PROPERTY OWNERS WITHIN 200 FT.

Block-Lot: 514-32 ALVES, ARTUR & ANGELA C 486 ELIZABETH AVENUE SOMERSET NJ 08873 RE: 486 ELIZABETH AVE Block-Lot: 507.02-42 CENTEX HOMES LLC 500 CRAIG ROAD

Block-Lot: 507.14-60.01 NORTHERN NURSERIES INC 546 HALFWAY HOUSE RD. WINDSOR LOCKS, CT 06096 RE: 487 ELIZABETH AVE Block-Lot: 507.14-63.01 TOWNSHIP OF FRANKLIN 475 DEMOTT LANE

SOMERSET NJ 08873 MANALAPAN NJ 07726 RE: ESPLANADE DRIVE RE: 479 ELIZABETH AVE Block-Lot: 507.14-63.02 Block-Lot: 507.14-45 KLIKUS, LILLIAN CAVAGNARO, VICTOR JR. 475 ELIZABETH AVE 481 ELIZABETH AVE SOMERSET NJ 08873 SOMERSET NJ 08873 RE 475 ELIZABETH AVE RE 481 ELIZABETH AVE Block-Lot: 514-31 Block-Lot: 507.14-46

LAWRENCE, THOMAS & MARY ANN TOWNSHIP OF FRANKLIN 484 ELIZABETH AVENUE 475 DEMOTT LA SOMERSET, NJ 08873 SOMERSET NJ 08873 RE: 484 ELIZABETH AVE RE ELIZABETH AVE

Block-Lot: 514-19.03 Block-Lot: 514-30 DILORIO, FRED PORCHETTA, ANGELO, ETAL 928 HOLDINGS, LLC 295 DURHAM AVE-BLDG 7-204 500 METUCHEN RD. SOUTH PLAINFIELD, NJ 07080 SO PLAINFIELD NJ 07080 RE: 482 ELIZABETH AVE RE: 480 ELIZABETH AVE

CATALENT PHARMA SOLUTIONS%R, VOHRA 14 SCHOOL HOUSE RD SOMERSET, NJ 08873 RE: 14 SCHOOL HOUSE RD

Block-Lot: 514-20.04

Block-Lot: 507.14-60.01-QFARM NORTHERN NURSERIES INC 546 HALFWAY HOUSE RD. WINDSOR LOCKS, CT 06096 RE: 487 ELIZABETH AVE

Block-Lot: 514-20.04-QFARM CATALENT PHARMA SOLUTIONS%R. VOHRA 14 SCHOOL HOUSE RD

SOMERSET, NJ 08873 RE: 14 SCHOOL HOUSE RD

As per NJSA 40:55D-12.h, you must also notify the following registered agencies: Sunoco Pipeline LP

Right-of-Way Department Buckeye Pipe Line Company PO Box 368 Emmaus, PA 18049-0368

Business Manager Comcast Cable 279 Amwell Road Hillsborough, NJ 08844

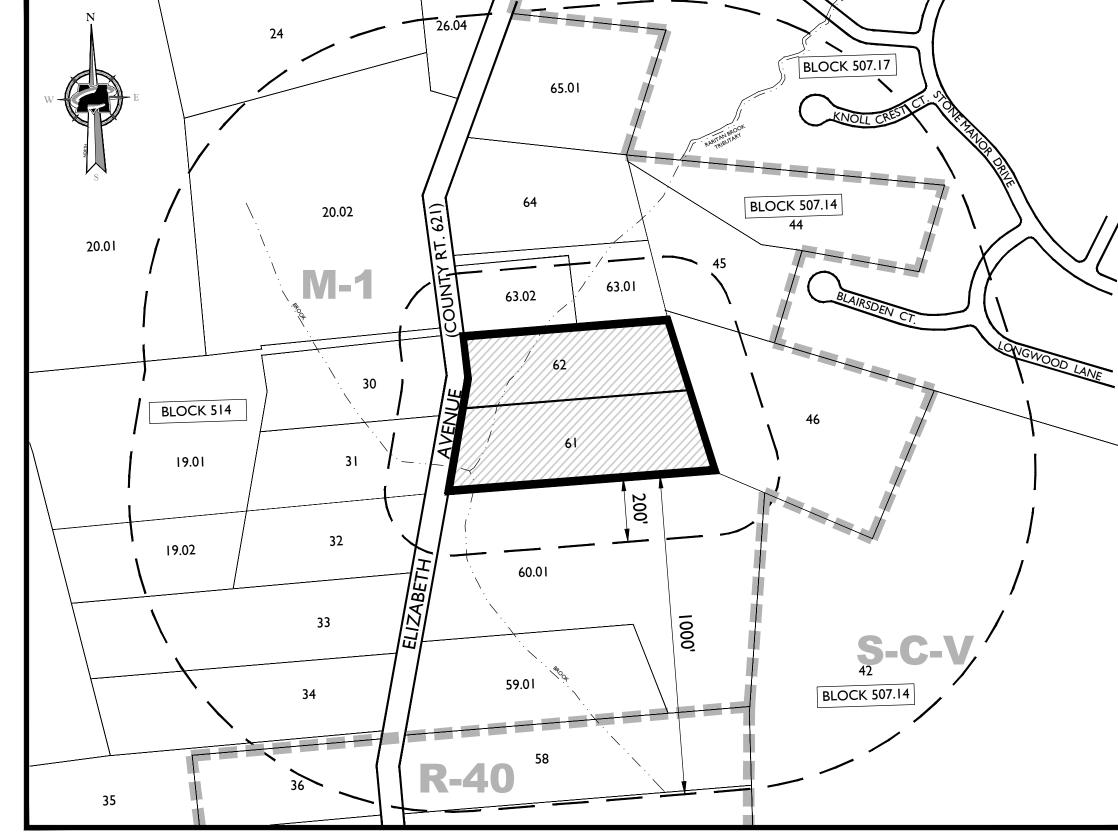
Right of Way Dept Montello Complex 525 Fritztown Road Sinking Spring PA 19608

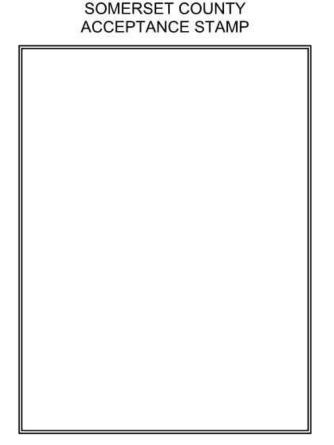
INDEX OF SHEETS LATEST SHT. No. DESCRIPTION **REVISION** COVER SHEET EXISTING CONDITIONS AND DEMOLITION PLAN DIMENSION PLAN GRADING PLAN GRADING PLAN (INTERSECTION) **UTILITIES PLAN** ROAD PROFILES UTILITY PROFILES SOIL EROSION & SEDIMENT CONTROL PLAN SOIL EROSION & SEDIMENT CONTROL DETAILS LANDSCAPE PLAN LANDSCAPE DETAILS LIGHTING PLAN LIGHTING DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS TREE REMOVAL PLAN TREE REMOVAL PLAN TREE REMOVAL PLAN MINOR SUBDIVISION PLAN

PRELIMINARY AND FINAL MAJOR SITE PLAN

483 - 485 ELIZABETH AVENUE BLOCK 507.14, LOTS 61 & 62 FRANKLIN TOWNSHIP

SOMERSET COUNTY, NEW JERSEY

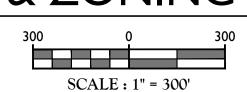




THESE PLANS ARE NOT ACCEPTED FOR CONSTRUCTION UNLESS THIS BLOCK IS STAMPED "ACCEPTED AS SUBMITTED" BY A STAFF MEMBER OF THE SOMERSET COUNTY ENGINEERING DIVISION. BIDS FOR CONSTRUCTION SHOULD NOT BE BASED ON THESE PLANS UNTIL THE PLANS ARE ACCEPTED BY THE COUNTY.

ACCEPTANCE OF THESE PLANS EXPIRE TWO (2) YEARS FROM THE STAMPED DATE.

KEY & ZONING MAP



ENGINEER

M-I LIGHT MANUFACTURING R-40 SINGLE FAMILY RESIDENTIAL S-C-V SENIOR CITIZEN VILLAGE

ZONING LEGEND

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE SUBMISSION. APPROVED BY THE ZONING BOARD OF THE TOWNSHIP OF FRANKLIN AT THE REGULAR MEETING OF

CHAIRMAN SECRETARY

ZONING LEGEND

GENERAL NOTES

VINCENT HUGHES 485 FLIZABETH AVENUE

SOMERSET, NI 08873 732-319-2375

LOT 62, BLOCK 507.14

SOMERSET, NI 08873

APPLICANT: FLIZABETH REALTY PARTNERS LLC

MANASQUAN, NI 08736

154 FIRST AVENUE

4. ZONE DATA: LIGHT MANUFACTURING (M-1)

MIN. SIDE YARD SETBACK (ONE)

MIN. SIDE YARD SETBACK (TOTAL

MAX. COVERAGE OF IMPERMEABLE SURFAC

(E) PRE-EXISTING NON-CONFORMING CONDITION

71,230 SF x 1/2,500 SF = 28 SPACES + 5 SPACES = 33 TOTAL

50% OF THE PARKING REQUIREMENT MAY BE LAND BANKED.

ORDINANCE SECTIONS IF DETERMINED BY THE ZONING BOARD.

a) LOT AREA OF 0.92 AC., WHERE 5 AC. MIN. IS REQUIRED

b) LOT FRONTAGE OF 147', WHERE 300' MIN. IS REQUIRED

e) TOTAL SIDE YARD OF 77.5', WHERE 100' MIN. IS REQUIRED

PROPOSED LOT 61.01 f) REAR YARD SETBACK OF 50', WHERE 100' MIN. IS REQUIRED

ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988

IN A REPORT ENTITLED "PRELIMINARY REPORT OF INFILTRATION AND SEPTIC

EVALUATION", DATED: OCTOBER 20, 2020 PREPARED BY MASER CONSULTING.

II. THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A

REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.

APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.

VERIFICATION APPROVAL, DATED: JANUARY 9, 2020.

WITH ALL APPLICABLE LAWS AND REGULATIONS.

DIMENSIONS ARE SHOWN THERETO

(FILE No. 1808-19-0009.1).

2) SECTION 112-13 LOT AND YARD REQUIREMENTS

5. THE FOLLOWING VARIANCES AND/OR DESIGN WAIVERS MAY BE REQUIRED FROM THE FOLLOWING

TO PERMIT AN EXISTING RESIDENTIAL USE TO REMAIN ON A RECONFIGURED LOT.

c) FRONT YARD SETBACK OF 33.7', WHERE 50' MIN. IS REQUIRED (EX. CONDITION)

A WAIVER IS REQUESTED TO ALLOW A 24' WIDE PARKING AISLE, WHERE 26' MIN. IS REQUIRED.

d) SIDE YARD SETBACK OF 25.4', WHERE 40' MIN. IS REQUIRED (EX. CONDITION)

6. THE BOUNDARY & TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED

"BOUNDARY AND TOPOGRAPHIC SURVEY FOR AMERICAN REALTY PARTNERS. 483 & 485 ELIZABETH

DATED 7/01/19, PREPARED BY MICHAEL F. BURNS, N.I.P.L.S. LIC. NO. GS34841 OF MASER CONSULTING.

7. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND

CONSULTING AND VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION

WITH A LETTER OF INTERPRETATION DATED: FEBRUARY 27, 2020, FILE No. 1808-19-0009.1,FWW19001.

FLOOD HAZARD AREA VERIFICATION PLAN FOR ELIZABETH REALTY PARTNERS LLC, AS PREPARED BY

10. GEOTECHNICAL INFORMATION AND SOIL TEST PIT LOCATIONS SHOWN HEREON ARE AS PRESENTED

CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY

IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO

THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT

QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR

WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING

12. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A

13. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL

CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE

14. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW

ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN

SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL

15. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL

INCLLIDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS

16 PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL BLL TO REQUEST A LITHLITY MARKOUT

AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL

MASER CONSULTING, DATED: SEPTEMBER 30, 2019 AND LAST REVISED DECEMBER 30, 2019 AND VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION, WITH A NJDEP FLOOD HAZARD

9. FLOODWAY AND FLOOD HAZARD LIMIT SHOWN HEREON TAKEN FROM A PLAN ENTITLED "NIDEP

8. THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY MASER

AVENUE, BLOCK 507,14, LOTS 61 & 62, TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW IERSEY"

PARKING REQUIREMENTS (WAREHOUSE): WAREHOUSE: 5,000 SF × 1/1,000 SF = 5 SPACES

PARKING REQUIRED = 33 PARKING PROVIDED = 36 + 0 (BANKED) = 36

CCESSORY BUILDINGS

INCLUDING BUILDINGS

OFF-STREET PARKING

MIN. SIDE YARD SETBACK

MIN. REAR YARD SETBACK

483 ELIZABETH AVENUE

CHARLENE SPANGENBURG TROTTER

I. THE SUBJECT PROPERTY IS KNOWN AS LOTS 61 & 62 IN BLOCK 507.14, AS SHOWN ON SHEET 75 OF

THE OFFICIAL TAX MAP OF THE TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NJ, DATED

THE SUBJECT PROPERTY CONTAINS 2 RESIDENTIAL LOTS. THE APPLICANT PROPOSES A MINOR

SUBDIVISION OF THE PROPERTY IN WHICH THE TWO LOTS WILL BE CONSOLIDATED AND RECONFIGURED. THE EXISTING RESIDENTIAL STRUCTURE TO THE NORTHWEST WILL REMAIN ON

STORY 76,230 S.F. WAREHOUSE BUILDING, WITH 36 PARKING SPACES IS PROPOSED ON NEW LOT 61.01.

LOT 62.01 LOT 61.0

5 AC 0.92 AC (V)

300 FT 147 FT (V)

50 FT 33.7 FT (E)

100 FT 77.5 FT (V)

40 FT 25.4 FT (E)

160.6 FT

11%

M-I LIGHT MANUFACTURING R-40 SINGLE FAMILY RESIDENTIAL RR-3 SINGLE FAMILY RESIDENTIAL

R-15 SINGLE FAMILY RESIDENTIAL S-C-V SENIOR CITIZEN VILLAGE C-B CORPORATE BUSINESS RDO RETAIL DISTRICT OVERLAY

PROJECT

LOCATION & ZONING MAP

. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL 2. THE PROPERTY IS LOCATED IN THE LIGHT MANUFACTURING (M-I) ZONE DISTRICT AND CONTAINS A PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT, ALL STRUCTURES SHALL CONFORM TO

> 2. CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AT HANDICAP ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME, DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS

3. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC

4 REFLISE AND RECYCLARLES SHALL BE STORED WITHIN OUTSIDE SCREENED TRASH ENCLOSURE AS NOTED ON THE PLANS. AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.

6. THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS. TREE BRANCHES. STUMPS. OR OTHER DELETERIOUS MATERIALS.

7. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:

A. NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", 2019; AS SUPPLEMENTED. B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS,

STANDARDS, CONDITIONS, AND REQUIREMENT C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS

. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY all information to his satisfaction prior to excavation. Where existing utilities are to be crossed by proposed constructions, test pits shall be dug by the contractor priof TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES, TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON

MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.

O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT, ADS" N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPEP), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

3. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH

ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.

5. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON ELIZABETH AVENUE, OWNED AND OPERATED BY THE TOWNSHIP OF FRANKLIN WATER DIVISION. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION regulations, american waterworks association standards. Pipe materials shall be CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING OR HIGH DENSITY POLYETHYLENE (HDPE) SDR-11 PIPE AS NOTED ON THE PLANS. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED

6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM, PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS, EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR HEALTH DEPARTMENT, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET

7. ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

8. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT EAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBIECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE. THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS), WITH WATERTIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL MODEL #3501-OR EQUIVALENT

9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE REPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES

10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ada (handicapped) accessible components for the site. These components. As CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

(NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):

A. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:48 (I/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

B. CURB RAMPS- SLOPES SHALL NOT EXCEED 1:12 (8.3%).

C. LANDINGS -SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY

D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE SHALL BE NO GREATER THAN I :20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.

E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (I/4" PER FOOT OR NOMINALLY 2.0%) FOR

F. DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE, THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG. DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).

2. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

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PRELIMINARY AND FINAI MAJOR SITE PLAN

FOR

483 - 485 ELIZABETH **AVENUE**

> BLOCK 507.14 LOTS 61 & 62

FRANKLIN TOWNSHIP SOMERSET COUNTY **NEW JERSEY**

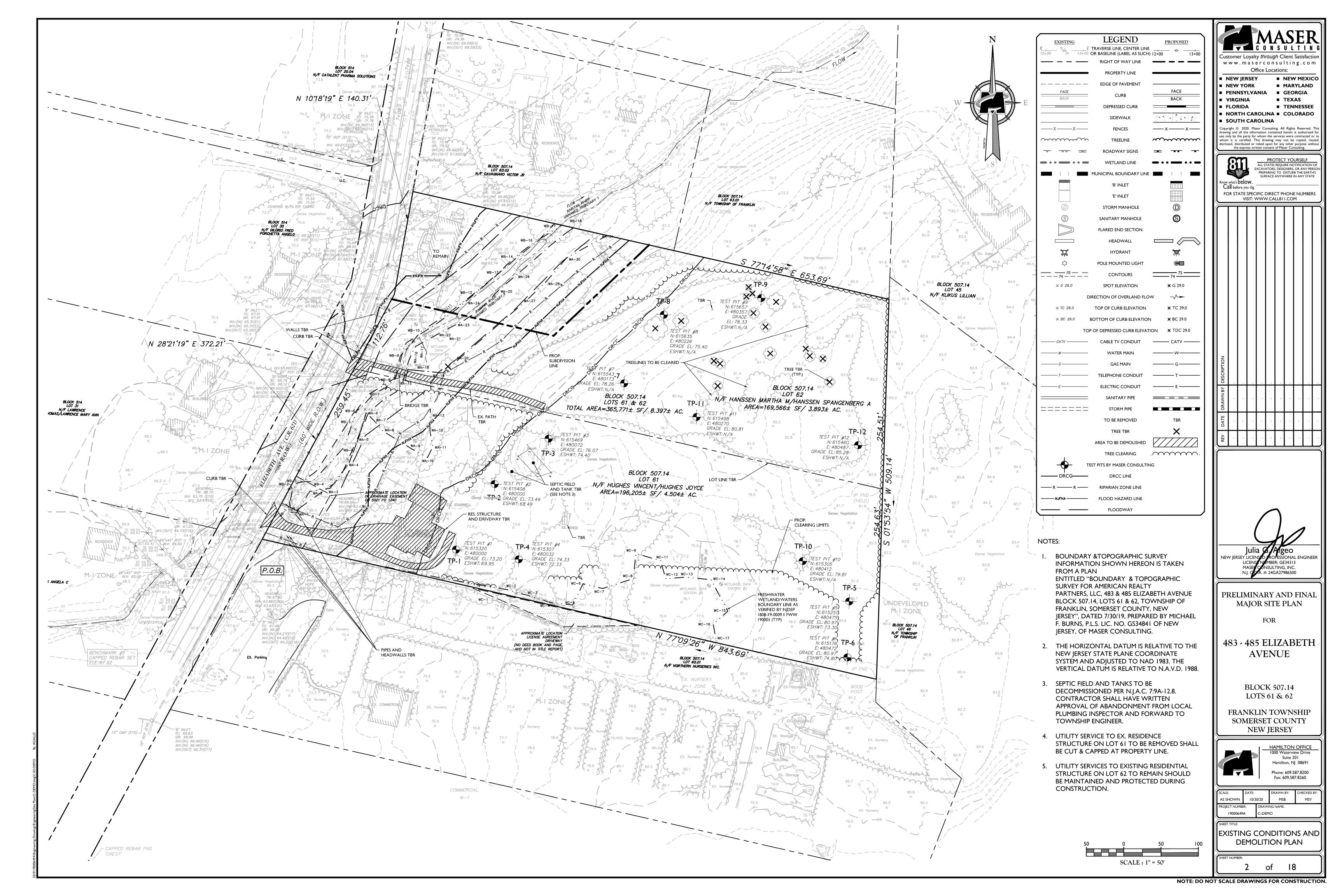


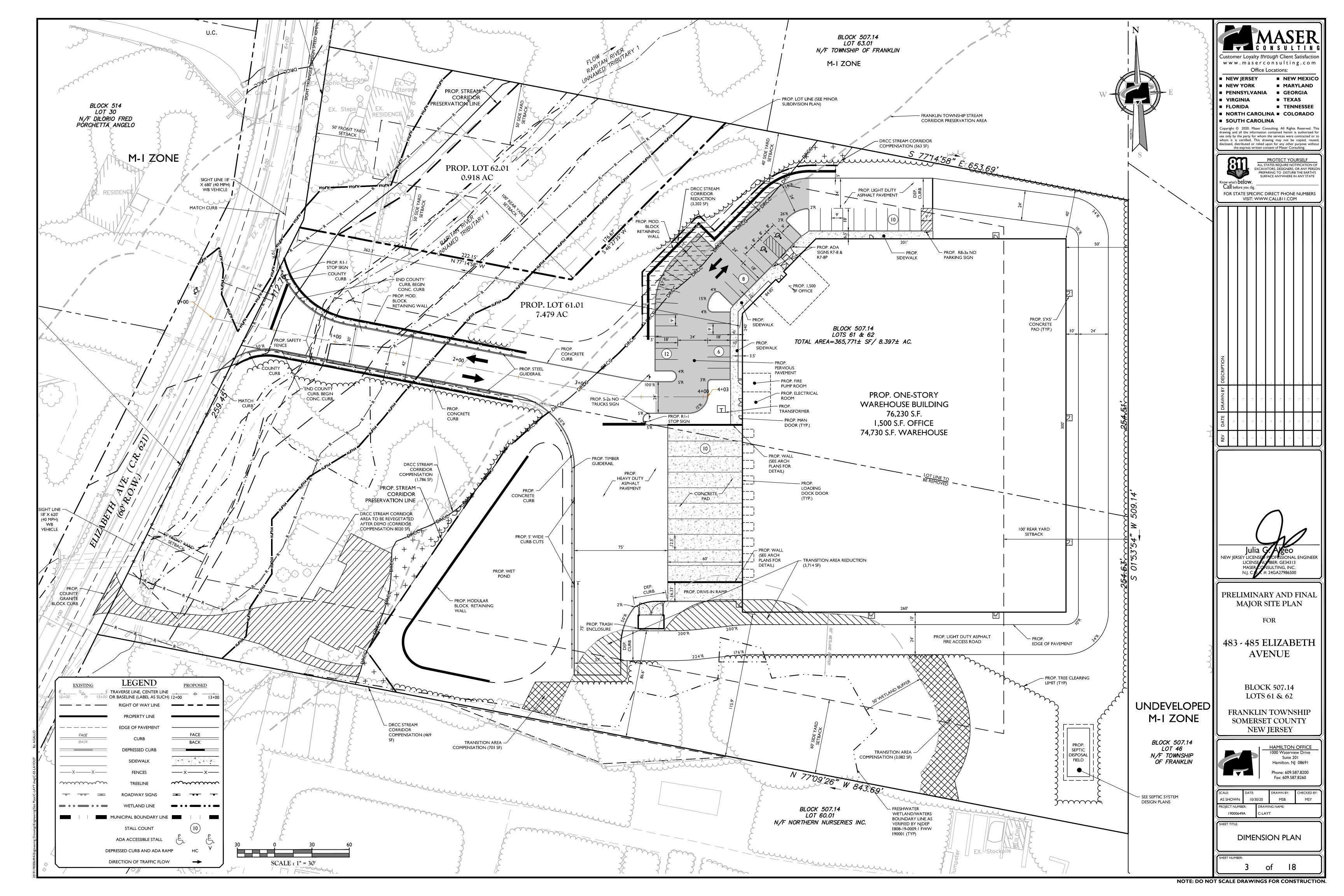
Hamilton, NJ 08691 Phone: 609.587.8200 Fax: 609.587.8260

