

PROPERTY OWNERS WITHIN 200 FT.

Block-Lot: 514-32 ALVES, ARTUR & ANGELA C 486 ELIZABETH AVENUE SOMERSET NJ 08873 RE: 486 ELIZABETH AVE

Block-Lot: 507.14-60.01 NORTHERN NURSERIES INC 546 HALFWAY HOUSE RD. WINDSOR LOCKS, CT 06096 RE: 487 ELIZABETH AVE

Block-Lot: 514-30 DILORIO, FRED PORCHETTA,ANGELO.ETAL 295 DURHAM AVE.BLDG 7-204 SO PLAINFIELD NJ 07800 RE: 482 ELIZABETH AVE

Block-Lot: 514-19.03 928 HOLDINGS,LLC 500 METUCHEN RD SOUTH PLAINFIELD, NJ 07080 RE: 480 ELIZABETH AVE

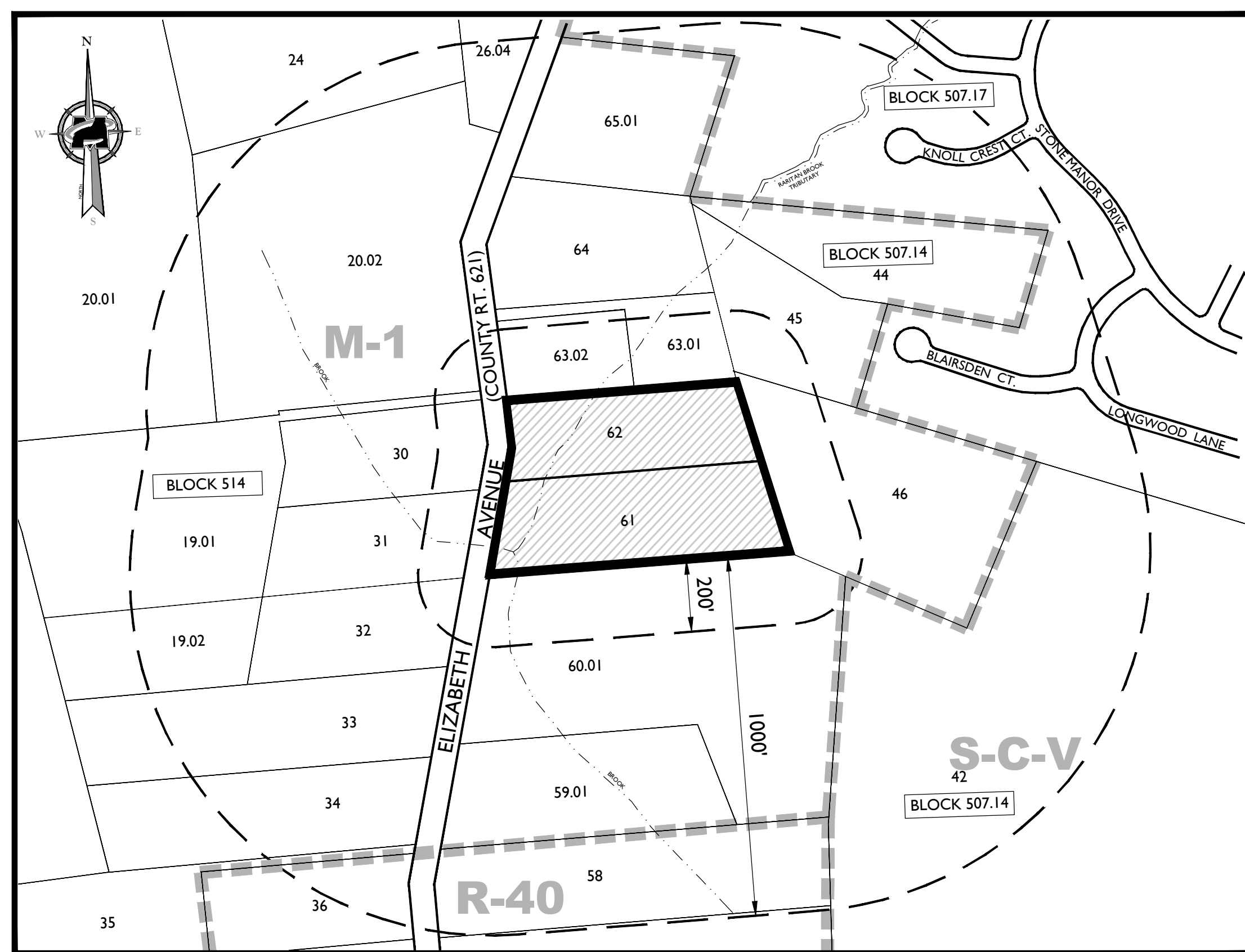
Block-Lot: 514-20.04 CATALENT PHARMA SOLUTIONS%R. VOHRA 14 SCHOOL HOUSE RD. SOMERSET, NJ 08873 RE: 14 SCHOOL HOUSE RD

Block-Lot: 507.14-80.01-QFARM NORTHERN NURSERIES INC 546 HALFWAY HOUSE RD. WINDSOR LOCKS, CT 06096 RE: 487 ELIZABETH AVE

Block-Lot: 514-20.04-QFARM CATALENT PHARMA SOLUTIONS%R. VOHRA 14 SCHOOL HOUSE RD. SOMERSET, NJ 08873 RE: 14 SCHOOL HOUSE RD

As per NJS A 40:55D-12.h, you must also notify the following registered agencies: Right-of-Way Department Business Manager Sunoco Pipeline LP Buckeye Pipe Line Company Comcast Cable Right of Way Dept PO Box 368 279 Amwell Road Montello Complex 525 Fritztown Road Emmaus, PA 18049-0368 Hillsborough, NJ 08844 Sinking Spring PA 19608

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR 483 - 485 ELIZABETH AVENUE BLOCK 507.14, LOTS 61 & 62 FRANKLIN TOWNSHIP SOMERSET COUNTY, NEW JERSEY



