yes No

If yes, state the date of contract and name of the contract purchaser: _____

PART D

Identify if the application is proposed to be bifurcated (i.e., variances identified herein sought at this time with approval for other development approvals, such as subdivision and/or site plan approval, to be sought at a later date): Yes No

If not bifurcated, identify the associated development approvals sought at this time (check all that apply):

- Waiver of Site Plan
- Minor Site Plan
- Preliminary Site Plan
- Final Site Plan
- Minor Subdivision
- Preliminary Major Subdivision
- Final Major Subdivision
- Conditional Use Approval
- Other(s) (Specify: C VARIANCE)

Note: Applicant must consult the respective Instruction Sheet(s) and Submission Checklist(s) for the associated development approvals being sought at this time. The submission will not be deemed an Application for Development unless all required submissions are provided for all requested development approvals.

If bifurcated, identify the nature of subsequent development approvals to be sought: _____

For signage variances indicate the following:

- Single Tenant Building
- Multiple Tenant Building

PART E

C Variance(s):

- The strict application of the provisions of the Development Ordinance would result in peculiar and exceptional practical difficulties or exceptional and undue hardship under N.J.S.A.. 40:55D-70.C(1)

List in detail wherein this case conforms to this requirement, including, if applicable, reference to exceptional narrowness, shallowness or shape of the property, or exceptional topographic conditions or physical features uniquely affecting the property, or extraordinary and exceptional situation uniquely affecting the property or the structures lawfully existing thereon.

LONGER LOT WITH MANY EXPOSED FEATURES

_____ and/or

The purposes of the Municipal Land Use Law would be advanced by a deviation from the zoning ordinance requirements and the benefits of the deviation would substantially outweigh any detriment under N.J.S.A.. 40:55D-70.C(2).

List in detail wherein this case conforms to this requirement:

D Variance(s):

State why the property is particularly suitable for the proposed use, including any inherently beneficial conditions and/or any undue hardship, if any, showing that the property cannot reasonably be adapted to a conforming use:

C and D Variance(s):

Supply a statement of facts why relief can be granted without substantial detriment to the public good.

IMPROV STATE OF LOTS ONLY

Supply a statement of facts why relief can be granted without substantial detriment to the intent and purpose of the zone plan and zoning ordinance.