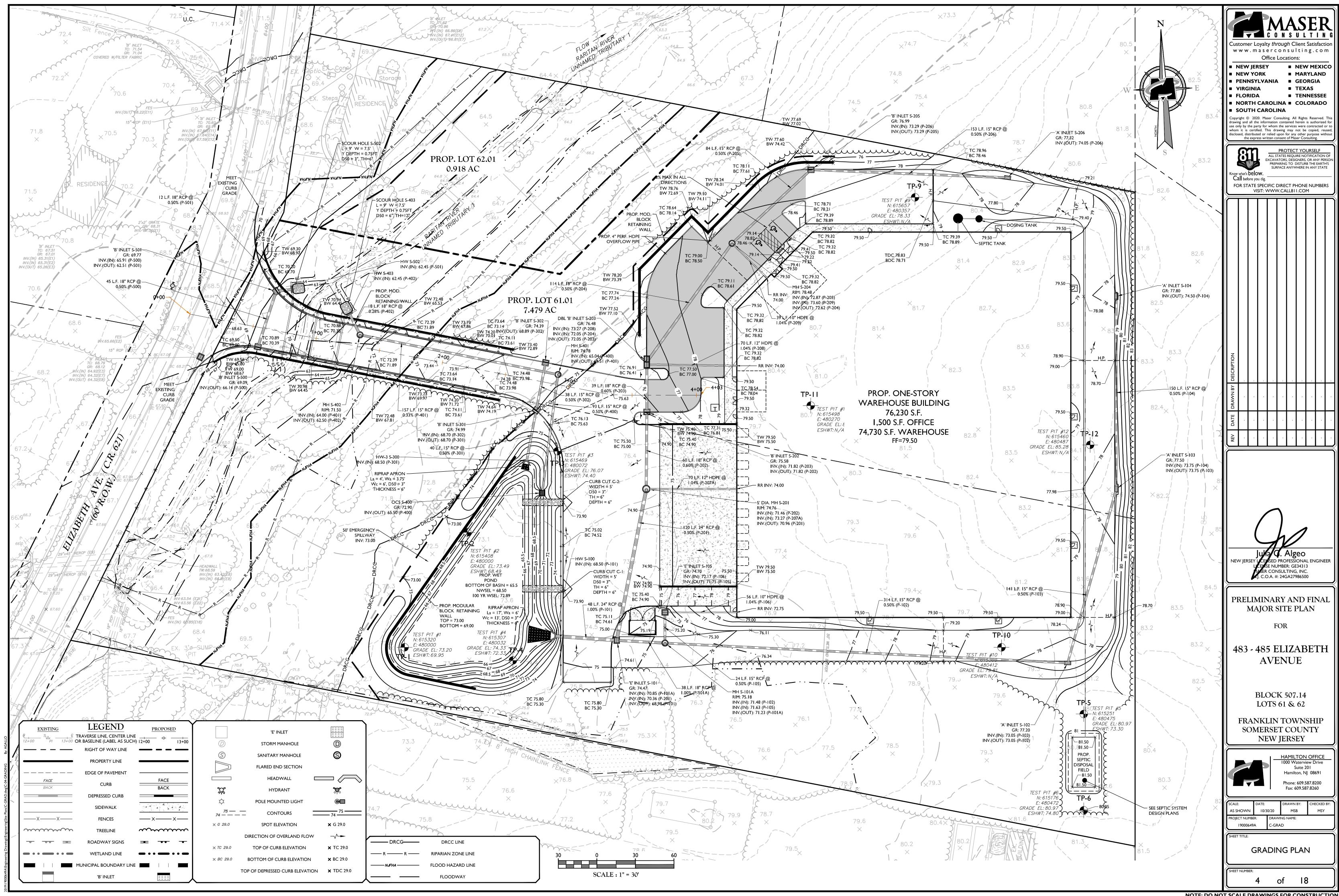
S SHOWN 10/30/20 MSB -CVER

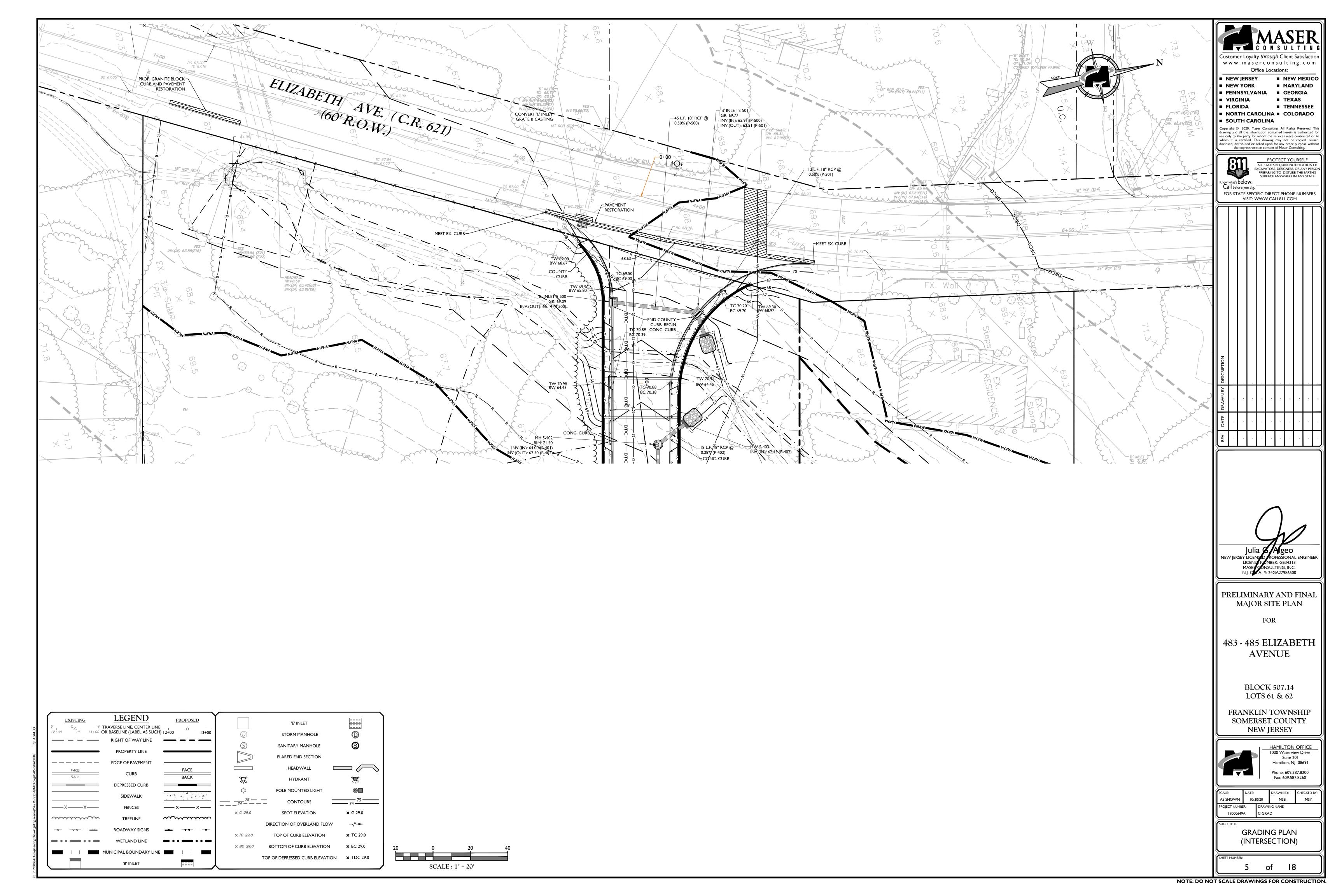
COVER SHEET

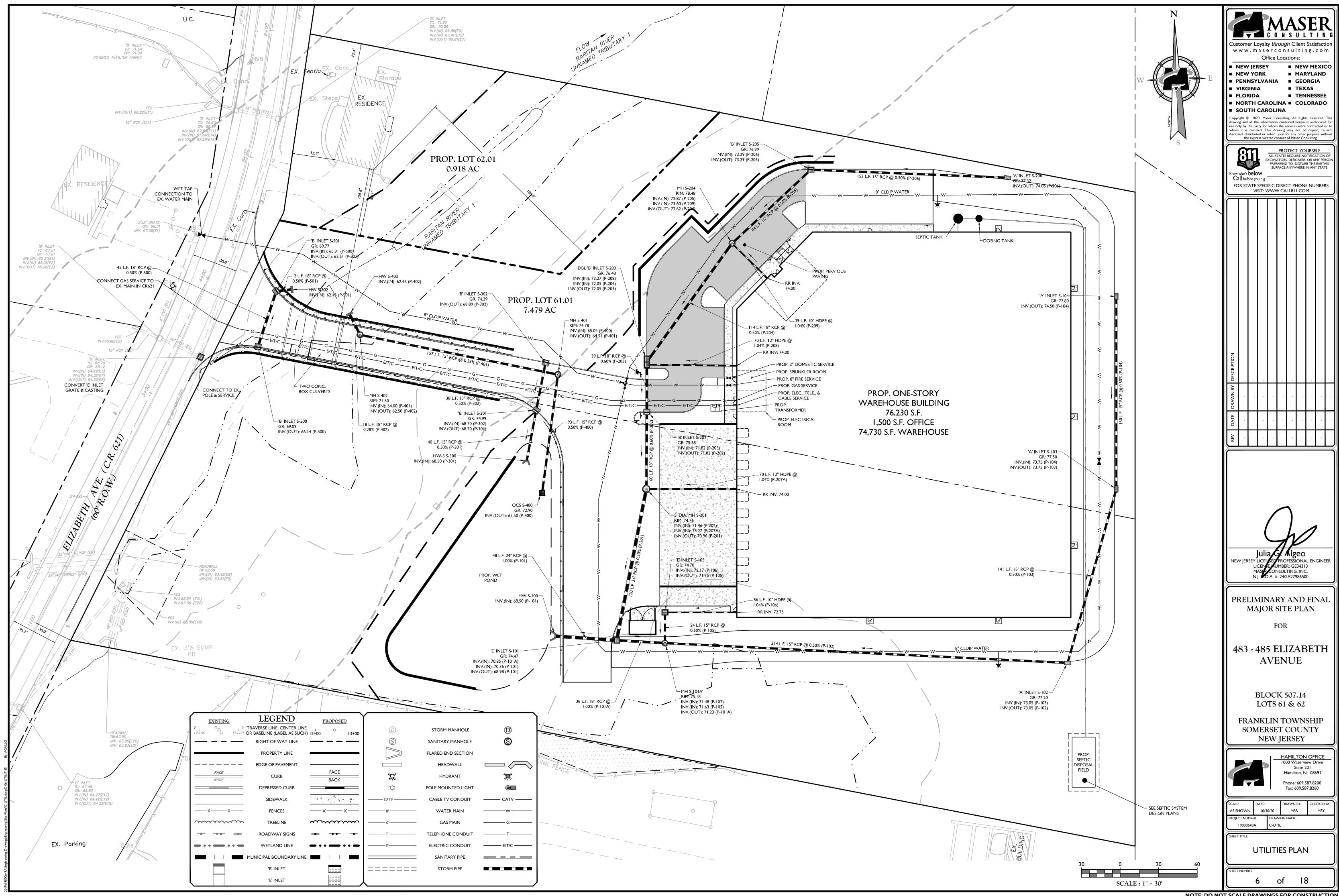
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

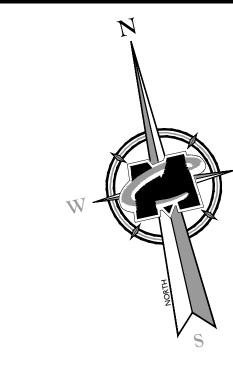


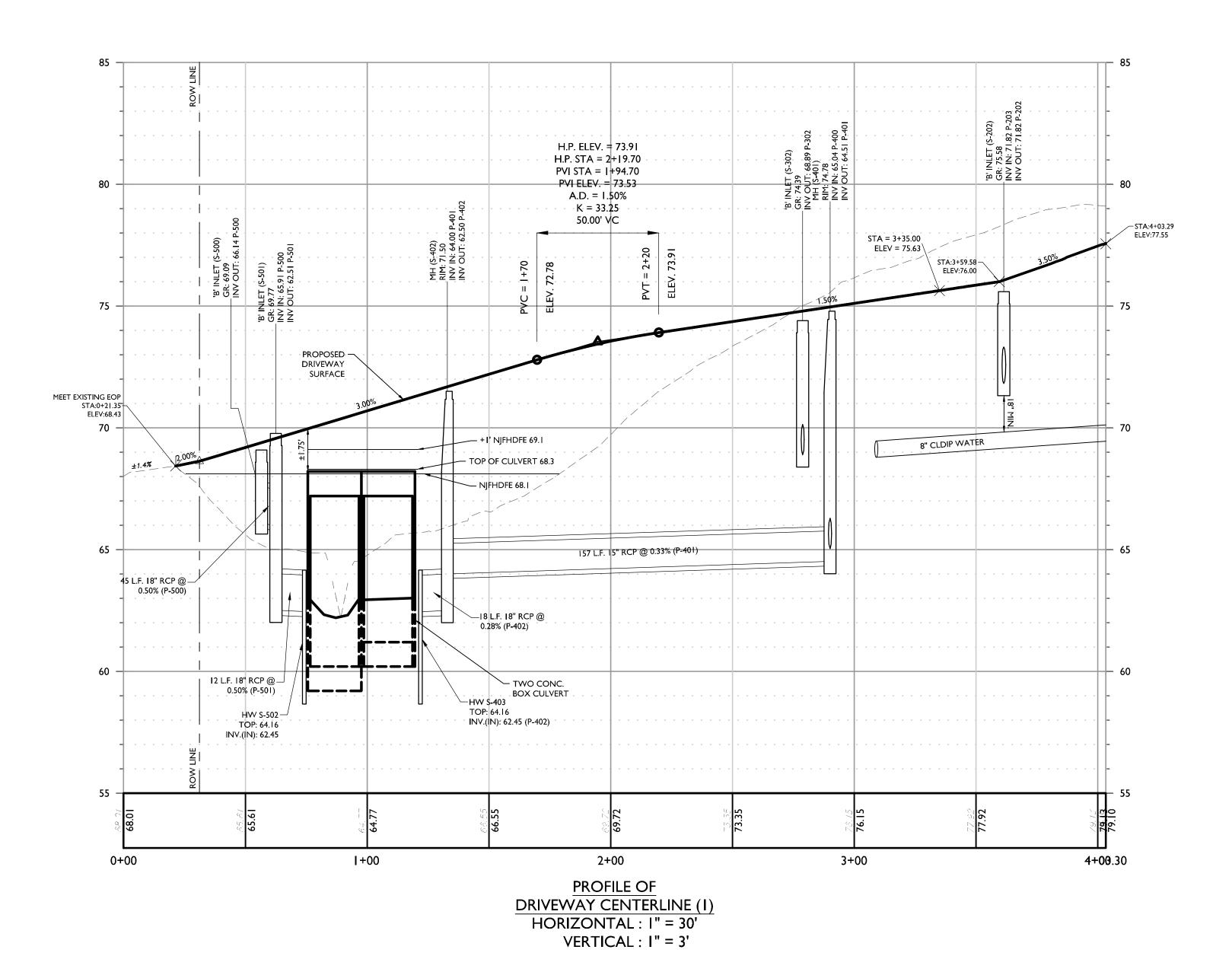


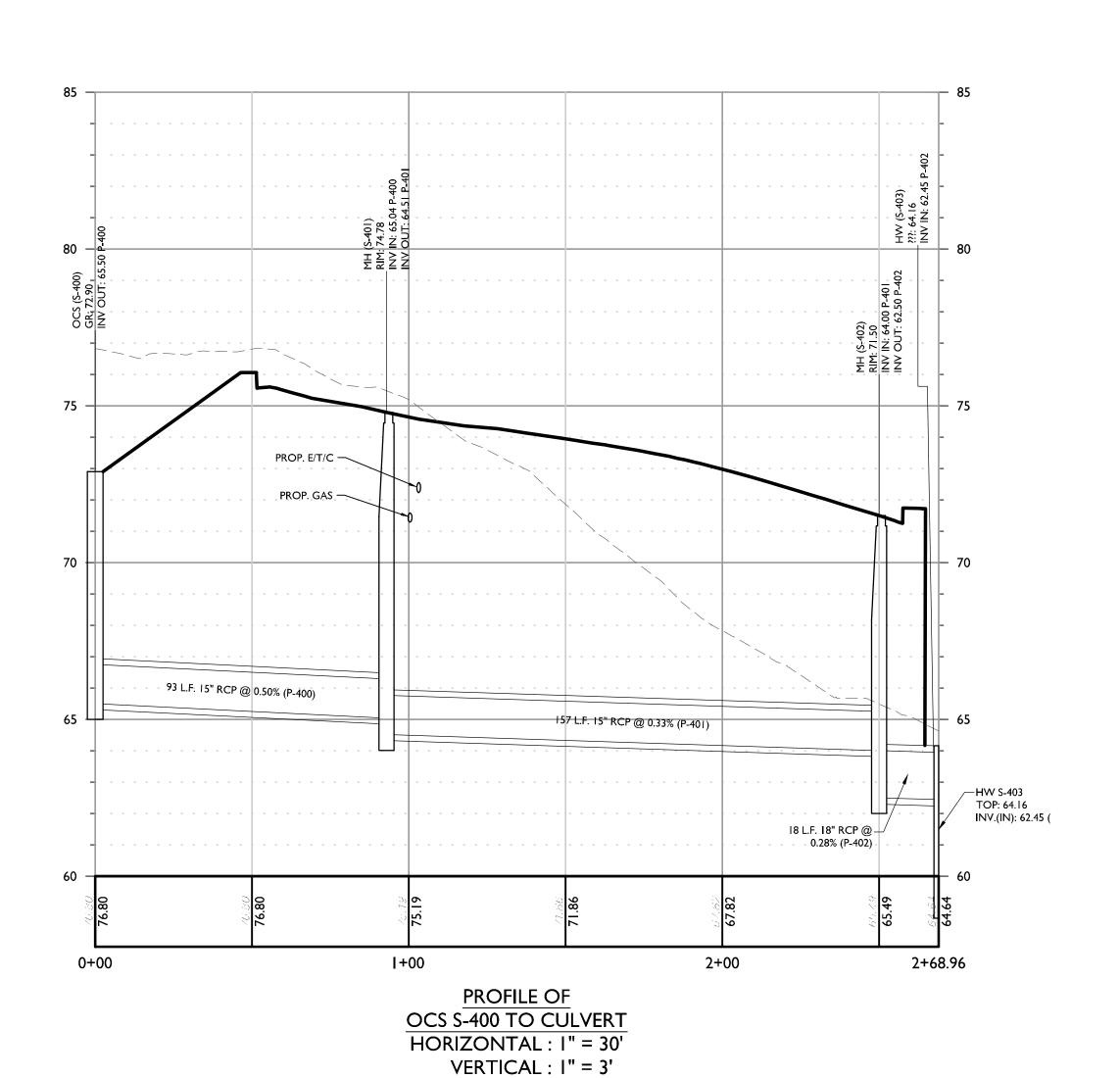


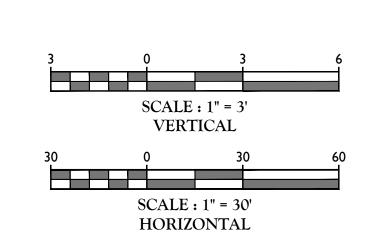












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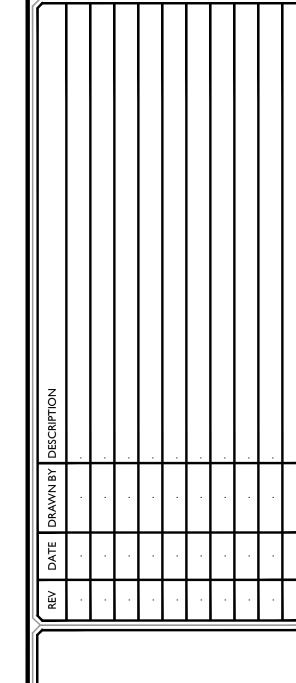
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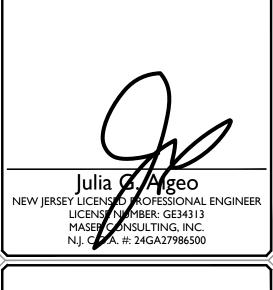
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PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR

483 - 485 ELIZABETH AVENUE

> BLOCK 507.14 LOTS 61 & 62

FRANKLIN TOWNSHIP SOMERSET COUNTY NEW JERSEY



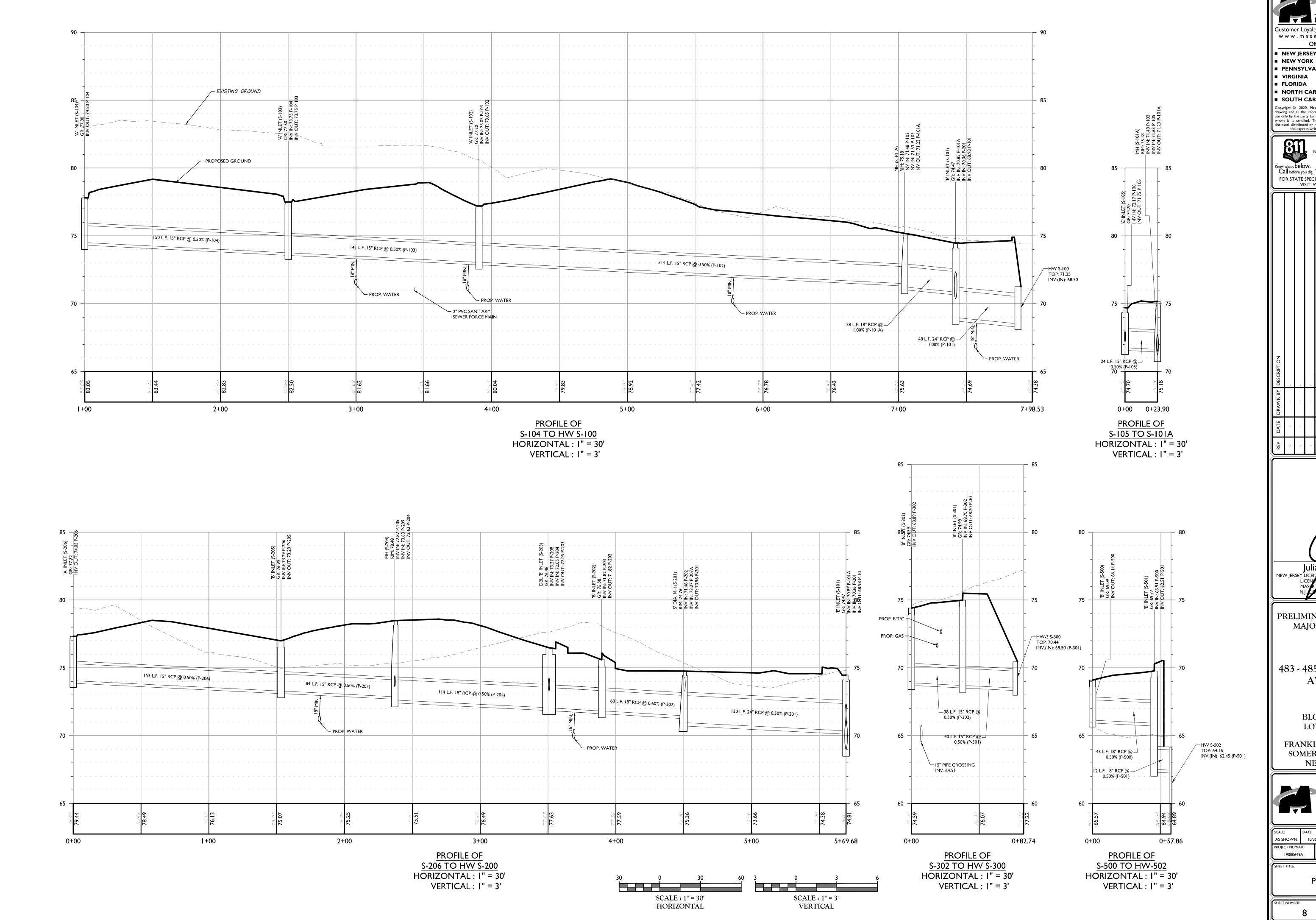
HAMILTON OFFICE
1000 Waterview Drive
Suite 201
Hamilton, NJ 08691
Phone: 609.587.8200
Fax: 609.587.8260

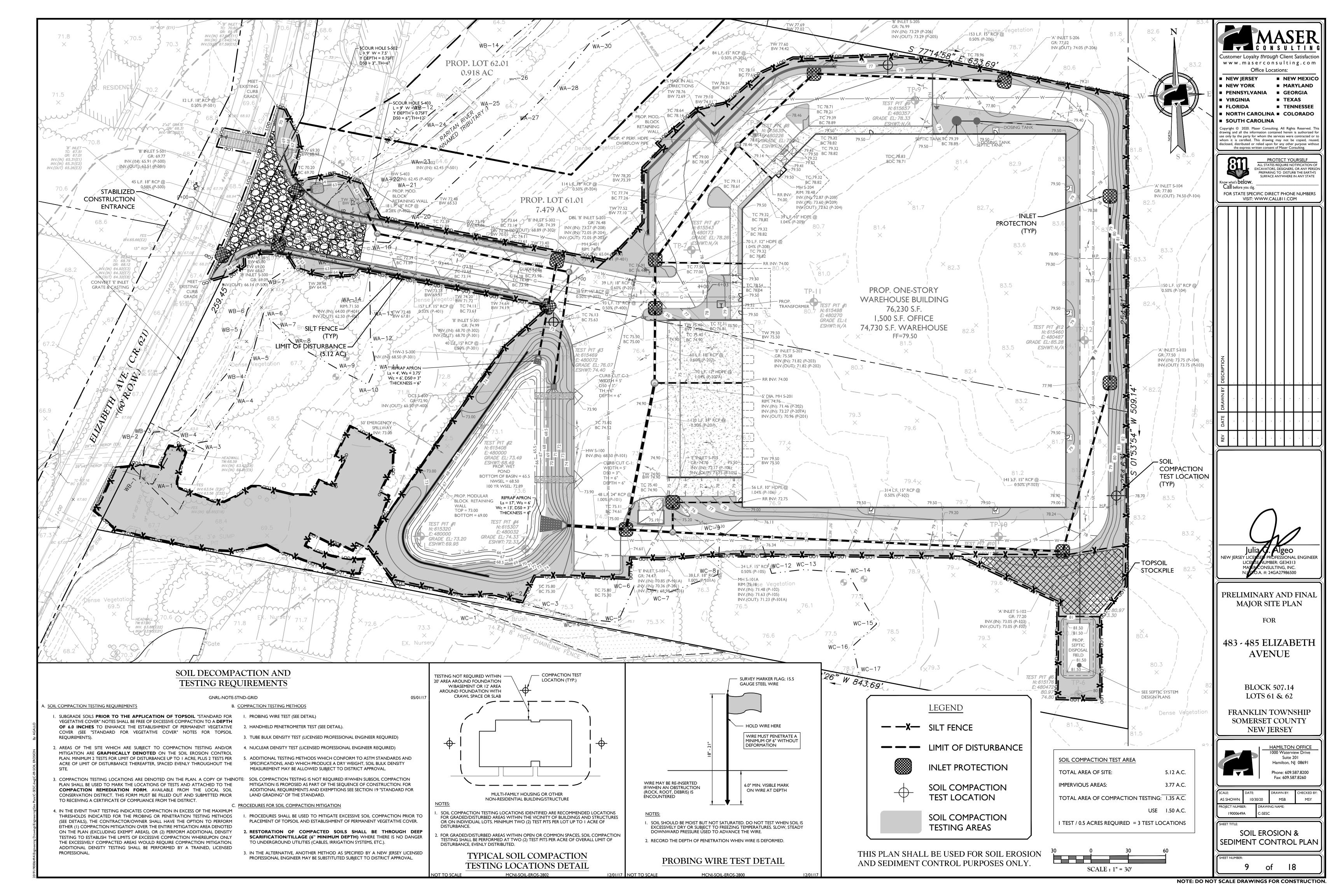
SCALE: DATE: DRAWN BY: CHECKED B
AS SHOWN 10/30/20 MSB MSY

PROJECT NUMBER: DRAWING NAME:
19000649A C-PROF

PROFILES

7 of 18





MCNI-SOIL-NOTE-1013

THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINE UNTIL PERMANENT PROTECTION IS ESTABLISHED.

ANY STOCKPILE OR DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULICHED WITH STRAW, OR FOLIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE

PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NI STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW IERSEY.

A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STARILIZE STREETS ROADS DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.

IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WIL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE

ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAT 3:1) TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6"PAD OF 1/2" OR 2" STONE AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL

AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED. ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS. NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE

. IN THAT NJSA 4:24-39 ET SEO., REOUIRES THAT NO CERTIFICATE OF OCCUPANCY B ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SIT WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY TH

. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL

ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WIL REQUIRE THE SUBMISSION OF REVISED SOIL FROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.

. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.

. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.

CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROIECT

THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUES OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.

B. HYDRO SEEDING IS A TWO- STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCE GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDROMULICH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDROMULCH, AS OPPOSED 7 STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

UNFILTERED DEWATERING IS NOT PERMITTED NECESSARY PRECAUTIONS MUST B TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SOIL TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING

STABILIZATION WITH MULCH ONLY

MCNI-SOIL-NOTE-1301

I. SITE PREPARATION

SEEN BELOW THE MULCH

A GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EOUIPMENT FOR SEEDBED PREPARATION SEEDING. MULCH APPLICATION. AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH

B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATIO MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

2. PROTECTIVE MATERIALS A. UNROTTEN SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWI OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVER THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE

B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.

C. WOOD-FIBER OR PAPER-FIBER MULCH HYDROSEEDER IN QUANTITIES/APPLICATION RATES AS RECOMMENDED BY MANUFACTURER

D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE

E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.

3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF THE SLOPES

A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.

B. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. US DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.

C. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMEN ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL. BUT ITS USE IS LIMITED 1 THE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY, SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON A SLOPING LAND, THE OPERATION SHOULI BE ON THE CONTOUR

D. LIQUID MULCH-BINDERS

I. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE

2. USE ONE OF THE FOLLOWING:

a. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS ANI NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.

b. SYNTHETIC BINDERS - HIGH POLYMERS SYNTHETIC EMULSION, MISCIBLE WIT WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. I' SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSISTS OF THE REQUIREMENTS IN 2., 3., AND 4. BELOW. THESE REQUIREMENTS BECAME OPERATIVE OR AFTER MARCH 3, 2004. ANY NEW CONSTRUCTION ACTIVITY FOR WHICH AN RFA IS SUBMITTED ON OR AFTER MARCH 3, 2004 OR WHICH RECEIVE AUTOMATIC RENEWAL O AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004 ALSO SHALL COMPLY WITH (I-877-WARN-DEP) WITH THE COPY OF THE AUTHORIZATION. THESE REQUIREMENTS.

MCNI-SOIL-NOTE-1200

MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE - ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED AREA. MANUFACTURERS' RECOMMENDED APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SLICH MATERIALS IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. (THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURERS' RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SPPP.)

WASTE HANDLING - THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT HAS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATE DISCHARGE ALITHORIZED BY THIS PERMIT. THE HANDLING AT THE CONSTRUCTION SITE OF WASTE BUILDING MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE wastes, including litter and hazardous and sanitary wastes, shall CONFORM WITH THE STATE SOLID WASTE MANAGEMENT ACT, N.I.S.A. 13:1E-1 ET SEQ. AND ITS IMPLEMENTING RULES AT N.J.A.C. 7:26, 7:26A, AND 7:26G; THE NEW JERSEY PESTICIDE CONTROL CODE AT N.I.A.C. 7:30: THE STATE LITTER STATUTE (N.I.S.A 13:1E-99.3); AND OSHA REQUIREMENTS FOR SANITATION AT 29 C.F.R. 1926 (EXCEP WHERE SUCH CONFORMANCE IS NOT RELEVANT TO THE STORMWATER DISCHARG AUTHORIZED BY THIS PERMIT). CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADIACENT TO THE SITE AND AN ADEQUATE NUMBER OF CONTAINERS (WITH LIDS OR COVERS) FOR WASTE, WASTE SHALL BE COLLECTED FROM SUCH CONTAINERS BEFORE THEY OVERFLOW, AND SPILLS

A. CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO:

AT SUCH CONTAINERS SHALL BE CLEANED UP IMMEDIATELY.

"CONSTRUCTION AND DEMOLITION WASTE," AS DEFINED IN N.J.A.C. 7:26-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION REMODELING REPAIR AND DEMOLITION OPERATIONS OF HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES. THE FOLLOWING MATERIALS MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: TREATED AND UNTREATED WOOD SCRAP: TREE PARTS, TREE STUMPS AND BRUSH: CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY: PLASTER AND WALLBOARD: ROOFING MATERIALS: CORRUGATED CARDBOARD AND MISCELLANEOUS PAPER; FERROUS AND NON-FERROUS METAL; NON-ASBESTOS BUILDING INSULATION; PLASTIC SCRAP; DIRT; CARPETS AND PADDING; GLASS (WINDOW AND DOOR); AND OTHER MISCELLANEOUS MATERIALS; BUT SHALL NO INCLUDE OTHER SOLID WASTE TYPES."

ii. ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 7:26G (THE HAZARDOUS WASTE

iii. DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS and sandblasting grits. Cleaning solvents, acids for cleaning masonry SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G., CALCIUM CHLORIDE), AND CONCRETE CURING COMPOUNDS.

iv. OTHER "LITTER." AS DEFINED AT N.I.S.A. 13:1E-215.D AS FOLLOWS: "ANY USED OR UNCONSUMED SUBSTANCE OR WASTE MATERIAL WHICH HAS BEEN DISCARDED WHETHER MADE OF ALUMINUM, GLASS, PLASTIC, RUBBER, PAPER, OR OTHER NATURAL OR SYNTHETIC MATERIAL, OR ANY COMBINATION THEREOF, INCLUDING BUT NOT LIMITED TO, ANY BOTTLE, IAR OR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE, IAR OR CAN, ANY UNLIGHTED CIGARETTE, CIGAR, MATCH O ANY FLAMING OR GLOWING MATERIAL OR ANY GARBAGE, TRASH, REFUSE, DEBF RUBBISH, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS MAGAZINES, GLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL, BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF MINING OR OTHER EXTRACTION PROCESSES, LOGGING SAWMILLING, FARMING OR MANUFACTURING."

v. SANITARY SEWAGE AND SEPTAGE.

vi. Contaminated soils encountered or discovered during earthmovin ACTIVITIES OR DURING THE CLEANUP OF A LEAK OR DISCHARGE OF A HAZARDOUS SUBSTANCE.