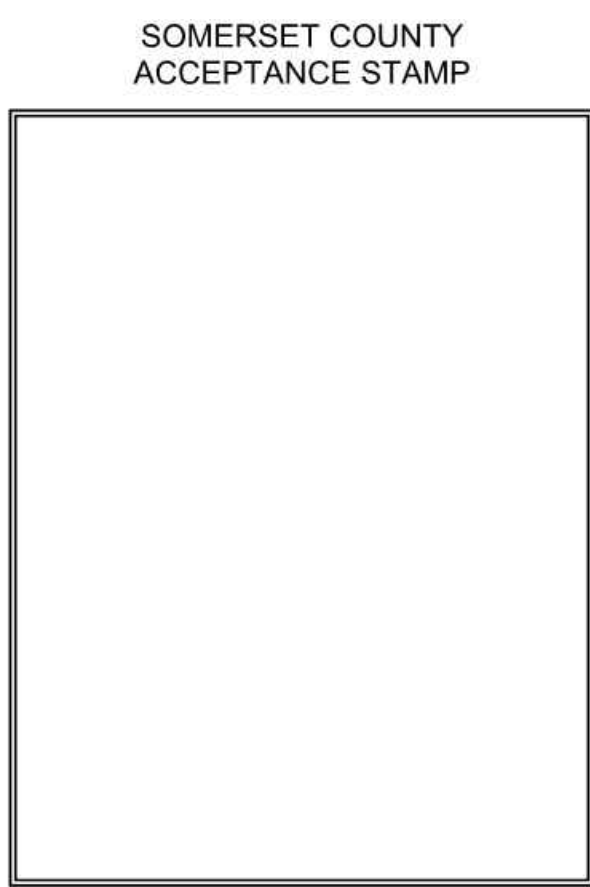
ZONING LEGEND

- M-1 LIGHT MANUFACTURING
R-40 SINGLE FAMILY RESIDENTIAL
RR-3 SINGLE FAMILY RESIDENTIAL
R-15 SINGLE FAMILY RESIDENTIAL
S-C-V SENIOR CITIZEN VILLAGE
C-B CORPORATE BUSINESS
RDO RETAIL DISTRICT OVERLAY

GENERAL NOTES

- 1. THE SUBJECT PROPERTY IS KNOWN AS LOTS 61 & 62 IN BLOCK 507.14 AS SHOWN ON SHEET 75 OF THE OFFICIAL TAX MAP OF THE TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NJ, DATED NOV. 1966 AND REVISED THROUGH 8/1/13.
2. THE PROPERTY IS LOCATED IN THE LIGHT MANUFACTURING (M-1) ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 365,771 SF, 8.397 ACRES.
3. THE SUBJECT PROPERTY CONTAINS 2 RESIDENTIAL LOTS. THE APPLICANT PROPOSES A MINOR SUBDIVISION OF THE PROPERTY IN WHICH THE TWO LOTS WILL BE CONSOLIDATED AND RECONFIGURED. THE EXISTING RESIDENTIAL STRUCTURE TO THE NORTHWEST WILL REMAIN ON PROPOSED NEW LOT 62.01 AND THE SOUTHWEST RESIDENTIAL STRUCTURE WILL BE REMOVED. A ONE STORY 76,230 S.F. WAREHOUSE BUILDING, WITH 36 PARKING SPACES IS PROPOSED ON NEW LOT 61.01.
4. ZONE DATA: LIGHT MANUFACTURING (M-1)
LIGHT MANUFACTURING (M-1) REQUIREMENTS
REQUIREMENTS REQUIRED PROPOSED LOT 62.01 PROPOSED LOT 61.01
MIN. LOT AREA 5 AC 0.92 AC (V) 7.48 AC
MIN. LOT FRONTAGE 300 FT 147 FT (V) 372 FT
PRINCIPAL BUILDING MIN. FRONT YARD SETBACK 50 FT 33.7 FT (E) 363 FT
MIN. SIDE YARD SETBACK (ONE) 40 FT 25.4 FT (E) 40 FT
MIN. SIDE YARD SETBACK (TOTAL) 100 FT 77.5 FT (V) 156 FT
MIN. REAR YARD SETBACK 100 FT 160.6 FT 50 FT (V)
APPROPRIATE BUILDINGS MIN. SIDE YARD SETBACK 40 FT N/A N/A
MIN. REAR YARD SETBACK 50 FT N/A N/A
MAX. COVERAGE OF IMPERMEABLE SURFACE INCLUDING BUILDINGS 60% 11% 49%
MAX. FLOOR AREA RATIO 0.50 0.09 0.23
MAX. COVERAGE OF LOT BY BUILDINGS 50% 5% 23%
MAX HEIGHT OF BUILDINGS 50 FT <50 FT 49.1 FT
OFF-STREET PARKING 33 3 36

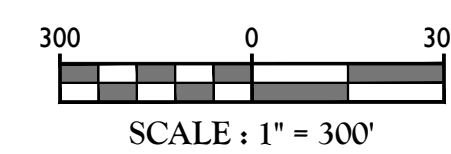
INDEX OF SHEETS table with columns: SHT. No., DESCRIPTION, LATEST REVISION. Includes entries for COVER SHEET, EXISTING CONDITIONS AND DEMOLITION PLAN, DIMENSION PLAN, GRADING PLAN, ROAD PROFILES, UTILITIES PLAN, SOIL EROSION & SEDIMENT CONTROL PLAN, LANDSCAPE PLAN, LIGHTING PLAN, CONSTRUCTION DETAILS, TREE REMOVAL PLAN, MINOR SUBDIVISION PLAN.



THESE PLANS ARE NOT ACCEPTED FOR CONSTRUCTION UNLESS THIS BLOCK IS STAMPED 'ACCEPTED AS SUBMITTED' BY A STAFF MEMBER OF THE SOMERSET COUNTY ENGINEERING DIVISION. BIDS FOR CONSTRUCTION SHOULD NOT BE BASED ON THESE PLANS UNTIL THE PLANS ARE ACCEPTED BY THE COUNTY.

ACCEPTANCE OF THESE PLANS EXPIRE TWO (2) YEARS FROM THE STAMPED DATE.