PROPOSED IS IMMEDIATE ONLY
CHANGE IS A NEW STRUCTURE

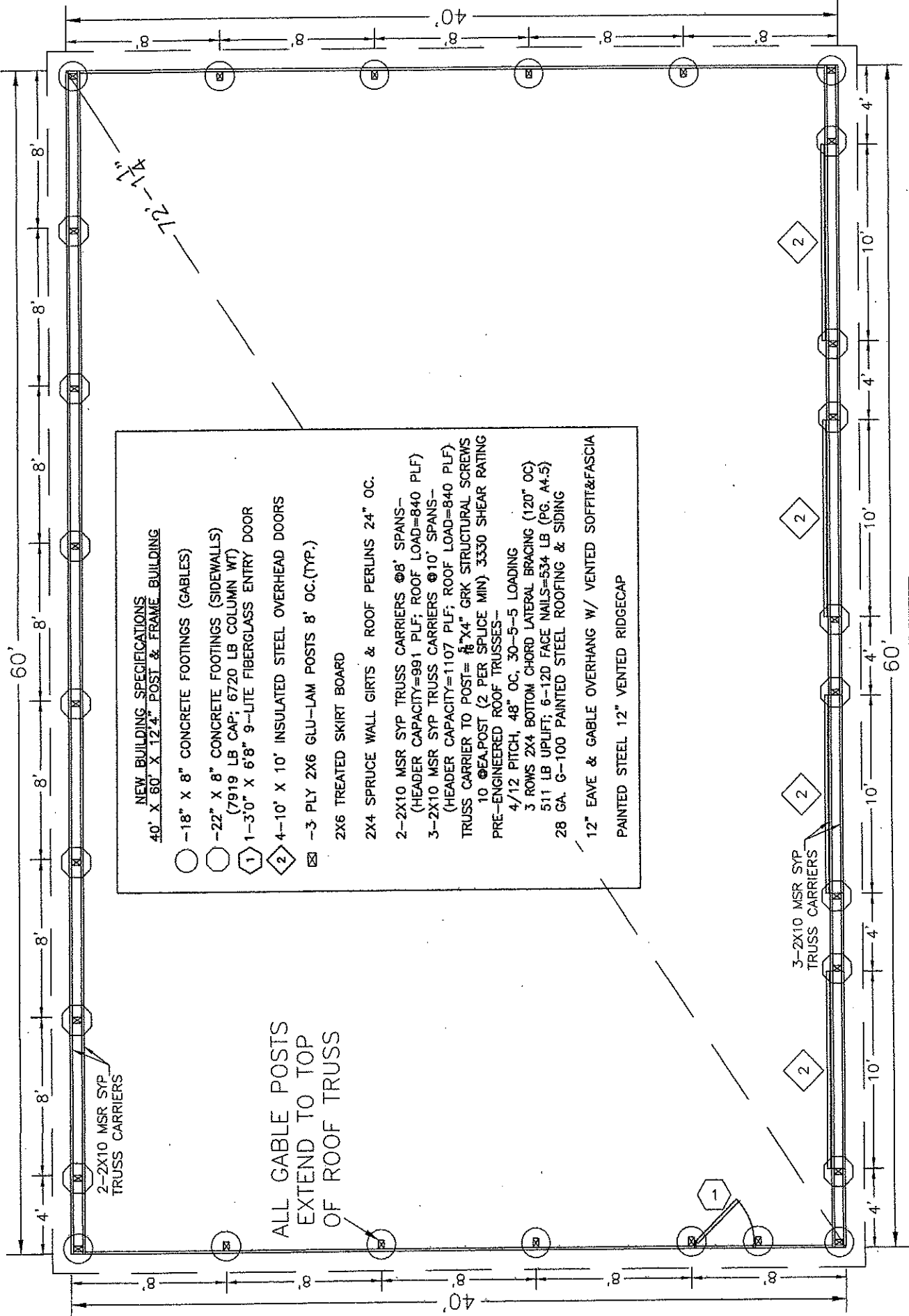


TOM DUFFY
SOMERSET, NJ 08873

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DRAWN BY: ALS
REVIEW:

DATE: 4/25/18
SITE: DUFFY
FLOOR PLAN

A.1



NEW BUILDING SPECIFICATIONS
40' X 60' X 12.4' POST & FRAME BUILDING

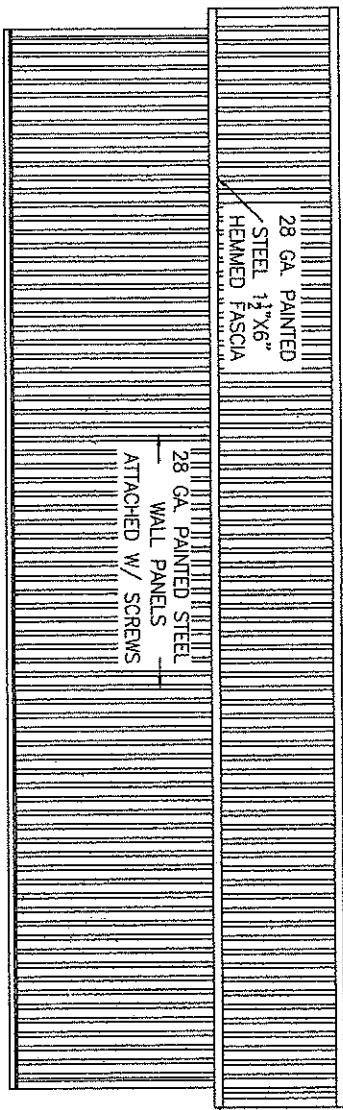
- -18" X 8" CONCRETE FOOTINGS (GABLES)
- -22" X 8" CONCRETE FOOTINGS (SIDEWALLS)
(7919 LB CAP; 6720 LB COLUMN WT)
- ① 1-3'0" X 6'8" 9-LITE FIBERGLASS ENTRY DOOR
- ◇ 4-10' X 10' INSULATED STEEL OVERHEAD DOORS
- ⊠ -3 PLY 2X6 GLU-LAM POSTS 8' OC.(TYP.)
- 2X6 TREATED SKIRT BOARD
- 2X4 SPRUCE WALL GIRTS & ROOF PERLINS 24" OC.
- 2-2X10 MSR SYP TRUSS CARRIERS @8' SPANS-
(HEADER CAPACITY=991 PLF; ROOF LOAD=840 PLF)
- 3-2X10 MSR SYP TRUSS CARRIERS @10' SPANS-
(HEADER CAPACITY=1107 PLF; ROOF LOAD=840 PLF)
- TRUSS CARRIER TO POST= 1/8" X 4" GRK STRUCTURAL SCREWS
10 @EA/POST (2 PER SPLICE MIN) 3330 SHEAR RATING
PRE-ENGINEERED ROOF TRUSSES-
4/12 PITCH, 48" OC, 30-5-5 LOADING
3 ROWS 2X4 BOTTOM CHORD LATERAL BRACING (120" OC)
511 LB UPLIFT; 6-120 FACE NAILS=534 LB (PG. A4-5)
28 GA. G-100 PAINTED STEEL ROOFING & SIDING
- 12" EAVE & GABLE OVERHANG W/ VENTED SOFFIT&FASCIA
PAINTED STEEL 12" VENTED RIDGECAP

ALL GABLE POSTS
EXTEND TO TOP
OF ROOF TRUSS

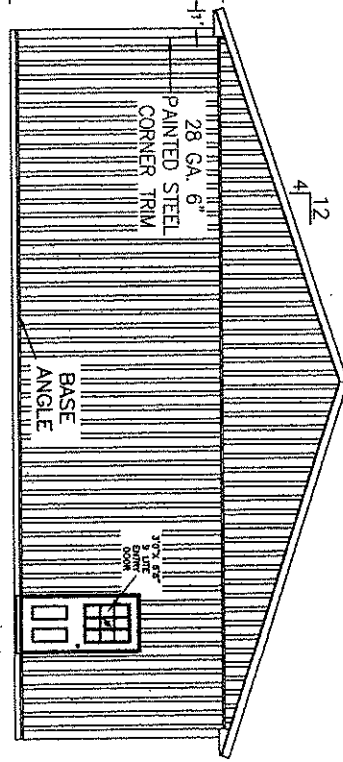
3-2X10 MSR SYP
TRUSS CARRIERS

FLOOR PLAN
SCALE: 1/8" = 1'0"

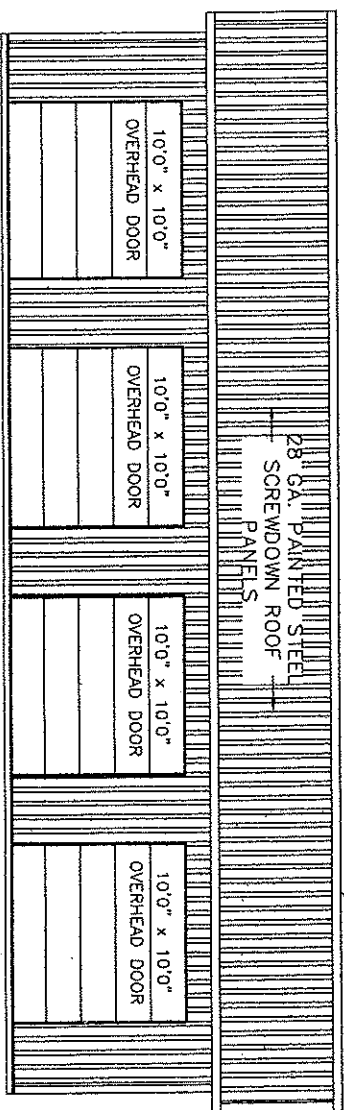
ON 4
1-19-15
POOR
IN FRONT
IN BACK OF BUILDING