B. CONCRETE WASHOUT - CONCRETE WASHOUT ONSITE IS PROHIBITED OUTSIDE DESIGNATED AREAS. WASHOUT ACTIVITIES INCLUDE, BUT NOT LIMITED TO, THE WASHING OF TRUCKS, CHUTES, HOSES, MIXERS, HOPPERS, AND TOOLS

DESIGNATED WASHOUT AREAS SHALL BE LINED AND BERMED TO PREVENT DISCHARGES TO SURFACE AND GROUNDWATER.

ii. HARDENED CONCRETE FROM THE CONCRETE WASHOUT WASHOUT SHALL BE REMOVED AND PROPERLY DISPOSED OF.

iii. THE CONCRETE WASHOUT AREA SHALL BE CLEARLY DESIGNATED WITH A SIGN INDICATING THE AREAS USES. C SANITARY SEWAGE/SEPTAGE DISPOSAL - DISCHARGES OF RAW SANITARY SEWAGE OR

SEPTAGE ONSITE ARE STRICTLY PROHIBITED ADEQUATE FACILITIES WITH PROPER DISPOSAL SHALL BE PROVIDED AND MAINTAINED ONSITE OR ADJACENT TO THE SITE SPILLS: DISCHARGES OF HAZARDOUS SUBSTANCES; FEDERALLY REPORTABLE RELEASES.

A. SPILL KITS SHALL BE AVAILABLE ONSITE OR ADJACENT TO THE SITE FOR AN' MATERIALS THAT ARE LISTED IN 2. ABOVE AND USED OR APPLIED ONSITE. ALL SPILLS OF SUCH MATERIAL SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY CLEANED UP MATERIALS SHALL BE PROPERLY DISPOSED OF.

B. DISCHARGES OF HAZARDOUS SUBSTANCES (AS DEFINED IN N.J.A.C. 7:1E-1.6) IN CONSTRUCTION SITE WASTES ARE SUBJECT TO THE PROVISIONS OF THE SPIL COMPENSATION AND CONTROL ACT, N.J.S.A. 58:10-23.11 ET SEQ., AND OF DEPARTMENT RULES FOR DISCHARGES OF PETROLEUM AND OTHER HAZARDOL SUBSTANCES AT N.J.A.C. 7:1E. NO DISCHARGE OF HAZARDOUS SUBSTANCES RESULTING FROM AN ONSITE SPILL SHALL BE DEEMED TO BE "PURSUANT TO AND IN COMPLIANCE WITH ITHIS PERMIT" WITHIN THE MEANING OF THE SPIL COMPENSATION AND CONTROL ACT AT N.I.S.A. 58:10-23.11C.

C. RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 110, 117, AND 302 THAT OCCUR WITHIN A 24-HR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800 424-8802).

DUST CONTROL

MCNI-SOIL-NOTE-1400

DUST CONTROL METHODS APPLY MULCHES OR VEGETATIVE COVER AS PER NJ SOIL EROSION AND SEDIMEN CONTROL STANDARDS.

TILL AND ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOI BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLE THE SITE UNTIL THE SURFACE IS WET.

ERECT BARRIERS SUCH AS SOLID BOARD FENCES. SNOW FENCES. BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL TO CONTROL AIR

APPLY CALCIUM CHLORIDE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. NOT SUITABLE ON STEEPER SLOPES NEAR THE STREAMS OR POTENTIALL' ACCUMULATE AROUND PLANTS.

COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

USE SPRAY-ON ADHESIVE ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS KEEP TRAFFIC OFF THESE AREAS. MATERIALS AS FOLLOWS:

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE		
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200		
LATEX EMULSION	12.5:1	FINE SPRAY	235		
RESIN IN WATER	4:1	FINE SPRAY	300		
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 126-1				
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200		

SPPP REQUIRED INSPECTIONS AND REPORTS

MCNI-SOIL-NOTE-1201

COPY OF THE AUTHORIZATION SHALL BE POSTED ONSITE AT A SAF ON MARCH 3, 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY OF TH CONSTRUCTION SITE AT ALL TIMES UNTIL A NOTICE OF COMPLETION HA BEEN ISSUED. THE PERMITTEE SHALL POST THE NJDEP HOTLINE NUMBE

> A. THE PERMITTEE SHALL CONDUCT AND DOCUMENT WEEKLY (MINIMU INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO T TORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETH THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) IDENTIFIED LINDER ELI CONSTRUCTION ACTIVITY STORMWATER (GP) PART I NARRATIV REQUIREMENTS, INCLUDING THIS SOIL EROSION AND SEDIMENT CONTROL PLAN BEING PROPERLY IMPLEMENTED AND MAINTAINED, OR WHETHER ADDITIONAL MEASURES ARE NEEDED TO IMPLEMENT THE SPPP.

B. ONCE INSTALLATION OF ANY REQUIRED OR OPTIONAL EROSION CONTROL DEVIC OR MEASURE HAS BEEN IMPLEMENTED, ROUTINE INSPECTIONS, MINIMUM WEEKLY, ACH MEASURE SHALL BE PERFORMED BY THE CONTRACTOR'S INSPECTION PERSONNEL AND THE RESULTS RECORDED TO INVENTORY AND REPORT TH CONDITION OF EACH MEASURE TO ASSIST IN MAINTAINING THE EROSION ANI SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER.

. THESE REPORT FORMS SHALL BECOME AN INTEGRAL PART OF THE SPPP AND SHA BE MADE READILY ACCESSIBLE TO GOVERNMENTAL INSPECTION OFFICIALS, OPERATOR'S ENGINEER, AND THE OPERATOR FOR REVIEW UPON REQUEST DURIN ISITS TO THE PROJECT SITE. IN ADDITION, COPIES OF THE REPORTS SHALL BE PROVIDED TO ANY OF THESE PERSONS, UPON REQUEST, VIA MAIL OR FACSIMILE

D. OTHER RECORD-KEEPING REQUIREMENTS THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED

TORMWATER POLLUTION PREVENTION PLAN (SPPP)

REPORTS OF NONCOMPLIANCE

CONSTRUCTION ACTIVITIES AT THE SITE. DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WER DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURA CONTROLS

DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA

DATES WHEN AN AREAS IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY DATES OF RAINFALL AND THE AMOUNT OF RAINFALL DATES AND DESCRIPTIONS OF THE CHARACTER AND AMOUNT OF AN SPILLS O RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED

A. CONSTRUCTION ACTIVITY THAT MAY RESULT IN A STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT SHALL BE EXECUTED ONLY IN ACCORDANCE WITH A SPPP THAT CONSISTS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, AND (WHERE APPLICABLE) THE CONSTRUCTION SITE WASTE CONTROL COMPONENT SET FORTH IN ATTACHMENT B TO THE GENERAL PERMIT. A COPY OF THIS SPPP SHALL BE RETAINED BY THE PERMITTEE FOR A PERIOD OF AT LEAST FIVE (5 YEARS AFTER THE COMPLETION OF CONSTRUCTION. THIS PERIOD MAY EXTENDED BY WRITTEN REQUEST OF THE DEPARTMENT AT ANY TIME (SEE N.J.A.C

A. ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:14A-6.10 SHALL BE REPORTED TO THE DEPARTMENT ANNUALL NOTIFICATION OF COMPLETION

A. THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY O THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 2:90-I FOR COMPLETED construction activities, except single family home construction under B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF

THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERM JT NOT WITHIN THE DEFINITION OF "PROIECT AT N.I.S.A. 4:24-41G. SHALL SEND A OPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE SOIL CONSERVATION DISTRICT THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE FINA CERTIFICATE OF OCCUPANCY TO THE DEPARTMENT, WHICH WILL SERVE A NOTIFICATION OF COMPLETION.

C. THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROIECTS ARE COMPLETED. COPIES OF ALL OF THE ABOVE. INCLUDING THE SPPP (WITH THE CERTIFIED PLAN), T certification, authorization under njpdès construction activit TORMWATER GENERAL PERMIT. ALL CORRESPONDENCE AND NOTES TO AND FROM the Nidep and soil conservation district (or designated municipality) sha BE MAINTAINED ON-SITE.

L=1.4 X DEPTH TO THE OVERFLOW (MINIMUM LENGTH APPLIES)

SKIMMER PROFILE VIEW

INSTRUCTIONS ON WEB SITE FOR EACH SIZE.

GENERAL NOTES

3. EMBANKMENT MUST BE COMPACTED TO DESIGN SPECIFICATIONS

. PROPER DESIGN MUST BE COMPLETED TO MINIMIZE PIPING AROUND DISCHARGE PIPE.

. PROPER ORIFICE OPENING MUST BE SELECTED TO ENSURE POND DRAINS IN CORRECT

4. EMERGENCY SPILLWAY MUST BE CORRECTLY SIZED AND FROSION PROTECTION INSTALLED

5. INSPECT SYSTEM REGULARLY TO ENSURE IT IS FUNCTIONING IN A CORRECT MANNER.

AMOUNT OF TIME. MODIFICATIONS MAY BE REQUIRED IF FIELD CONDITIONS WARRANT CHANGE.

S. EROSION PROTECTION MUST BE INSTALLED ALONG THE EMBANKMENT AND AT THE DISCHARGE

7. EIGHT SIZES OF SKIMMERS ARE AVAILABLE, REFER TO THE FLOW SHEET, CUT SHEET, AND

FAIRCLOTH SKIMMER DISCHARGE

GNRL-DTLS-STND-GRID

TOPSOIL STOCKPILE DETAIL

HEAVY DUTY 5 MIL.

POLYETHYLENE TARP

REQUIRED FOR SOILS

TESTED AT 4.5 PH OR

SYSTEM WITH OUTLET STRUCTURE

2.5" ORIFICE TO BE -

B COMPACTED SAND OR #2 CRUSHED

SKIMMER PLAN VIEW

CONNECTED TO

FLOATING SKIMMER

SEQUENCE OF COMMERCIAL

CONSTRUCTION

MOD: 10/20/20 MCNI-SOIL-NOTE-1500 CLEARING OF ENTRANCE AND LIMIT OF DISTURBANCE FOR INSTALLATION OF SILT A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL FENCE AND CONSTRUCTION ENTRANCE PAD (I WEEK).

SITE CLEARING (3-5 WEEKS) INITIAL SITE GRADING AND CONSTRUCTION AND STABILIZATION OF STORMWATER

B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND

STANDARD FOR LAND GRADING

MEASURES, SEDIMENT BASINS, AND WATERWAYS.

EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/).

EOUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND

ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR

D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS

DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION

A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS

BEEN SPREAD AND FIRMED. ACCORDING TO SITE SPECIFIC SOIL TEST

RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION.

SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE

ı. FOR TEMPORARY SEEDING: FERTILIZER SHALL BE APPLIED AT THE RATE OF 500

EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST

INDICATES OTHERWISE. LIMING RATE SHALL BE ESTABLISHED PER SOIL TESTING.

b. <u>FOR PERMANENT SEEDING:</u> FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR II POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR

EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST

INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF

FERTILIZER IS NOT INCORPORATED. APPLY ONE-HALF THE RATE DESCRIBED

ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE

APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.

B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A

DEPTH OF 4 INCHES WITH A DISC. SPRING-TOOTH HARROW, OR OTHER SUITABLE

EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE

GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBE

HIGH ACID PRODUCING SOIL SOILS HAVING A PH OF 4 OR LESS OR CONTAINING

DIMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION THE SURFACE

SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS

PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND

. REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION

A. TEMPORARY SEEDING SPECIFICATIONS - TEMPORARY VEGETATIVE COVER SHALL

CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1.0 POUNDS

PER 1,000 SQ.FT. (100 LBS/ACRE), OR A MIXTURE FROM TABLE 7-2 OF THE STANDARDS

B PERMANENT SEEDING SPECIFICATIONS - SELECT AN APPROVED MIXTURE FROM

THOSE LISTED BELOW. AN APPROVED MIXTURE FROM TABLE 4-3 OF THE STANDARDS.

OR USE A MIXTURE RECOMMENDED BY RUTGERS COOPERATIVE EXTENSION OR

NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL

CONSERVATION DISTRICT SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12

MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A

GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED. SEED

SHALL BE APPLIED AS NOTED BELOW WITHIN THE DATES SPECIFIED IN THE

90 LBS/ACRE

GROUND

EXISTING GROUND

OT TO SCALE

SEE NOTE I

AND OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, CLODS,

UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). SEE "SOIL DECOMPACTION AND

MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS

POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR

MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH

OVER-EXCAVATE WET POND I TO ELEVATION 64.50 (THR RETENTION BASIN HAS BEEF OVERSIZED TO PERMANENTLY STORE THE SEDIMENT GENERATED BY THE SITE. . TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK SEDIMENT EXCEEDS THE BOTTOM OF THE PERMANENT RETENTION BASIN, SEDIMEN' WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPPING ETC. TOPSOIL SHALL BE AMENDED WITH

TESTING REQUIREMENTS".

STANDARDS:

I. LAWN AREAS

LUMPS OR OTHER UNSUITABLE MATERIAL.

APPROVED BY THE SOIL CONSERVATION DISTRICT

MIX #16 (POORLY DRAINED SOIL)

STRONG CREEPING RED FESCUE 130 LBS/ACRE

ROUGH BLUEGRASS

OPTIMUM SEEDING DATES:

RECEIVING

OR CHANNEL

D50 STONE

(WITH FILTE

FABRIC) (IN

15 IN | 9.00 FT | 7.50 FT | 8 II

18 IN | 13.50 | 12.00 FT | 14 IN

G-I 30 IN FT 12.50 FT 12 I

GRADE

TOPSOILING.

INSTALL STORM DRAINAGE SYSTEM, CONDUIT OUTLET PROTECTION AND ALL OTHER UTILITIES. INSTALL INLET PROTECTION AND FAIRCLOTH SKIMMER IN WET

CONSTRUCT CURBS AND PLACE ROAD SUBBASE (6 WEEKS)

MANAGEMENT BASIN (4-6 WEEKS)

SHALL BE REMOVED). (2 WEEKS)

CLEAR AND GRADE BUILDING AREA AND CONSTRUCT BUILDING, ALL DISTURBED AREAS SHALL BE STABILIZED AS DEFINED IN SOIL EROSION AND SEDIMENT CONTROL NOTES (ONGOING FROM COMMENCEMENT OF PROJECT)

ESTABLISH FINISH GRADES, CONDUCT SOIL COMPACTION TESTING AS REQUIRED, C SCARIFY/TILL 6" MINIMUM DEPTH OF SUBSOIL IN THE LANDSCAPED AND LAWN AREA. (2 WEEKS)

ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED 5" OF TOPSOIL, FIRM IN PLACE, PRIOR TO SEEDING, SODDING OR PLANTING. PLACE PERMANENT VEGETATION COVER. (I WEEK CHECK ROTTOM FLEVATION OF RETENTION BASIN TO CONFIRM THAT THE MINIMUM

DESIGN ELEVATION OF 65.50 FOR THE WET POND. AT THIS TIME THE SEDIMENT RETENTION BASIN WILL BE CONVERTED TO PERMANENT RETENTION BASIN. PAVE ROADS AND COMPLETE FINAL LANDSCAPING (4-6 WEEKS)

REMOVE TEMPORARY ACCESS PROTECTION, SILT FENCE, FAIRCLOTH SKIMMERS AND INLET PROTECTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.