KEY & ZONING MAP



ZONING LEGEND

- M-1 LIGHT MANUFACTURING
R-40 SINGLE FAMILY RESIDENTIAL
S-C-V SENIOR CITIZEN VILLAGE

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

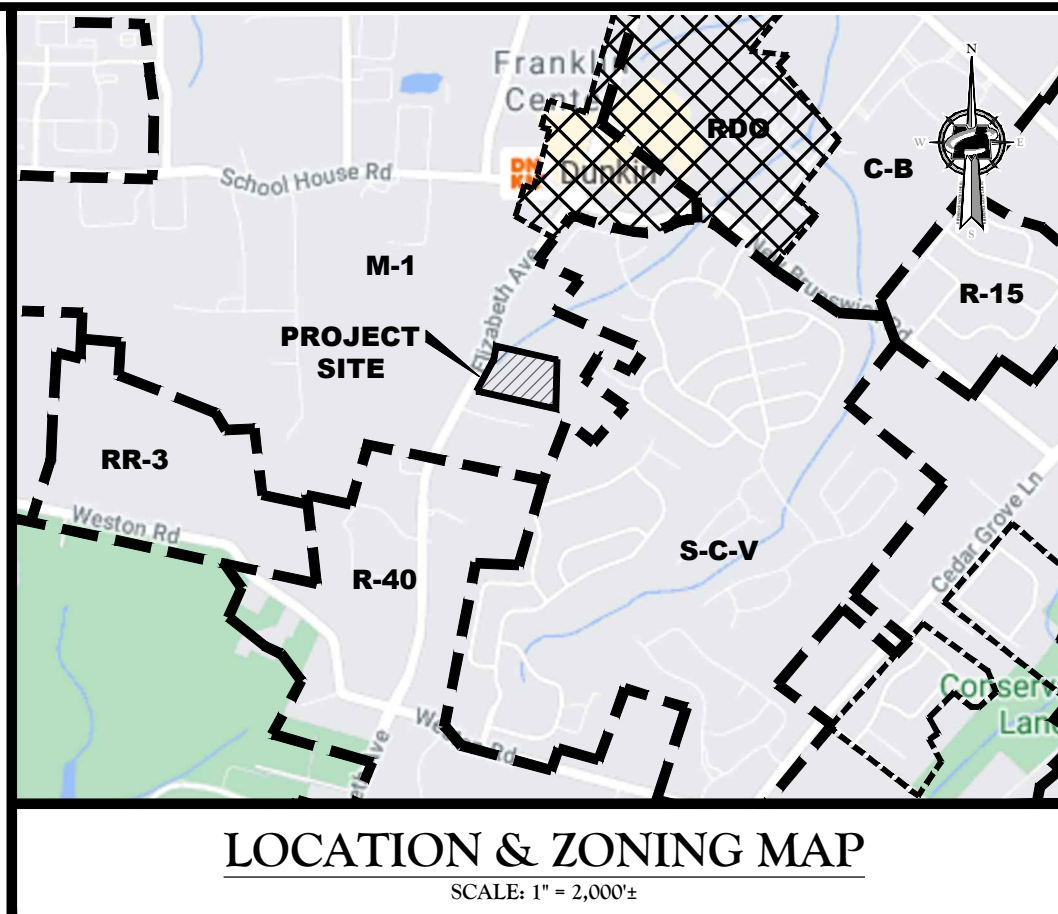
OWNER DATE

APPROVED BY THE ZONING BOARD OF THE TOWNSHIP OF FRANKLIN AT THE REGULAR MEETING OF DATE

CHAIRMAN DATE

SECRETARY DATE

ENGINEER DATE



SITE NOTES

- 1. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
2. CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AT HANDICAP ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS.
3. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
4. REFUSE AND RECYCLABLES SHALL BE STORED WITHIN OUTSIDE SCREENED TRASH ENCLOSURE AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
6. THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.
7. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
A. NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2016, AS SUPPLEMENTED.
B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
UTILITY NOTES
1. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING UTILITIES AND THEIR DEPTHS. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNER HERON INAPPROPRIATE OR INEFFECTIVE.
2. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
3. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT, ADS #1-2 HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLANS. OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
4. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
5. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON ELIZABETH AVENUE, OWNED AND OPERATED BY THE TOWNSHIP OF FRANKLIN WATER DIVISION. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, AMERICAN WATERWORKS ASSOCIATION STANDARDS, PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING OR HIGH DENSITY POLYETHYLENE (HDPE), IF AS NOTED ON THE PLANS. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM. PIPE MATERIALS SHALL BE PVC SDR 35, EXCEPT AS NOTED OTHERWISE ON THE PLANS, EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR HEALTH DEPARTMENT. SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
7. ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
8. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. SEWER LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT. IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE WATER TIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL JOINTS) WITH WATER TIGHT JOINTS THAT ARE MINIMUM 18 INCHES BELOW THE TOP OF THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL MODEL #3501-OR EQUIVALENT AT DRIV/C JOINTS.
9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.
10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

ADA INSTRUCTIONS TO CONTRACTOR:

- 1. CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS TO ANY ACCESSIBLE BUILDING ENTRANCES, SHALL COMPLY WITH THE ADA ACCESS CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
(NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):
A. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
B. CURB RAMPS - SLOPES SHALL NOT EXCEED 1:12 (8.3%).
C. LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.
E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND 'LEVEL' LANDINGS ON EACH END. THE RAMP SHALL BE SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
F. DOORWAYS - SHALL HAVE A 'LEVEL' LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 40 INCHES (5 FEET) LONG, EXCEPT OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
2. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

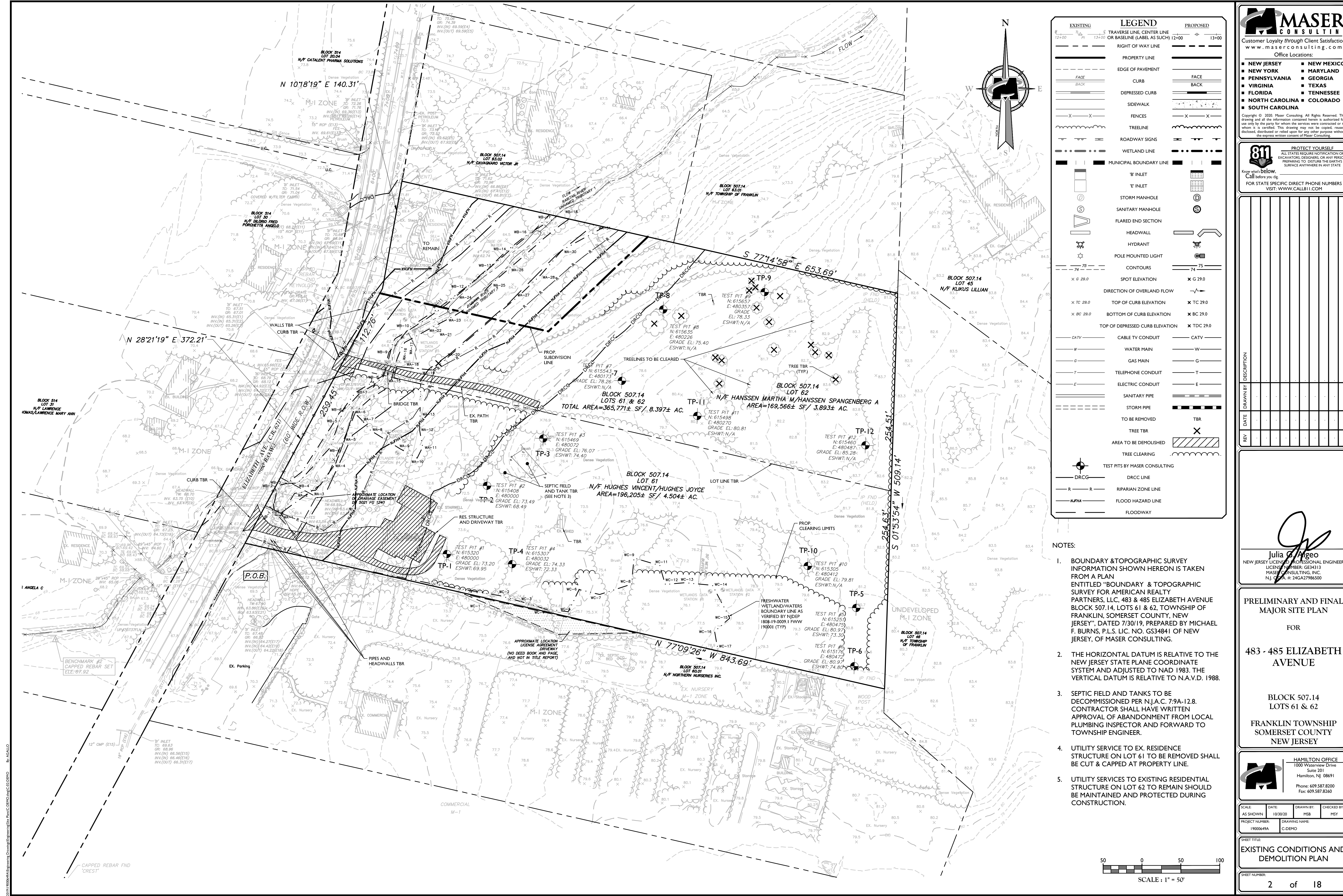
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Table with columns: DATE, DRAWN BY, DESCRIPTION, REV. Includes a signature line for Julia Argeo.