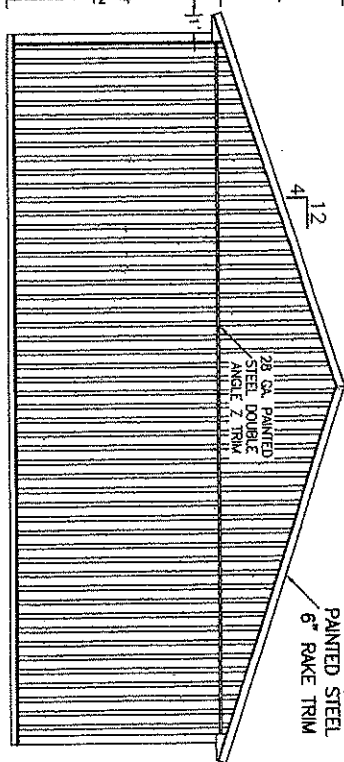
BACK SIDEWALL
SCALE: 1/8" = 10"



LEFT ENDWALL
SCALE: 1/8" = 10"



FRONT SIDEWALL
SCALE: 1/8" = 10"



RIGHT ENDWALL
SCALE: 1/8" = 10"

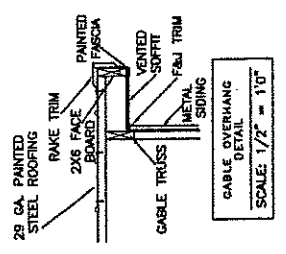
28 GA. PAINTED STEEL
12" RIDGECAP (VENTED)

OWNER:	TOM DUFFY SOMERSET, NJ 08873
DATE:	4/25/18
SITE/DUFFY	
ELEVATIONS	
REVISIONS:	
REVIEW:	
DRAWN BY:	ALS
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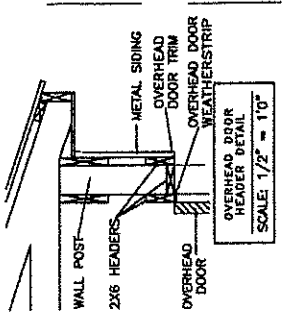
SHIRK LLC

 807 READING ROAD EAST EARL, PA 17519

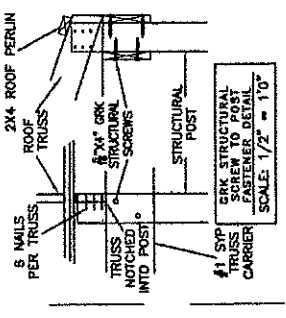
 717 445 4888 FAX 717 445 3061



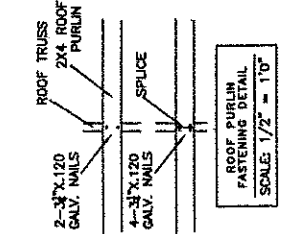
CABLE OVERHANG DETAIL
SCALE: 1/2" = 1'0"



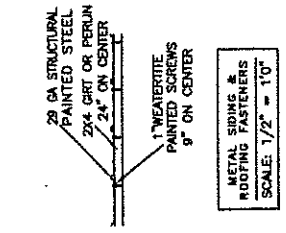
OVERHEAD DOOR HEMER DETAIL
SCALE: 1/2" = 1'0"



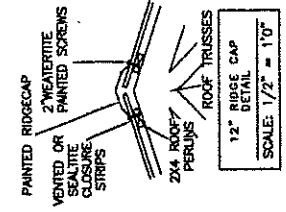
2X4 ROOF PERLIN FASTENER DETAIL
SCALE: 1/2" = 1'0"