CONCRETE WASHOUTS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE: THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ONSITE

WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 50 YARDS AWAY FROM STORM SEWER DRAIN INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES. APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUT.

THE NUMBER OF CONCRETE WASHOUTS DEPENDS ON THE EXPECTED DEMAND FOR STORAGE CAPACITY, LARGE SITES WITH EXTENSIVE CONCRETE WORK SHALL BE PLACED AT MULTIPLE LOCATIONS FOR USE BY CONCRETE TRUCK DRIVERS. CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ONSITE.

CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TEARS IN PLASTIC LINER. REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO PRIOR TO ANY RAINFALL, ALL CONCRETE WASHOUTS ARE TO BE CLEANED OUT OR

ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED. PRE-FABRICATED OR ONSITE FABRICATED CONCRETE WASHOUTS MAY BE USED.

WITH 10 MIL PLASTIC LINING.

OPTIONS FOR ONSITE CONCRETE WASHOUTS: A. DIG A PIT AND LINE WITH 10 MIL PLASTIC SHEETING. B. CREATE AN ABOVE-GROUND STRUCTURE FROM STRAW BALES OR SANDBAGS

CONCRETE WASHOUT NOTES

CONCRETE

SECTION

I. SEE PLAN FOR APRON DIMENSIONS.

DESCRIPTION

MOD: 10/15/20

FLOW

RIP-RAP (SEE CHART)

NOT TO SCALE

FOR SIZE AND

XX/XX/XX

MOD: 10/15/20

ALL STOCKPILES SHALL

NOT TO BE LOCATED

WITHIN 50 FEET OF

ROADWAY OR

FLOODPLAIN, SLOPE,

DRAINAGE FACILITY.

2. SIDE SLOPE SHALL BE 2:1 OR FLATTER. THE BOTTOM GRADE SHALL BE LEVEL (0% SLOPE).

THERE SHALL BE NO FALL AT THE END OF APRON TO THE RECEIVING SURFACE.

RIP-RAP APRON SCHEDULE

HW S-300 1.25 3.75 4.00 5.40 3 6

GNRI -DTI S-STND-GRID

PREFORMED SCOUR HOLE DETAIL

CONDUIT OUTLET PROTECTION DETAIL

GRADE

2.00 6.00 10.00

_d=Do or I/2 Do

3Wo (FT) LENGTH (FT.) WIDTH (FT.)

HEADWALL

OR FLARED END

RIP-RAP

STANDARD FOR VEGETATIVE COVER

MCNI-SOIL-NOTE-1100 8/15 - 10/15 (ZONE 6b)

ACCEPTABLE SEEDING DATES: 3/I - 4/30 ZONE 6b)

SUMMER SEEDING DATES * 5/I - 8/I4 (ZONE 6b, 7a, 7b)

OPTIMUM SEEDING DATES:

3/I - 4/30 (Zone 6b)

NOTE: SUMMER SEEDING SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED. MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX WEEKS OF GROWING SEASON REMAIN AFTER SEEDING TO ENDURE ESTABLISHMENT BEFORE FREEZING CONDITIONS.

2 DETENTION BASINS DEERTONGUE

20 LBS/ACRE 2 LBS/ACRE WILD RYE (ELYMUS) 15 LBS/ACRE SWITCHGRASS 25 LBS/ACRE

CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BI INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.

GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED. F HYDROSEEDING IS A BROADCAST SEEDING METHOD LISHALLY INVOLVING A TRUCK

D. AFTER SEEDING. FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE

OR TRAILER-MOLINTED TANK WITH AN AGITATION SYSTEM AND HYDRALLIC PLIMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING (ALSO SEE SECTION 4 - MULICHING RELOW) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

MULCHING IS REQUIRED ON ALL SEEDING, MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL A PH OF 5 OR MORE REFORE INITIATING SEEDRED REPARATION, SEE STANDARD FOR EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT

> A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BI APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SOUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID. MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE

FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS. . PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHE OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS STAKES MAY BE DRIVEN

BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY

PUBLIC RIGHT

OF WAY

PUBLIC RIGHT

OF WAY

SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS. 2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.

3. CRIMPER (MULCH ANCHORING COULTER TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS

LENGTH OF STONE REQUIRED

LENGTH OF STONE REQUIRED

PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW

a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH TH MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.

b. USE ONE OF THE FOLLOWING:

I) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTOR' CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TUR GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.

2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH. DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOE NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1.500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL

C PELLETIZED MUILCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIRER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCH MAT, PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANI IFACTI IRER'S RECOMMENDATIONS MUILCH MAY RE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/L000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED- SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MUI CH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE

. IRRIGATION (WHERE FEASIBI F) IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF DRY OR HOT WEATHER OR ON DROUGHTY SITES.

NO FOLLOW-UP TOPDRESSING IS MANDATORY UNLESS WHERE GROSS NITROGEN DIFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURE FAILURE MAY DEVELOP IN THAT INSTANCE, TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 300 LB PER ACRE OR 7 LB PER 1,000 SF EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED

7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION: THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. TH

STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SOUARE PATTERN. TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-2 AR REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUA ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE LISED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONC NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE TH PERMANENCY OF THE TURE SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.

THE WIDTH OF CONSTRUCTION ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF POINTS OF INGRESS OR EGRESS, OR AS SHOWN ON THE PLAN.

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS.

THE ENTRANCE SHALL BE PERIODICALLY TOP DRESSED WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS ON-SITE CONDITIONS REQUIRE. SPILLED, DROPPED, WASHED, OR TRACKED SEDIMENT ONTO ROADWAYS OR OTHER IMPERVIOUS SURFACES SHALL BE REMOVED IMMEDIATELY.

WHERE ACCUMULATION OF DUST AND SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER SHALL BE USED TO CLEAN PAVED AREAS.

ALL OTHER ACCESS POINTS TO THE SITE WHICH DO NOT CONTAIN A CONSTRUCTION ACCESS PAD SHALL BE BLOCKED OFF.

8. STONE SIZE PER ASTM C-33, SIZE #2 $(2\frac{1}{2}$ " TO $1\frac{1}{2}$ ") OR #3 (2" TO 1") STONE.

INDIVIDUAL INTERIOR LOT INGRESS/EGRESS CONSTRUCTION ACCESS SHALL HAVE # 3 (I" TO 2") STONE, MINIMUM 10' (L) X 10' (W) AND 6" THICK. PERCENT SLOPE OF LENGTH OF STONE REQUIRED

COARSE GRAINED SOILS FINE GRAINED SOILS 0% TO 2% 50 FT 100 FT 2% TO 5% 200 FT ENTIRE SURFACE STABILIZED WITH HMA BASE COURSE > 5% MIX I-2

STABILIZED CONSTRUCTION **ACCESS DETAIL**

MCNI-SOIL-EROS-1000

2"x2"x4'-6" OAK OR FILTER FABRIC SECURED TO POST OTHER HARDWOOD WITH METAL FASTENERS AND DRAWSTRING RUNNING THROUGH FABRIC ALONG POSTS (TYP.) REINFORCEMENT BETWEEN FASTENER TOP OF FENCE AND FABRIC (3'-0" WIDE) 10' (SEE NOTE 5) FILTER FABRIC DIG 6" WIDE & DEEP, MIRAFI 100X OF BURY BOTTOM I' OF **EOUIVALENT** FABRIC, TAMP IN PLACE

 GEOTEXTILE TO BE FASTENED SECURELY TO FENCE POST BY USING WIRE TIES OR HOG RINGS. USE 4 TO 6 FASTENERS PER POST. 2. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.

ALL SILT FENCE TO BE INSPECTED AND REMEDIAL MAINTENANCE PERFORMED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH RAINFALL. REMOVE THE SILT ACCUMULATION WHEN IT REACHES I/3 OF THE FENCE FABRIC HEIGHT. FOR EVERY 100 FEET OF SILT FENCE, OR 1/4 ACRE OF DRAINAGE AREA, PROVIDE AN OVERFLOW POINT TO REDUCE PONDING IN

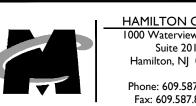
5. IF SPACE PERMITTED, LOCATE SILT FENCE 10' AWAY FROM TOE OF SLOPE IF THE SLOPE IS STEEPER THAN 1:1.

NEW JERSEY LICENS ROFESSIONAL ENGINEER MJMBER: GE34313 ONSULTING, INC. .A. #: 24GA27986500

> PRELIMINARY AND FINAI MAJOR SITE PLAN

483 - 485 ELIZABETH

FRANKLIN TOWNSHIP SOMERSET COUNTY



10/30/20 MSB

CONTROL DETAILS

SILT FENCE DETAIL

(SPACING 8' ON CENTER)

FENCE POST -

MOD: 10/15/2

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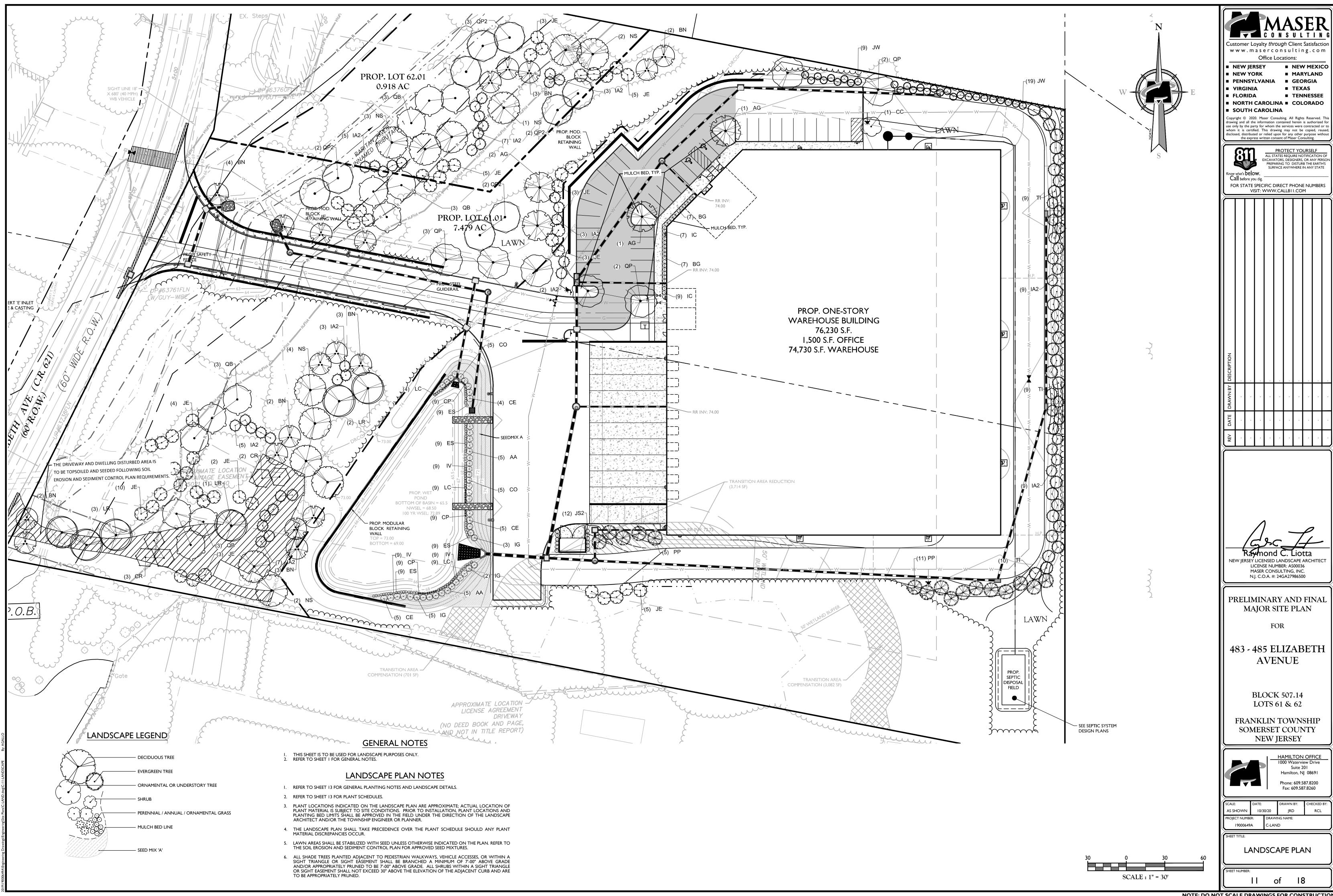


S SHOWN

SOIL EROSION AND SEDIMENT

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

AVENUE



GENERAL PLANTING NOTES

A. GENERAL

- I. THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
- 3. OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.

B. PLANT MATERIAL

I. PLANT MATERIAL:

- A. PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.

 B. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
- C. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED
- D. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
- E. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
- THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.

 2. PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
- PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
 SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY,

LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL

UNAVAILABILITY MUST BY DOCUMENTED BY THE CONTRACTOR.

5. GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (I) YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OF ONE GROWING SEASON. TREE STAKES, AND PLASTIC CHAINS SHALL BE REMOVED AT

C. PLANTING PROCEDURES

PLANT SCHEDULE

CR

PERENNIALS

THE END OF THE GUARANTEE PERIOD.

I. PLANTING BEDS

- A. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
- B. PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR; UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
- C. SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.

 2. PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
- 3. PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.

BOTANICAL NAME
ACER RUBRUM `OCTOBER GLORY` TM

JUNIPERUS SCOPULORUM 'SKYROCKET'

JUNIPERUS SCOPULORUM 'WICHITA BLUE

CERCIS CANADENSIS 'FOREST PANSY' TM

ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'

CEPHALANTHUS OCCIDENTALIS

CORNUS SERICEA `ELEGANTISSIMA`

BETULA NIGRA

NYSSA SYLVATICA

QUERCUS BICOLOR

QUERCUS PHELLOS

ILEX OPACA

PICEA PUNGENS

QUERCUS PALUSTRIS

JUNIPERUS VIRGINIANA

THUJA X `GREEN GIANT

CORNUS FLORIDA RUBRA

BUXUS X `GREEN GEM`

ILEX CRENATA 'HELERII'

EUPATORIUM PURPUREUM

ILEX GLABRA

IRIS VERSICOLOR

LOBELIA CARDINALIS

4. PLANTING MET

- A. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
- (I) STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER
- (2) THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 $\frac{1}{2}$ TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT
- (3) TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE ($\frac{7}{16}$ " WIDE RECOMMENDED FOR TREES UP TO 2 $\frac{1}{7}$ INCHES IN CALIPER).
- B. SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
- C. AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS
- ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.