JULIA ARCEO, NEW JERSEY LICENSED PROFESSIONAL ENGINEER, LICENSE NUMBER: GE34313, MASER CONSULTING, INC., NJ REG. NO. 246A7986500.

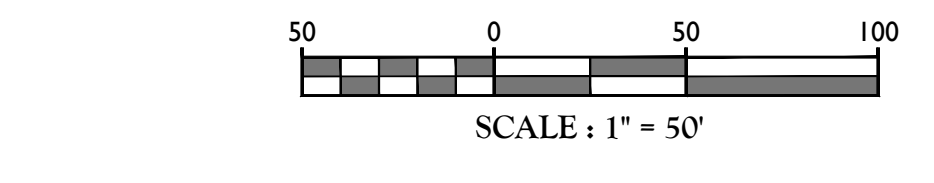
PRELIMINARY AND FINAL MAJOR SITE PLAN FOR 483 - 485 ELIZABETH AVENUE BLOCK 507.14 LOTS 61 & 62 FRANKLIN TOWNSHIP SOMERSET COUNTY NEW JERSEY

HAMILTON Office logo and contact information: 1000 Waterview Drive, Suite 201, Hamilton, NJ 08691, Phone: 609.587.8200, Fax: 609.587.8260. Includes project details: AS SHOWN 10/30/20, DATE 10/30/20, DRAWN BY MSB, CHECKED BY MSY, PROJECT NUMBER 1900049A, DRAWING NAME C-COVER, SHEET TITLE COVER SHEET, SHEET NUMBER 1 of 18.



EXISTING	LEGEND	PROPOSED
---	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	---
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	B' INLET	---
---	E' INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	HEADWALL	---
---	HYDRANT	---
---	POLE MOUNTED LIGHT	---
---	CONTOURS	---
---	SPOT ELEVATION	---
---	DIRECTION OF OVERLAND FLOW	---
---	TOP OF CURB ELEVATION	---
---	BOTTOM OF CURB ELEVATION	---
---	TOP OF DEPRESSED CURB ELEVATION	---
---	CATV	---
---	CABLE TV CONDUIT	---
---	WATER MAIN	---
---	GAS MAIN	---
---	TELEPHONE CONDUIT	---
---	ELECTRIC CONDUIT	---
---	SANITARY PIPE	---
---	STORM PIPE	---
---	TO BE REMOVED	---
---	TREE TBR	---
---	AREA TO BE DEMOLISHED	---
---	TREE CLEARING	---
---	TEST PITS BY MASER CONSULTING	---
---	DRCC	---
---	RIPARIAN ZONE LINE	---
---	FLOOD HAZARD LINE	---
---	FLOODWAY	---

- NOTES:
- BOUNDARY & TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY FOR AMERICAN REALTY PARTNERS, LLC, 483 & 485 ELIZABETH AVENUE BLOCK 507.14, LOTS 61 & 62, TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY, DATED 7/30/19, PREPARED BY MICHAEL F. BURNS, P.L.S. LIC. NO. G534841 OF NEW JERSEY, OF MASER CONSULTING.
 - THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO N.A.V.D. 1988.
 - SEPTIC FIELD AND TANKS TO BE DECOMMISSIONED PER N.J.A.C. 79A-12.8. CONTRACTOR SHALL HAVE WRITTEN APPROVAL OF ABANDONMENT FROM LOCAL PLUMBING INSPECTOR AND FORWARD TO TOWNSHIP ENGINEER.
 - UTILITY SERVICE TO EX. RESIDENCE STRUCTURE ON LOT 61 TO BE REMOVED SHALL BE CUT & CAPPED AT PROPERTY LINE.
 - UTILITY SERVICES TO EXISTING RESIDENTIAL STRUCTURE ON LOT 62 TO REMAIN SHOULD BE MAINTAINED AND PROTECTED DURING CONSTRUCTION.



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REV.	DATE	DRAWN BY	DESCRIPTION

Julia A. Angeo
 NEW JERSEY LICENSED PROFESSIONAL ENGINEER
 LICENSE NUMBER: GE34313
 MASER CONSULTING, INC.
 NJ Lic. No. # 24627986500

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR

483 - 485 ELIZABETH AVENUE

BLOCK 507.14 LOTS 61 & 62

FRANKLIN TOWNSHIP SOMERSET COUNTY NEW JERSEY

HAMILTON OFFICE
 1000 Watersview Drive
 Suite 201
 Hamilton, NJ 08691
 Phone: 609.587.8200
 Fax: 609.587.8260