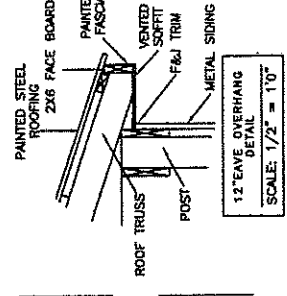
ROOF PURLIN FASTENING DETAIL
SCALE: 1/2" = 1'0"



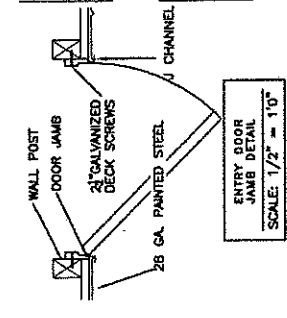
29 GA. STRUCTURAL PAINTED STEEL FASTENERS
SCALE: 1/2" = 1'0"



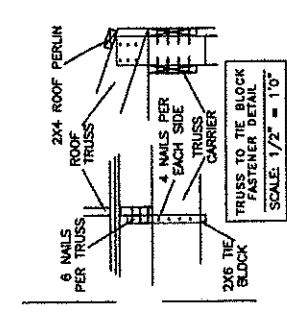
12" RIDGE CAP DETAIL
SCALE: 1/2" = 1'0"



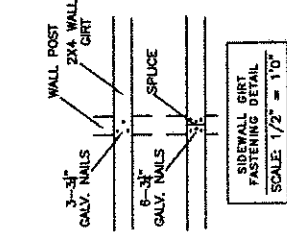
12" EAVE OVERHANG DETAIL
SCALE: 1/2" = 1'0"



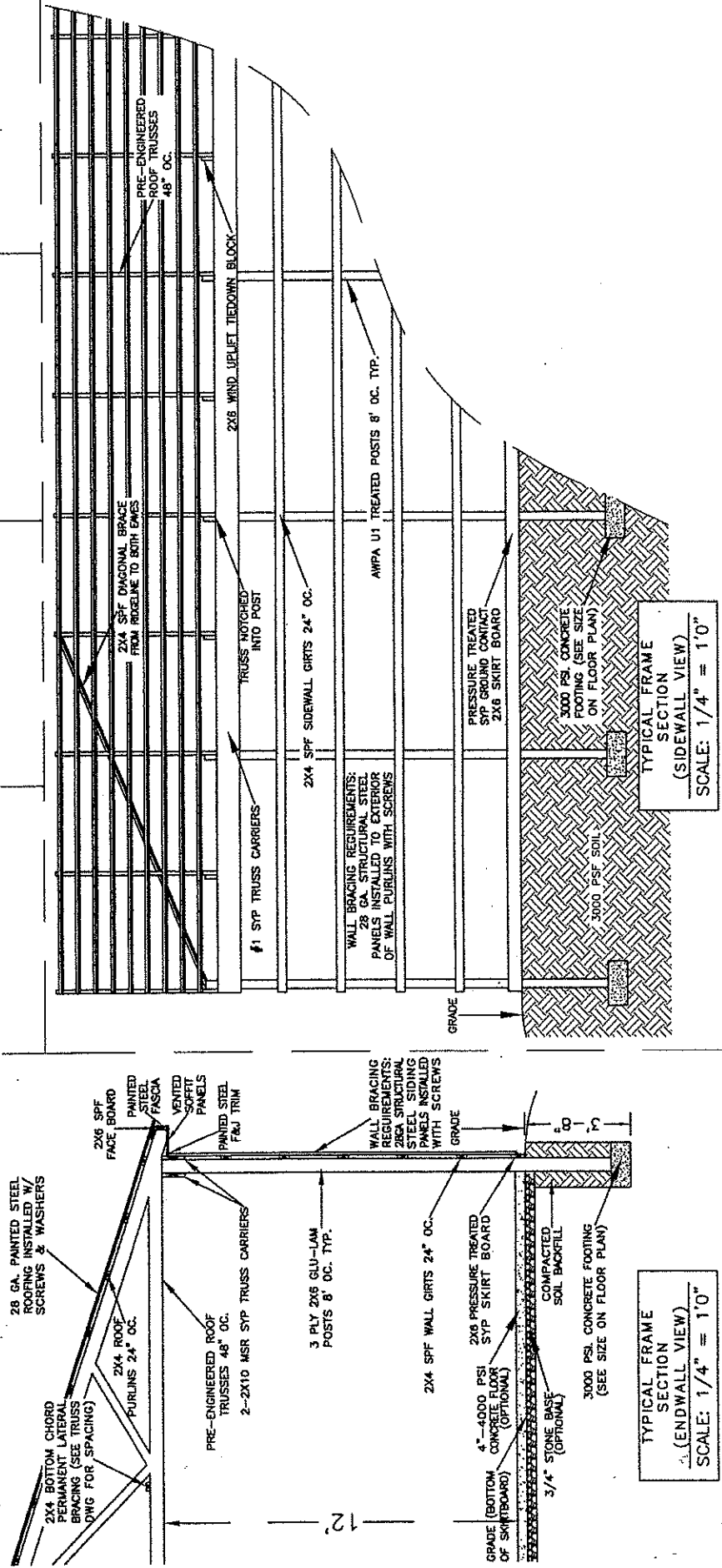
ENTRY DOOR JAMB DETAIL
SCALE: 1/2" = 1'0"