 E. CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER \$\frac{1}{3}\$ OF THE ROOT BALL. ALL WIRE BASKETS ARE

D. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL

D. MAINTENANCE

I. PRUNING

- A. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE
- WITH CLEAN, SHARP TOOLS.

 B. SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
- C. THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.

TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

2. LAWN AREAS:

COMMON NAME OCTOBER GLORY MAPLE

RIVER BIRCH

SOUR GUM

PIN OAK

WILLOW OAK

COMMON NAME

AMERICAN HOLLY

SKYROCKET JUNIPER

EASTERN RED CEDAR

COLORADO SPRUCE

COMMON NAME

GREEN GIANT ARBORVITAE

PINK FLOWERING DOGWOOD

VARIEGATED REDTWIG DOGWOOD

BRILLIANT RED CHOKEBERRY/RED CHOKEBERRY

FOREST PANSY REDBUD

GREEN GEM BOXWOOD

HELER JAPANESE HOLLY

SAVANNAH JOE-PYE WEED

INKBERRY HOLLY

MARSH MARIGOLD

CARDINAL FLOWER

COMMON NAME

BLUE FLAG

BUTTONBUSH

WICHITA BLUE JUNIPER

SWAMP WHITE OAK

LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' TM ROUND-LOBED SWEET GUM

- A. THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
- B. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.

 C. SOD, IF SPECIFIED, SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
- 3. EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
- 4. SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.)
 SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS
 TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH
 ACCEPTED PLANTING PRACTICES.

REMARKS

REMARKS

REMARKS

MULTI-LEADER, FALL DIGGING HAZARD

CONT SIZE 2 1/2-3"

B & B 6-8` HT.

B & B 2 1/2" CAL

5 GAL 24-30"

5 GAL 24-30"

3 GAL 18-24"

5 GAL 24-30"

3 GAL

1 GAL

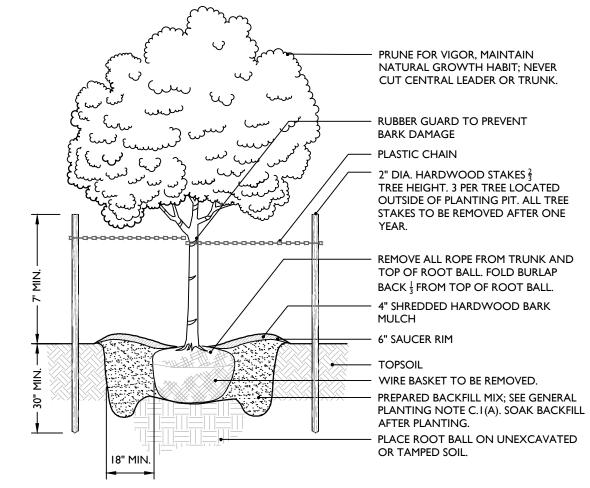
1 GAL

1 GAL

2 1/2" CAL.

CONT B & B

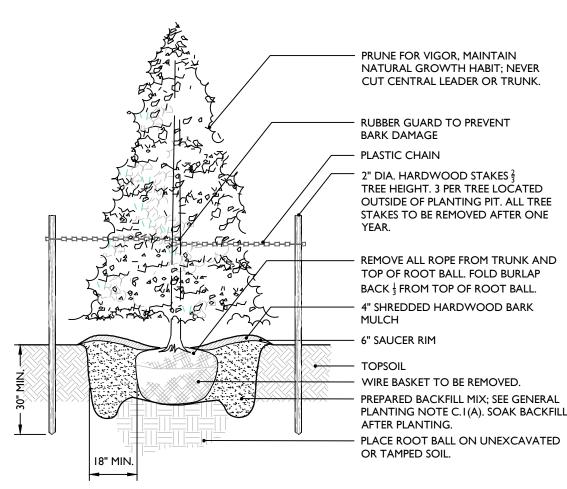
B & B



NOTES:

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY

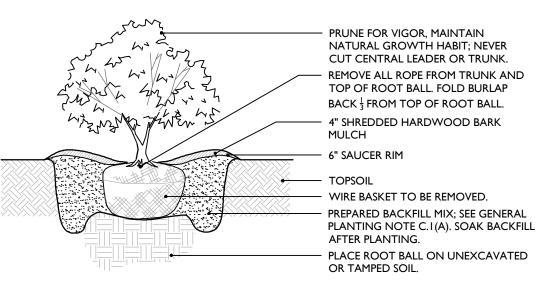
DECIDUOUS TREE PLANTING DETAIL



NOTES:

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY

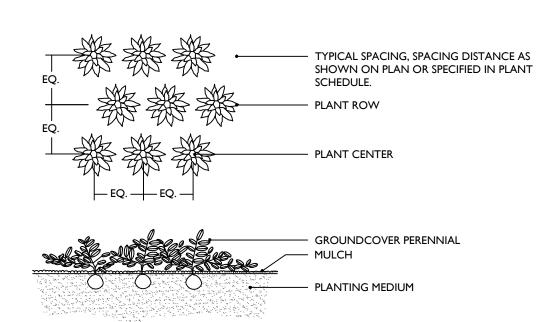
EVERGREEN TREE PLANTING DETAIL



NOTES:

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY

SHRUB PLANTING DETAIL



NOTES:

I. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

GROUNDCOVER/PERENNIAL PLANTING DETAIL

RETENTION SIDE SLOPE BASIN SEED MIX 'A' NOTES

SEED MIX A: SEASONALLY FLOODED WILDLIFE FOOD MIX
BY ERNST SEEDS OR APPROVED EQUAL
WET BASIN SLOPES
MIX #. FRANKY 122

0.1% PYCNANTHEMUM TENUIFOLIUM

MIX #: ERNMX-128
SEEDING RATE: 20 LBS PER ACRE, OR 1/2 LBS PER 1,000 SF
COMPOSITION:

21.5% F 20.0% E 16.6% A 15.0% E 10.0% C 8.0% PA 4.0% C

21.5% PANICUM CLANDESTINUM, 'TIOGA'
20.0% ELYMUS VIRGINICUS
16.6% ANDROPOGON GERARDII, 'NIAGARA'
15.0% ECHINOCHLOA CRUSGALLI VAR. FRUMENTACEA
10.0% CAREX VULPINOIDEA
8.0% PANICUM VIRGATUM, 'SHELTER'
4.0% CHAMAECRISTA FASCICULATA
1.5% VERBENA HASTATA

I.0% JUNCUS EFFUSUS
I.0% HELIOPSIS HELIANTHOIDES
0.8% AGROSTIS PERENNANS
0.1% ASCLEPIAS INCARNATA
0.1% ASTER NOVAE-ANGLIAE
0.1% EUPATORIUM FISTULOSUM
0.1% EUPATORIUM PERFOLIATUM
0.1% MONARDA FISTULOSA

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N.J. C.O.A. #: 24GA27986500

PRELIMINARY AND FINAL

NEW JERSEÝ LICENSED LANDSCAPE ARCHITECT

LICENSE NUMBER: AS00036

MASER CONSULTING, INC

MAJOR SITE PLAN

FOR

483 - 485 ELIZABETH AVENUE

> BLOCK 507.14 LOTS 61 & 62

FRANKLIN TOWNSHIP SOMERSET COUNTY NEW JERSEY



HAMILTON OFFICE
1000 Waterview Drive
Suite 201
Hamilton, NJ 08691
Phone: 609.587.8200
Fax: 609.587.8260

CALE: DATE: DRAWN BY: CHECKE
AS SHOWN 10/30/20 JRD RC

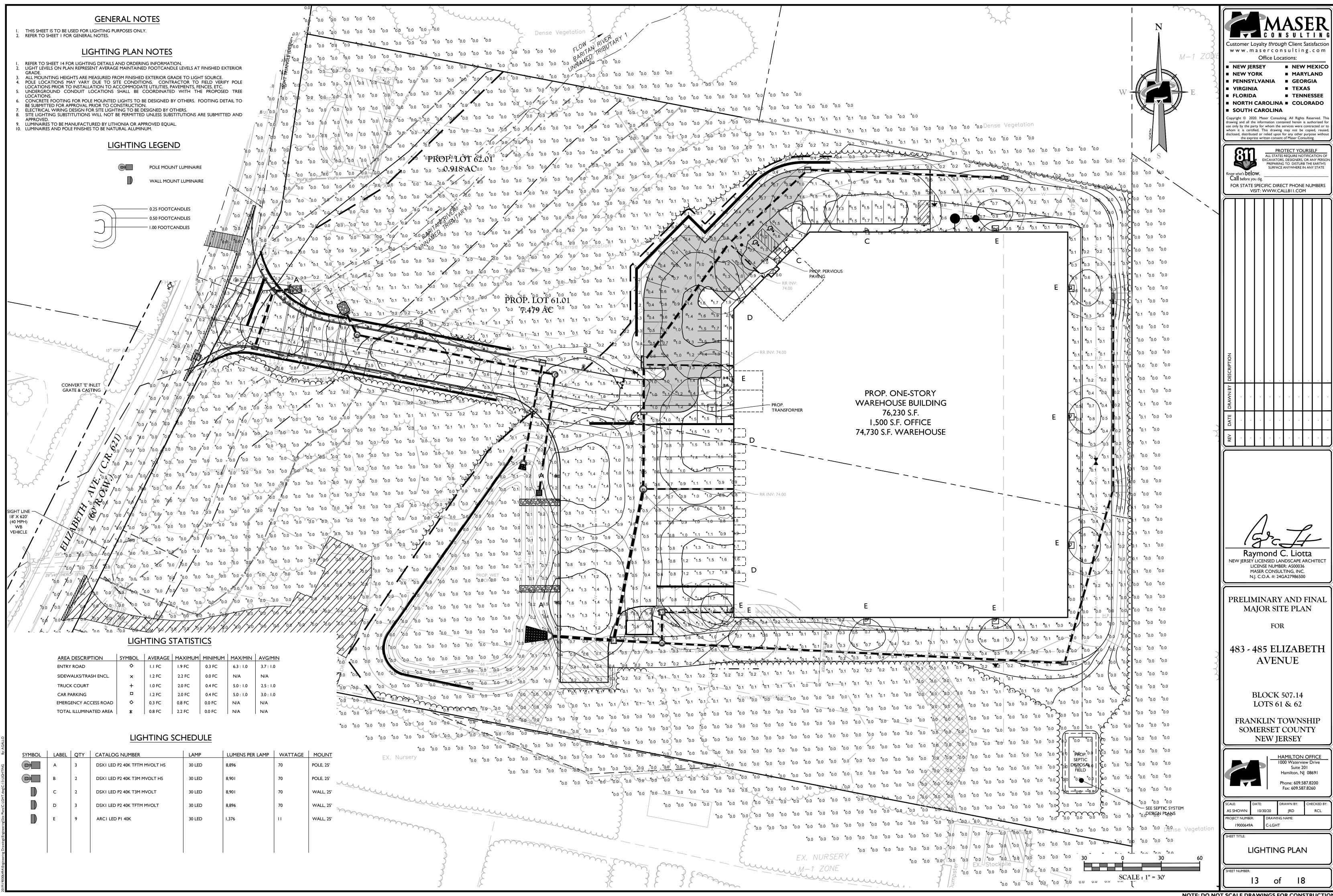
ROJECT NUMBER: DRAWING NAME:
19000649A C-LAND

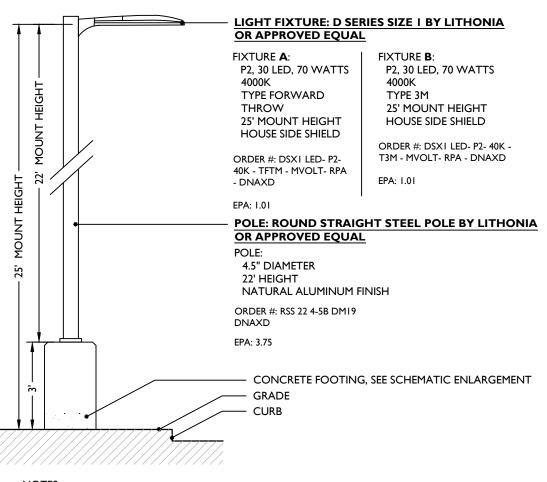
LANDSCAPE DETAILS

of

EET NUMBER:

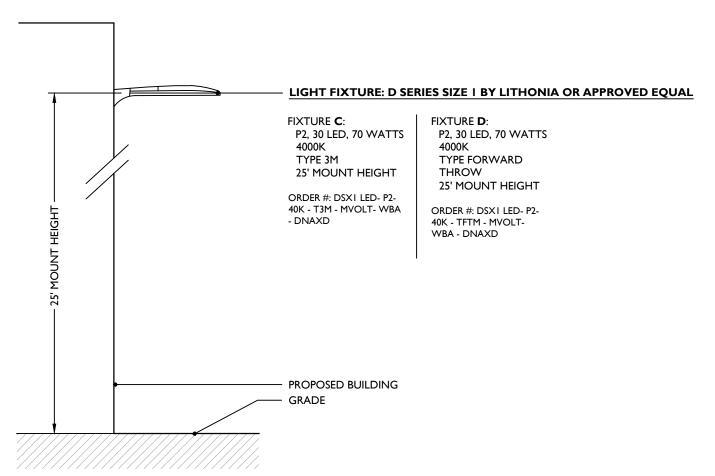
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION





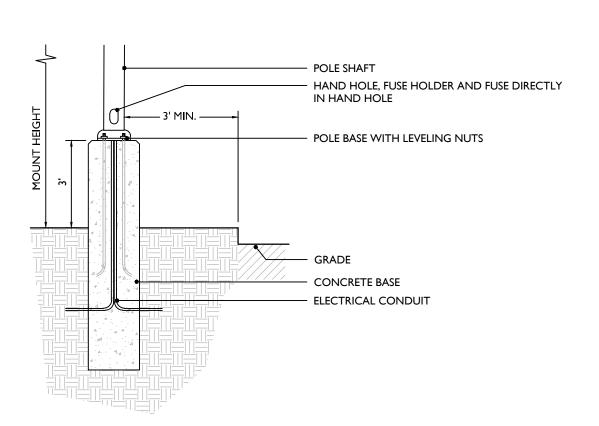
- LIGHT TO BE MANUFACTURED BY LITHONIA OR APPROVED EQUAL LIGHT FINISH TO BE NATURAL ALUMINUM COLOR.
- MOUNTING HEIGHT TO BE MEASURE FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE. MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS.