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	10/30/20	MSB	MSY
PROJECT NUMBER:	DRAWING NAME:		
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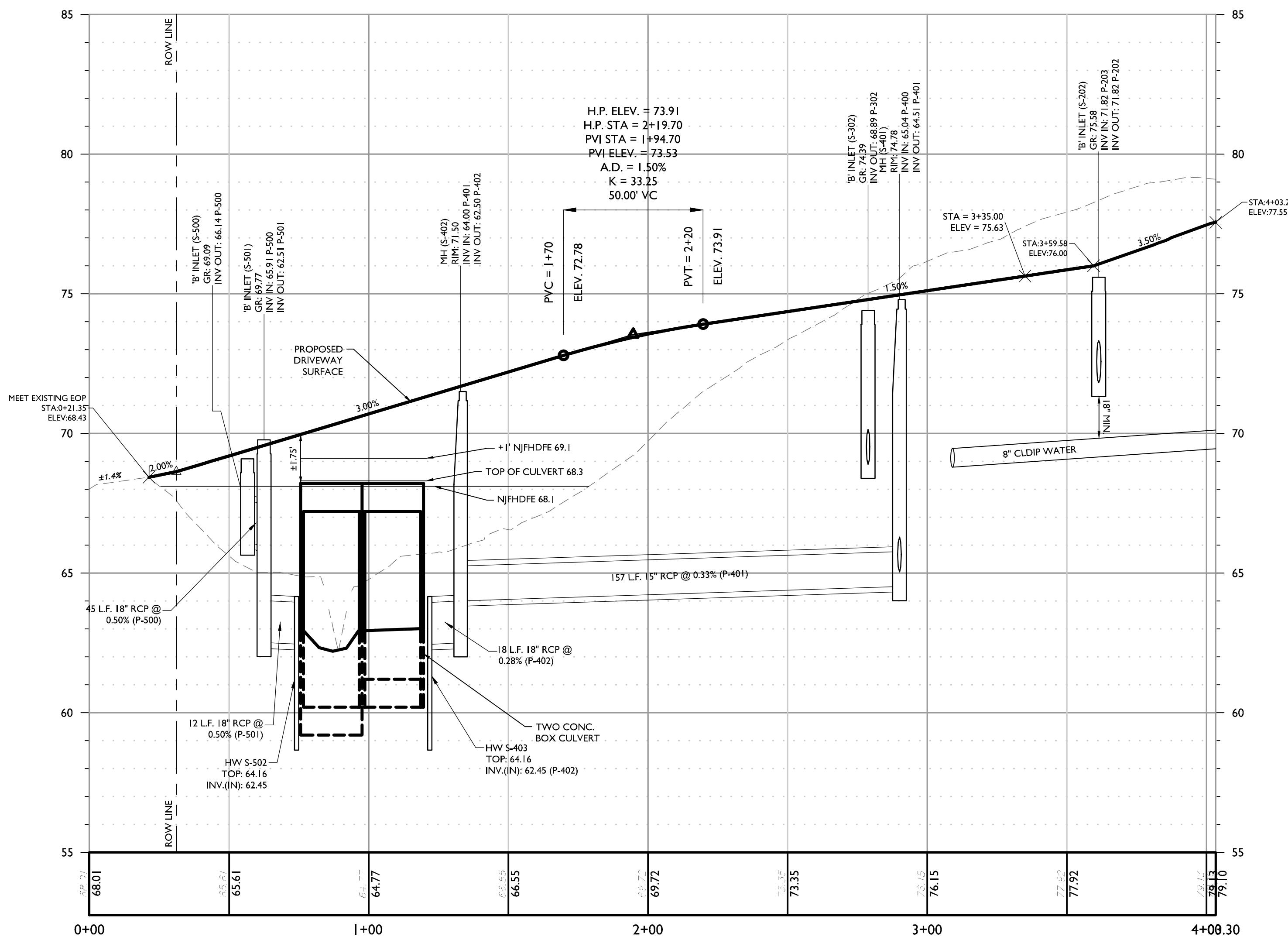
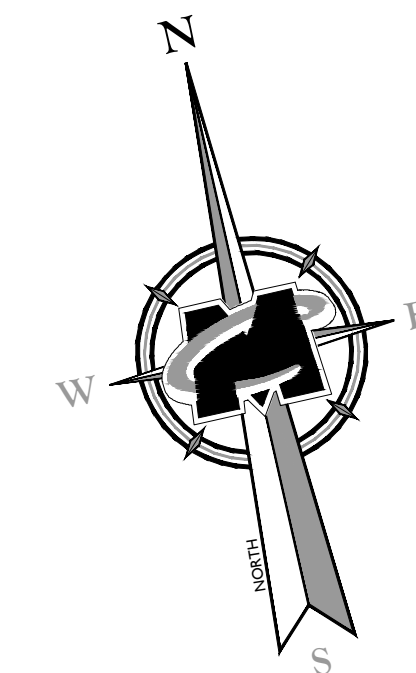
SHEET TITLE:
EXISTING CONDITIONS AND DEMOLITION PLAN

SHEET NUMBER:
2 of 18

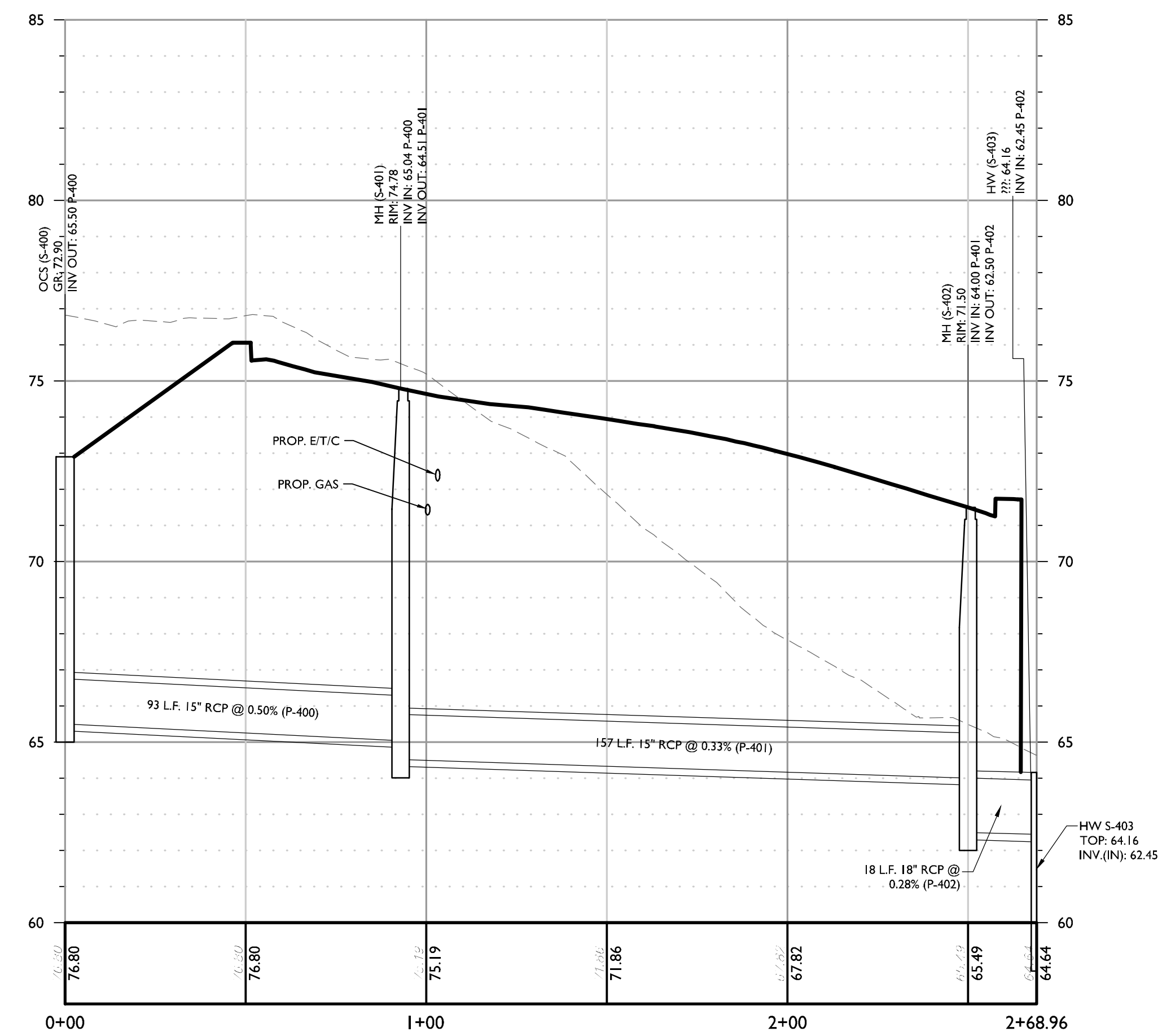
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PROFILE OF DRIVEWAY CENTERLINE (1)
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