TRUSS TO THE BLOCK FASTENER DETAIL
SCALE: 1/2" = 1'0"



SIDEWALL GIRT FASTENING DETAIL
SCALE: 1/2" = 1'0"



TYPICAL FRAME SECTION (ENDWALL VIEW)
SCALE: 1/4" = 1'0"

TYPICAL FRAME SECTION (SIDEWALL VIEW)
SCALE: 1/4" = 1'0"



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SOMERSET, NJ 08873

OWNER
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 REVISIONS:
 DATE: 4/25/18
 SITE: DUFFY
 DETAILS

A4.1 GRADING & EXCAVATION
 FINISHED GRADE SHALL BE BELOW FLOOR LEVEL WITH ADEQUATE FALL TO CARRY SURFACE WATER AWAY FROM BUILDING. FOOTINGS SHALL BE CIRCULAR (UNLESS NOTED OTHERWISE) AUGERED TO THE DEPTH AND DIAMETER SPECIFIED, WITH ALL LOOSE FILL REMOVED BEFORE CONCRETE FOOTING MATERIAL IS PLACED.

A4.2 FOOTINGS
 STANDARD DEPTH FOR FOOTING EXCAVATION IS 44" FROM FINISH FLOOR HEIGHT FOOTINGS SHALL BE A MINIMUM OF 36" DEPTH FOR FROST PROTECTION OR: LOCAL BUILDING CODE DEPTH REQUIREMENTS FOR FROST PROTECTION WILL BE FOLLOWED. DRY MIX CONCRETE HYDRATED IN-SITU WILL BE USED UNLESS OTHERWISE SPECIFIED.

A4.3 FRAMING
 LUMBER FOR SIDEWALL GIRTS AND PERLINS SHALL BE #2 SPRUCE OR COMPARABLE LUMBER FOR SKIRTBOARD, POSTS AND BEAMS SHALL BE #2 OR BETTER SOUTHERN YELLOW PINE. TIMBERVALUES FOR 3 PLY 2X6 GLU-LAM :FB=2150, FC=2050. LUMBER FOR TRUSS CARRIERS SHALL BE #1 OR BETTER SOUTHERN YELLOW PINE. ALL GROUND CONTACT LUMBER SHALL BE TREATED TO AMPA U1-09 (COMMODITY SPECIFICATION A, USE CATEGORY 4B AND SECTION 5.2) AND ASA(E)ASA(BE)EP559, .60 CCA MINIMUM AND SHALL BEAR AN ACCREDITED LABEL USING #1 OR BETTER SYP.