POLE MOUNTED LUMINAIRE DETAIL

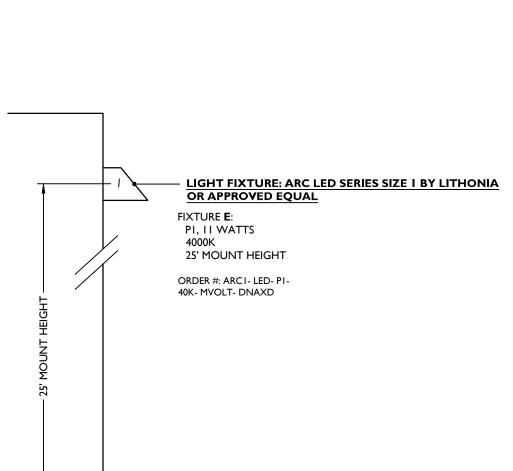


- LIGHT TO BE MANUFACTURED BY LITHONIA OR APPROVED EQUAL LIGHT FINISH TO BE NATURAL ALUMINUM COLOR.
- MOUNTING HEIGHT TO BE MEASURE FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE. 4. MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS.

WALL MOUNTED LUMINAIRE DETAIL

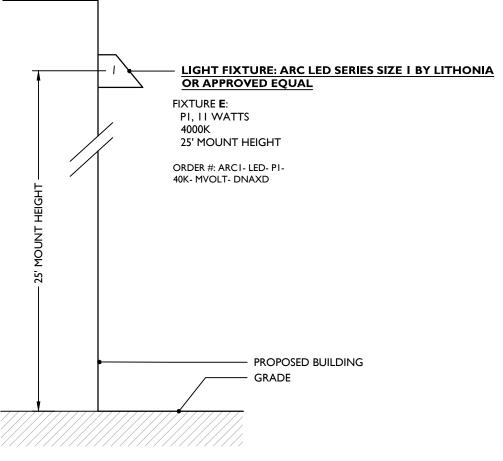


- FOOTING SHOWN IS SCHEMATIC ONLY.
 SHOP DRAWINGS AND CALCULATIONS FOR THE DESIGN AND SIZING OF THE CONCRETE FOOTING SHALL BE PREPARED BY A PROFESSIONAL ENGINEER, AND SHALL BE PROVIDED BY THE CONTRACTOR FOR THE APPROVAL PRIOR TO CONSTRUCTION. 3. SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATED OF EASEMENTS, UNDERGROUND UTILITIES, AND DRAINAGE AREAS BEFORE DRILLING POLE BASES.
- CONCRETE FOOTING SCHEMATIC DETAIL

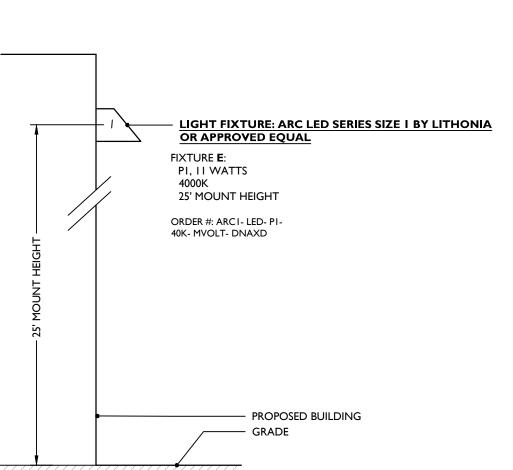


NOTES:

- LIGHT TO BE MANUFACTURED BY LITHONIA OR APPROVED EQUAL LIGHT FINISH TO BE NATURAL ALUMINUM COLOR.
- MOUNTING HEIGHT TO BE MEASURE FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE. MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS.



WALL MOUNTED LUMINAIRE DETAIL



D-Series Size 1

LITHONIA LIGHTING®

INTENDED USE — These specifications are for USA standards only. Check with factory for

Canadian specifications. Round Straight Steel is a general purpose light pole for up to 30-foot mounting

CONSTRUCTION — Pole Shaft: The pole shaft is of 0.120" uniform wall thickness and is made of a weldable-

 $grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 42,000\,psi.\,Shaft is one-piece with a minimu$

 $full-length \, longitudinal \, high-frequency \, electric \, resistance \, weld. \, Uniformly \, round \, in \, cross-section \, down \, length$

of shaft with no taper. Standard shaft diameters are 3", 4", 4.5" and 5". 6" diameter shaft available by quote.

Pole Top: Options include tenon top, drilled for side mount fixture, tenon with drilling (includes extra

handhole) and open top. Side drilled and open top poles include a removable press-fit, black, low density

Handhole: A reinforced handhole with grounding provision is provided at 12" from the base end of the pole

assembly on side A. Every handhole includes a cover and cover attachment hardware, 2.5" x 5" rectangular

Base Cover: A two-piece ABS plastic full base cover is provided with each pole assembly. Additional base

cover options are available upon factory request. Options include fabricated two-piece sheet steel or heavy

Anchor Base/ Bolts: Anchor base is fabricated from hot-rolled carbon steel plate that conforms with ASTM

A36. Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" blend on one end. All anchor bolts are hot-dipped galvanized a minimum of 12" nominal on the threaded end. Anchor bolts are made of steel rod having a minimum yield strength of 55,000 psi and a

Hardware — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners

Finish – Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications. **WARRANTY** — 1-year limited warranty. Complete warranty terms located at:

duty two-piece cast aluminum full base cover. All base covers are finished to match pole.

Shaft wall thickness of .180" and .250" are available with certain tube diameters.

heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

FEATURES & SPECIFICATIONS

polyethylene top cap.

handhole is provided on pole.

yield strength of 75,000 psi to 95,000 psi.

are galvanized or zinc-plated carbon steel or stainless steel.

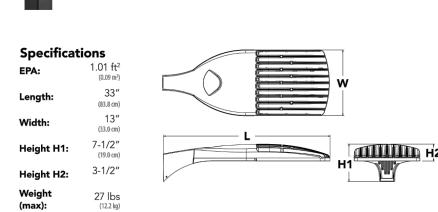
Specifications subject to change without notice.

LUMINAIRE A, B, C, AND D

www.acuitybrands.com/support/customer-support/terms-and-conditions

NOTE: Actual performance may differ as a result of end-user environment and application.





statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

The modern styling of the D-Series is striking

yet unobtrusive - making a bold, progressive

DSX1 LED						
Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T1SV Type V very short³ T5M Type V medium³ T5W Type V wide³ T5W Type V wide³ T5W Type V wide³ T6U Backlight control⁴ LCCO Left corner cutoff⁴ RCCO Right corner cutoff⁴ RCCO Right corner cutoff⁴	MVOLT 5 120 6 208 6 240 6 277 6 347 6 480 6	RPA Rour WBA Wall SPUMBA Squa RPUMBA Rour Shipped separately KMA8 DDBXD U Mass	are pole mounting nd pole mounting bracket are pole universal mounting adaptor d pole universal mounting adaptor t arm mounting bracket adaptor cify finish) "
Control option	ns			Other optio	ns	Finish (required)

ntrol options			0ther	options	Finish (requ	ired)
nipped installed ILTAIR2 nLight AIR generation 2 enabled 10 RHN Network, high/low motion/ambient sensor 11 ERR NEMA twist-lock receptacle only (controls ordered separate) 12 ERS Five-pin receptacle only (controls ordered separate) 12,13 ER7 Seven-pin receptacle only (controls ordered separate) 12,13 MG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) 14 Dual switching 15,16,17	PIR PIRH PIR1FC3V PIRH1FC3V FAO	High/low, motion/ambient sensor, 8–15' mounting height, ambient sensor enabled at 5fc ^{17,18} High/low, motion/ambient sensor, 15–30' mounting height, ambient sensor enabled at 5fc ^{17,18} High/low, motion/ambient sensor, 8–15' mounting height, ambient sensor enabled at 1fc ^{17,18} Bi-level, motion/ambient sensor, 15–30' mounting height, ambient sensor enabled at 1fc ^{17,18} Field adjustable output ^{17,19}	Ship HS SF DF L90 R90 HA	ped installed House-side shield ²⁰ Single fuse (120, 277, 347V) ⁶ Double fuse (208, 240, 480V) ⁶ Left rotated optics ² Right rotated optics ² 50°C ambient operations ¹ ped separately Bird spikes ²¹ External glare shield	DDBXD DBLXD DNAXD DWHXD DWHXD DDBTXD DBLBXD DNATXD DWHGXD	Dark bronze Black Natural aluminum White Textured dark bron Textured black Textured natural aluminum Textured white

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DSX1-LED

Rev. 07/30/20

Page 1 of 8

RSS Round Straight Steel Pole

Anchor Base Poles

ROUND STRAIGHT STEEL

RSS				
Series Nominal mounting		Mounting ²	Options	Finish ¹¹
RSS 8'-30' (fincreme to the pp Ex: 20-6 20ft 6in. (See tecl informat for comp ordering informat)	add -6 eight. als 4B 4" (.120") 4-5B 4 1/2" (.120") 5B 5" (.120") 4B 4" (.120") (See technical information table for complete ordering	Tenon mounting PT Open top T20 2-3/8" 0.D. (2" NPS) T25 2-7/8" 0.D. (2-1/2" NPS) T30 3-1/2" 0.D. (3" NPS) 2 T35 4" 0.D. (3-1/2" NPS) 2 KAC/KAD/KSE/KSF/KVR/KVF Drill mounting 3 DM19 1 at 90° DM28 2 at 180° DM28PL 2 at 180° with one side plugged DM29 2 at 90° DM32 3 at 120° DM49 4 at 90° CSX/DSX/RSX/AERIS™/OMERO™/HLA/KAX Drill mounting 2 DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM32AS 2 at 120° DM32AS 2 at 120° DM39AS 3 at 90° DM39AS 3 at 90° DM49AS 4 at 90° RAD drill mounting 3 DM19RAD 1 at 90° DM28RAD 2 at 180° DM29RAD 2 at 90° DM32RAD 3 at 120° DM32RAD 3 at 120° DM39RAD 3 at 90° DM39RAD 3 at 90° DM49RAD 4 at 90° AERIS™ Suspend drill mounting 3.4 DM19AST 1 at 90° DM28AST 2 at 180° DM29AST 2 at 90° DM39AST 3 at 90° DM49AST 4 at 90° DM28AST 2 at 180° DM29AST 2 at 90° DM39AST 3 at 90° DM28AST 2 at 180° DM29AST 2 at 90° DM39AST 3 at 90° DM29AST 2 at 90° DM39AST 3 at 90° DM29AST 2 at 180° DM29AST 3 at 90° DM39AST 4 at 90°	Shipped installed L/AB Less anchor bolts (Include when anchor bolts are not needed) L/FBC Less full base cover (include to order pole without a base cover) VD Vibration damper TP Tamper resistant handhole cover fasteners HAxy Horizontal arm bracket (1 fixture) 5.6 FDLxy Festoon outlet less electrical 5 CPL12/xy 1/2" coupling 5 CPL34/xy 3/4" coupling 5 NPL12/xy 1/2" threaded nipple 5 NPL12/xy 1/2" threaded nipple 5 NPL1/xy 1" threaded nipple 5 EHHxy Extra handhole 5.7 MAEX Match existing 8 USPOM United States point of manufacture 9 IC Interior coating 10 UL UL listed with label (Includes NEC compliant cover) NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled) Shipped separately (replacement kit available) (blank) FBC Round Full Base Cover (Plastic) (blank) TC Top cap (blank) HHC Handhole cover	Standard colors DDBXD Dark bronze DWHXD White DBLXD Black DMBXD Medium bronze DNAXD Natural aluminun GALV Galvanized finish Classic colors DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue Architectural colors (powdefinish) 11 Galvanized, Paint over Galvanized, RAL Colors, Custom Colors and Extende Warranty Finishes available

(7-Gauge) in nomenclature. "C" - 0.1196" | "G" - 0.1793 PT open top poles include top cap. When ordering tenon mounting and drill mounting for the same pole, follow this

example: DM28/T20. The combination includes a required Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.

4. Insert "1" or "2" to designate fixture size; e.g. DM19AST2. Specify location and orientation when ordering option. For "x": Specify the height above the base of pole in feet or feet

1. Wall thickness will be signified with a "C" (11 Gauge) or a "G" 6. Horizontal arm is 18" x 2-3/8" O.D. tenon standard with radius curve providing 12' rise. If ordering two horizontal arm at the same height, specify with HAxyy. Example: HA20BD Combination of tenon-top and drill mount includes extra Must add original order number of existing pole(s). Use when mill certifications are required.

and inches; separate feet and inches with a "-". Example: 5ft = 5 and 20ft 3in = 20-3 For "y": Specify orientation from handhole (A.B.C.D) Refer to the Handhole Orientation diagram below. Example: 1/2" coupling at 5' 8", orientation

 Additional colors available; see www.lithonia.com/archcolor. or Architectural Colors brochure (Form No. 794.3). Available by formal quote only, consult factory for details.

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LUMINAIRE E



A LITHONIA LIGHTING®

ARC1 LED



OUTDOOR: One Lithonia Way Conyers, GA 30012 Phone: 800-705-SERV (7378) www.lithonia.com

Architectural Wall Luminaire

Introduction

Specifications Depth (D1): Depth (D2): Width: Weight:

ARC LED Family Overview

(without options)

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

ARC1 LED 1,500 2,000 3,000 ARC2 LED 1,500 2,000 3,000 4,000

rdering	Information	EXAMPLE: ARC1 LED P2 40K MVOLT PE DDB:					OK MVOLT PE DDBXD
	Package	Color Temperature	Voltage	Options		Finish	
CTLED	P1 1,500 Lumens P2 2,000 Lumens P3 3,000 Lumens	30K 3000K 40K 4000K 50K 5000K	MVOLT 347 ¹	E4WH PE DMG SPD6KV FAO	Emergency battery backup, CEC compliant (4W, 0°C min) ¹ Button type photocell for dusk-to-dawn operation 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ² 6kV surge protection ¹ Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% ²	DDBXD DBLXD DNAXD DWHXD DSSXD DDBTXD DBLBXD DNATXD DWHGXD DSSTXD	Dark bronze Black Natural aluminum White Sandstone Textured dark bronze Textured black Textured natural aluminum Textured white Textured sandstone
	Accessories						NOTES

WSBBW DDBXD U Surface – mounted back box (specify finish)

347V not available with E4WH. 2 FAO not available with DMG.

COMMERCIAL OUTDOOR

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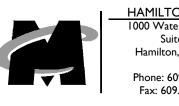
> > PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR

483 - 485 ELIZABETH **AVENUE**

> BLOCK 507.14 LOTS 61 & 62

FRANKLIN TOWNSHIP SOMERSET COUNTY **NEW JERSEY**



Suite 201 Hamilton, NJ 08691 Phone: 609.587.8200 Fax: 609.587.8260

JRD AS SHOWN 10/30/20

LIGHTING DETAILS

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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