PROFILE OF OCS S-400 TO CULVERT
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'

REV	DATE	DRAWN BY	DESCRIPTION

Julia C. Argeo
Julia C. Argeo
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE4313
MASER CONSULTING, INC.
NJ, C.E. # 24GA27986550

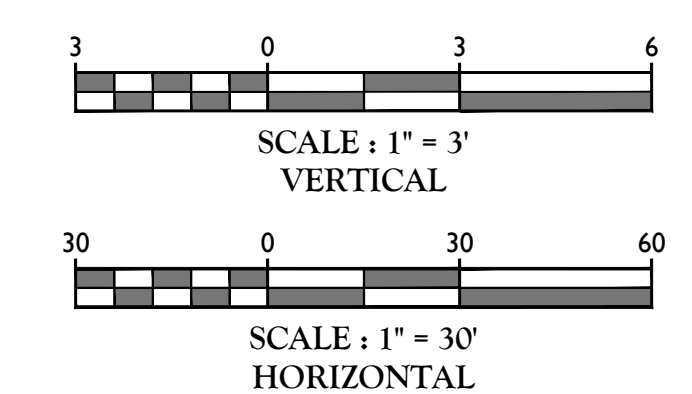
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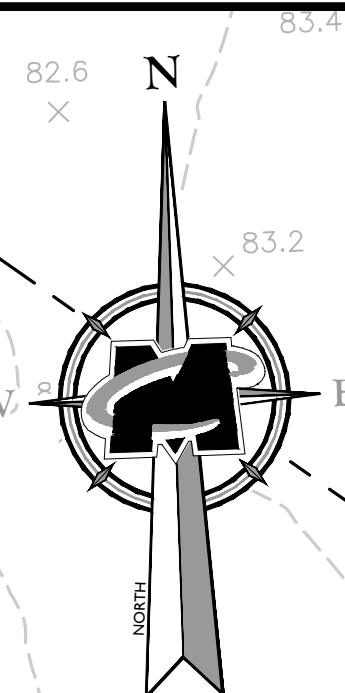
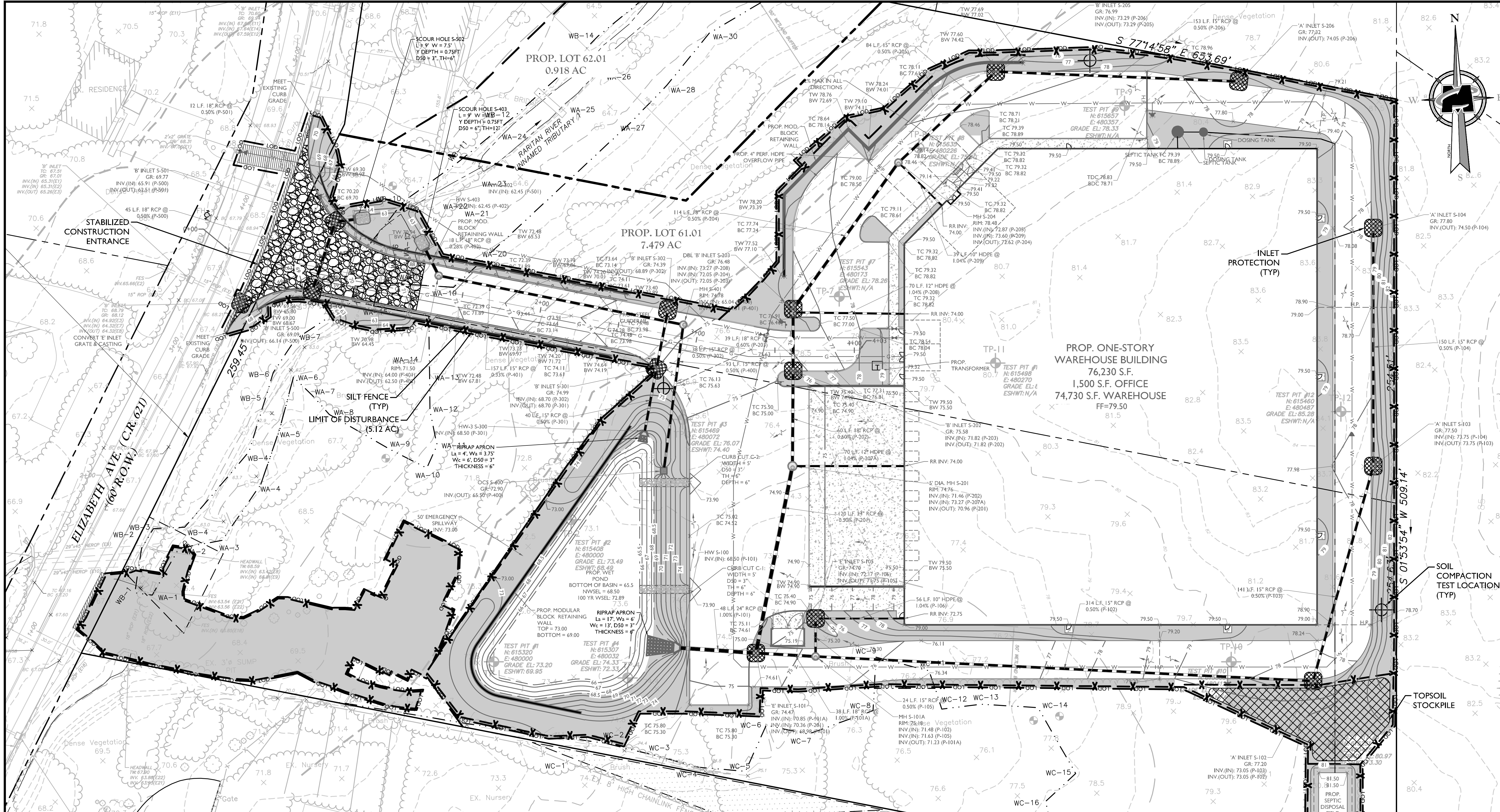
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PROJECT NUMBER: 1900049A	DRAWING NAME: C-PROF		