A4.4 ROOF TRUSSES
 ROOF TRUSSES SHALL BE PRE-ENGINEERED, GROUND SNOW LOAD, DRIFT LOAD, COLLATERAL LOAD, AND WIND LOAD ARE TO BE IN ACCORDANCE WITH BUILDING CODE. TRUSS ERECTION AND BRACING SHALL BE PROVIDED ACCORDING TO MANUFACTURERS SPECIFICATIONS. BOTTOM CHORD OF TRUSS SHALL HAVE PERMANENT LATERAL BRACING OF 120" O.C. OR AS REQUIRED PER ROOF TRUSS DESIGN. THE DESIGN PROFESSIONAL OF RECORD HAS REVIEWED THE PRE-ENGINEERED ROOF TRUSS DRAWINGS AS PER R502.11.1 & IBC 107.3.4.1 AND THEY COMPLY WITH THE STRUCTURAL DESIGN REQUIREMENTS.

A4.5 ROOF TRUSS, UPLEFT AND LATERAL CONNECTIONS
 PRIMARY ROOF TRUSSES SHALL BE CONNECTED TO THE SIDE OF THE STRUCTURAL POSTS AND INTERMEDIATE ROOF TRUSSES SHALL BE CONNECTED TO THE STRUCTURAL HEADER WITH UPLEFT BLOCKS WITH A SUFFICIENT NUMBER OF FACE NAILS TO OFFSET THE WIND UPLIFT FACTOR AND LATERAL LOADS NOTED ON THE ROOF TRUSS DRAWING IN ACCORDANCE WITH IBC SECTION 2304.9.1, 2308.10.1, AND 2308.10.6

A4.6 FASTENERS AND FRAMING CONNECTIONS
 STRUCTURES WITH ASA(E)ASA(BE) EP484 DIAPHRAM DESIGN& ACTIONS FOR METALLIC BUILDINGS, IBC WIND BRACING REQUIREMENTS, IBC CONSTRAINED/ UNCONSTRAINED POST REQUIREMENTS& POST TO FOOTING CONNECTION. ALL FRAMING CONNECTIONS SHALL BE OF A SIZE AND DESIGN TO MEET DESIGN LOADS SPECIFIED. NAILS USED IN .60 ACO/CCA TREATED WOOD SHALL BE 12D HOT DIPPED GALVANIZED: ASTM A 153 PLATED 1.2 MIL SCREWS, AND A 65 CLASS G 185 HARDWARE. THE MINIMUM AMOUNT OF 12D NAILS IN 2X4 ROOF PERLINS IS 2. THE MINIMUM AMOUNT OF 12D NAILS IN 2X4 WALL GIRTS IS 3. THE MINIMUM # OF 12D NAILS IN 1 1/2" STRUCTURAL TIMBER IS 1 PER 1/4" BOARD WIDTH. TRUSS CARRIER CONNECTION TO POST: 3/8"x4" GRK RSS STRUCTURAL SCREWS, SCREW VALUES: SHEAR STRENGTH=1528 LB, TENSILE STRENGTH=139,000 PSI, PULLOUT=2644 LBS, HEAD PULL THROUGH=825 LBS, MIN. BENDING ANGLE=35°.

A4.7 METAL SIDING AND ROOFING
 METAL SIDING AND ROOFING SHALL BE INSTALLED WITH #9 WOODGRIP, 1/4" HEX HEAD, METAL AND RUBBER WASHERED GALVANIZED COLOR MATCHING SCREWS. FASTENERS SHALL COMPLY WITH THE ROOFING & SIDING MFG'S REQUIREMENTS. METAL SIDING AND ROOFING SHALL BE WARRANTED #1 GRADE 80,000 PSI MIN. TENSILE STRENGTH CORRUGATED 28 GAUGE PAINTED ABM STEEL PANELS GALVANIZED TO A MINIMUM OF G-100. METAL SIDING AND ROOFING SHALL BE TRIMMED WITH CORRECT FLASHINGS AT EXPANDED EDGES, ROOF ENDS, CORNERS, DOORS, WINDOWS AND RIDGES, EXCEPT; BOTTOM EDGE OF STANDARD ROOFING MATERIALS.

A4.8 CONCRETE FLOOR (OPTIONAL)
 FIBER REINFORCED 4000 PSI CONCRETE SLAB ON GRADE OVER COMPACTED BASE. SLAB WILL BE POURED AGAINST SKIRTBOARD WITH NO TURN DOWN.

A4.9 STRUCTURAL DESIGN PARAMETERS
 BUILDING USE= STORAGE
 USE GROUP=U
 EXPOSURE CATEGORY= C
 HEIGHT & AREA LIMITATIONS=SB UNPROTECTED
 OCCUPANCY LOAD=AS PER DESIGN
 TOTAL NUMBER OF FLOORS= 1
 TOTAL FLOOR AREA (50 FT)=2400
 BUILDING VOLUME (CU FT)=36,900

A4.10 APPLICABLE BUILDING CODES
 THESE PLANS ARE DESIGNED IN ACCORDANCE WITH THE FOLLOWING BUILDING CODES: 2015 IBC CODE N.J. EDITION (N.J.A.C. 5:23-3.14)

A4.11 DESIGN CRITERIA:
 DESIGN REFERENCES=NFDIA GUIDELINES FOR POST & FRAME CONSTRUCTION& NDS 2005 AMERICAN FOREST & PAPER ASSOCIATION (WFG& NDS 2005 FOR WOOD CONSTRUCTION) SOUTHERN PINE COUNCIL (JOISTS & RAFTERS/ HEADERS & BEAMS) THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC 117-93 AND 2/98 ADDENDUM) SOUTHERN BUILDING CODE CONGRESS (SS1D10) MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7-10) GEORGIA PACIFIC ENGINEERED LUMBER (EDITION VII)

A4.12 WARRANTY NOTES
 ANY DESIGN MODIFICATION OR ANY STRUCTURAL MODIFICATION BEFORE, DURING, OR AFTER CONSTRUCTION TO BUILDING BY ANY PERSON(S) OR COMPANY OTHER THAN WORK PERFORMED OR APPROVED BY SHIRI POLE BUILDINGS LLC WILL VOID ANY AND ALL WARRANTIES PROVIDED BY MANUFACTURERS AND/OR SHIRI POLE BUILDINGS LLC. SUCH DESIGN MODIFICATIONS AND/OR STRUCTURAL MODIFICATIONS INCLUDE: DRILLING, REMOVING, CUTTING, SAWING, SPLINTERING OR DAMAGING ANY STRUCTURAL MEMBERS INCLUDING FOOTINGS, POSTS, GIRTS, BEAMS, TRUSSES, PERLINS, PANELS, WINDOWS, DOORS, NAILS, SCREWS, AND BOLTS. SUCH DESIGN MODIFICATIONS AND/OR STRUCTURAL MODIFICATIONS ALSO INCLUDE: ADDING ADDITIONS, SNOW DRIFT LOAD FROM ADDITIONS, LEAN-TO'S, ATTIC STORAGE, CHAIN HOISTS, OPENINGS, SKYLIGHTS, ROOF VENTS, AND LOUVERS. SHIRI POLE BUILDINGS LLC WILL NOT BE LIABLE FOR ANY FAILURES RESULTING FROM THOSE MODIFICATIONS LISTED ABOVE, OR FROM ANY OTHER MODIFICATIONS NOT APPROVED BY A CERTIFIED ENGINEER.

A4.13 CONTRACTOR LICENSING
 NJ 13VH02705800 EXPIRES 3/31/2019

A.4