SHEET TITLE:
PROFILES

SHEET NUMBER:
7 of 18





REV.	DATE	DRAWN BY	DESCRIPTION

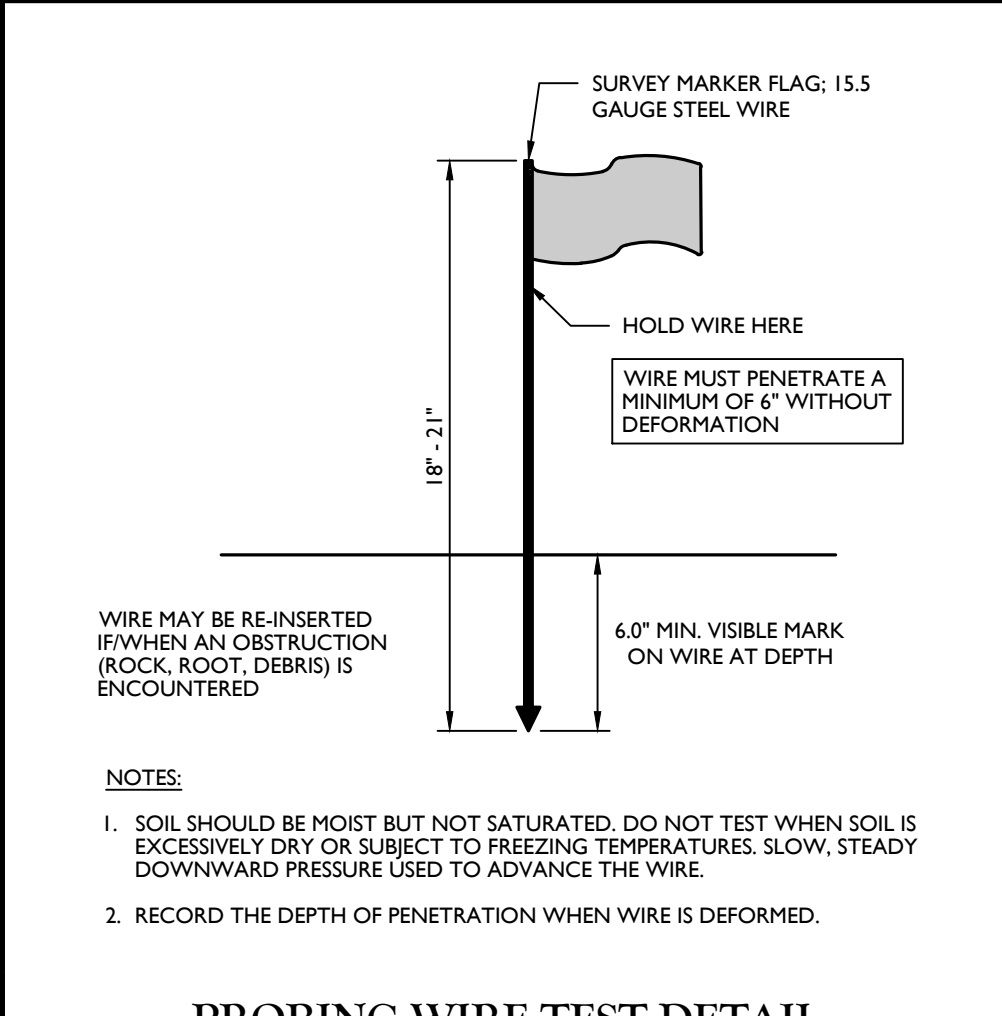
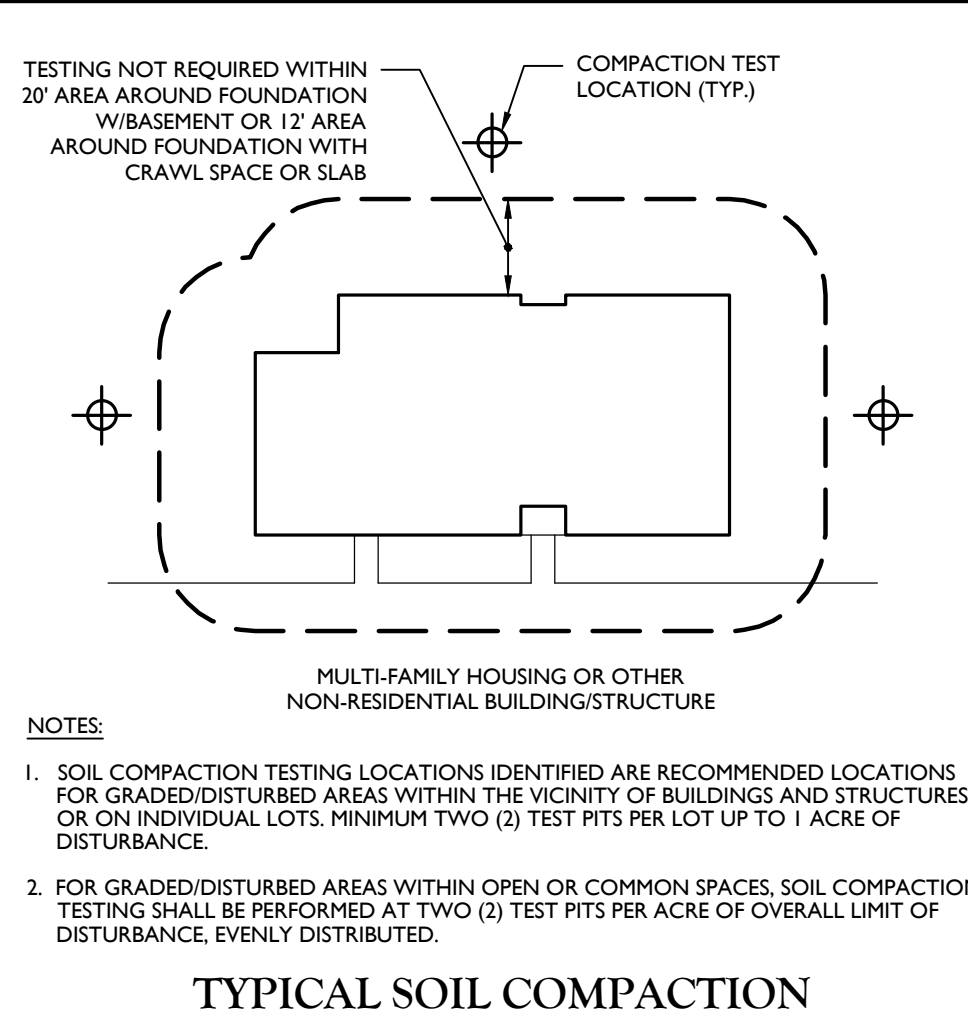
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 LICENSE NUMBER: GE4313
 M.C.N.I. CONSULTING, INC.
 N.J. REG. A. # 24G2798650

PRELIMINARY AND FINAL MAJOR SITE PLAN
 FOR
483 - 485 ELIZABETH AVENUE
 BLOCK 507.14
 LOTS 61 & 62
 FRANKLIN TOWNSHIP
 SOMERSET COUNTY
 NEW JERSEY

HAMILTON OFFICE
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 Fax: 609.587.8260

SOIL DECOMPACTION AND TESTING REQUIREMENTS

- GNRL-NOTE-STND-GRID 05/01/17
- A. SOIL COMPACTION TESTING REQUIREMENTS**
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL "STANDARD FOR VEGETATIVE COVER" NOTES SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER (SEE "STANDARD FOR VEGETATIVE COVER" NOTES FOR TOPSOIL REQUIREMENTS).
 - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION CONTROL PLAN. MINIMUM 2 TESTS FOR LIMIT OF DISTURBANCE UP TO 1 ACRE, PLUS 2 TESTS PER ACRE OF LIMIT OF DISTURBANCE THEREAFTER, SPACED EVENLY THROUGHOUT THE SITE.
 - COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THIS NOTE PLAN SHALL BE USED TO MARK THE LOCATIONS OF TESTS AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
 - IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE PROBING OR PENETRATION TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL DENSITY TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DENSITY TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.
- B. COMPACTION TESTING METHODS**
- PROBING WIRE TEST (SEE DETAIL).
 - HANDHELD PENETROMETER TEST (SEE DETAIL).
 - TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED).
 - NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED).
 - ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- C. PROCEDURES FOR SOIL COMPACTION MITIGATION**
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
 - IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



LEGEND

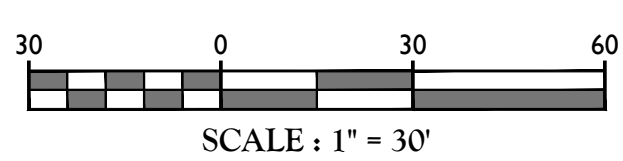
- X--- SILT FENCE
- --- LIMIT OF DISTURBANCE
- INLET PROTECTION
- ⊙ SOIL COMPACTION TEST LOCATION
- SOIL COMPACTION TESTING AREAS

SOIL COMPACTION TEST AREA

TOTAL AREA OF SITE:	5.12 A.C.
IMPERVIOUS AREAS:	3.77 A.C.
TOTAL AREA OF COMPACTION TESTING:	1.35 A.C.
USE	1.50 A.C.

1 TEST / 0.5 ACRES REQUIRED = 3 TEST LOCATIONS

THIS PLAN SHALL BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.



SOMERSET-UNION SOIL CONSERVATION DISTRICT NOTES

MCSQ-SOIL-NOTE-1013 05/01/17 THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.

CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

MCSQ-SOIL-NOTE-1200 07/01/17 1. THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSIDERS THE REQUIREMENTS IN 2, 3, AND 4 BELOW. THESE REQUIREMENTS BECAME OPERATIVE ON MARCH 3, 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON OR AFTER MARCH 3, 2004.

SPPP REQUIRED INSPECTIONS AND REPORTS

MCSQ-SOIL-NOTE-1201 09/01/17 A COPY OF THE AUTHORIZATION SHALL BE POSTED ON SITE AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY OF THE CONSTRUCTION SITE AT ALL TIMES UNTIL A NOTICE OF COMPLETION HAS BEEN ISSUED. THE PERMITTEE SHALL POST THE NDEP HOTLINE NUMBER (1-877-WARN-NY) WITH THE COPY OF THE AUTHORIZATION.

SEQUENCE OF COMMERCIAL CONSTRUCTION

MCSQ-SOIL-NOTE-1500 MOD: 10/20/20 11/01/18 1. CLEARING OF ENTRANCE AND LIMIT OF DISTURBANCE FOR INSTALLATION OF SILT FENCE AND CONSTRUCTION ENTRANCE PAD (1 WEEK).

STANDARD FOR VEGETATIVE COVER

MCSQ-SOIL-NOTE-1100 MOD: 10/15/20 12/01/17 815 - 10115 (ZONE 6) PER ACRE NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED. 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SILT HAY, HAY OR STRAW MULCH.

STABILIZATION WITH MULCH ONLY

MCSQ-SOIL-NOTE-1301 MOD: 10/09/20 05/01/17 1. SITE PREPARATION A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD LAND GRADING.

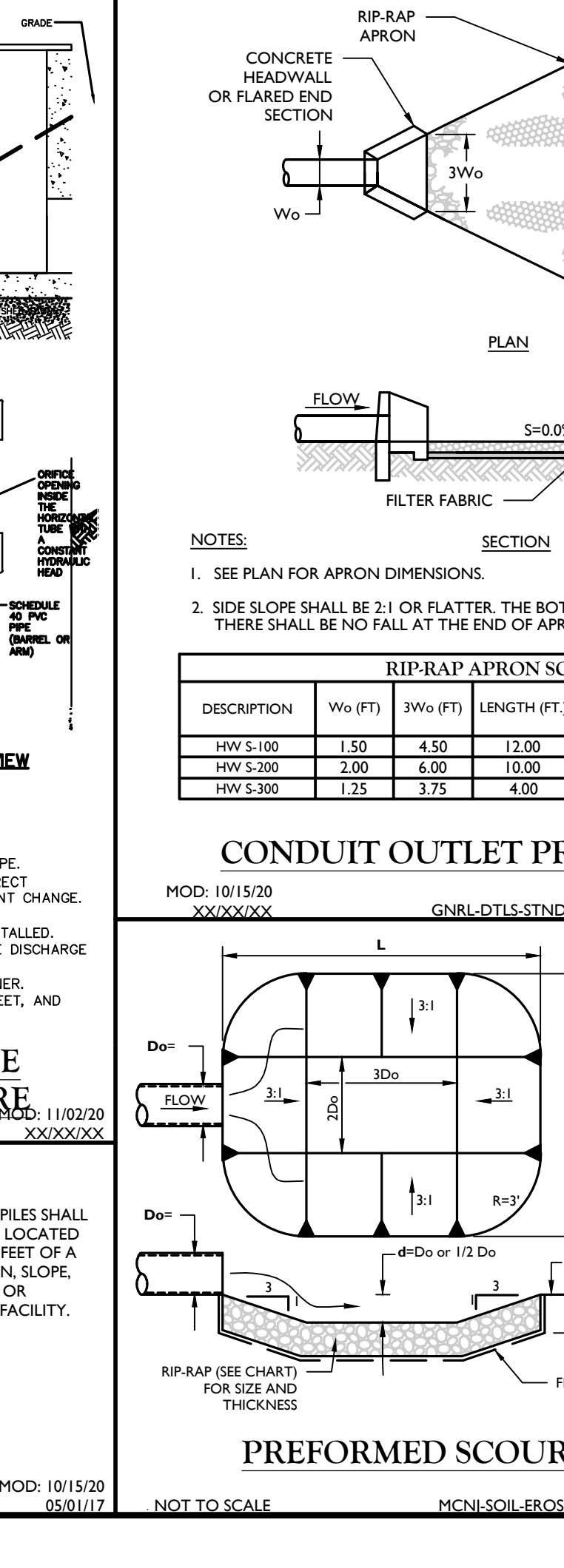
DUST CONTROL

MCSQ-SOIL-NOTE-1400 05/01/17 DUST CONTROL METHODS: 1. APPLY MULCHES OR VEGETATIVE COVER AS PER NJ SOL EROSION AND SEDIMENT CONTROL STANDARDS.

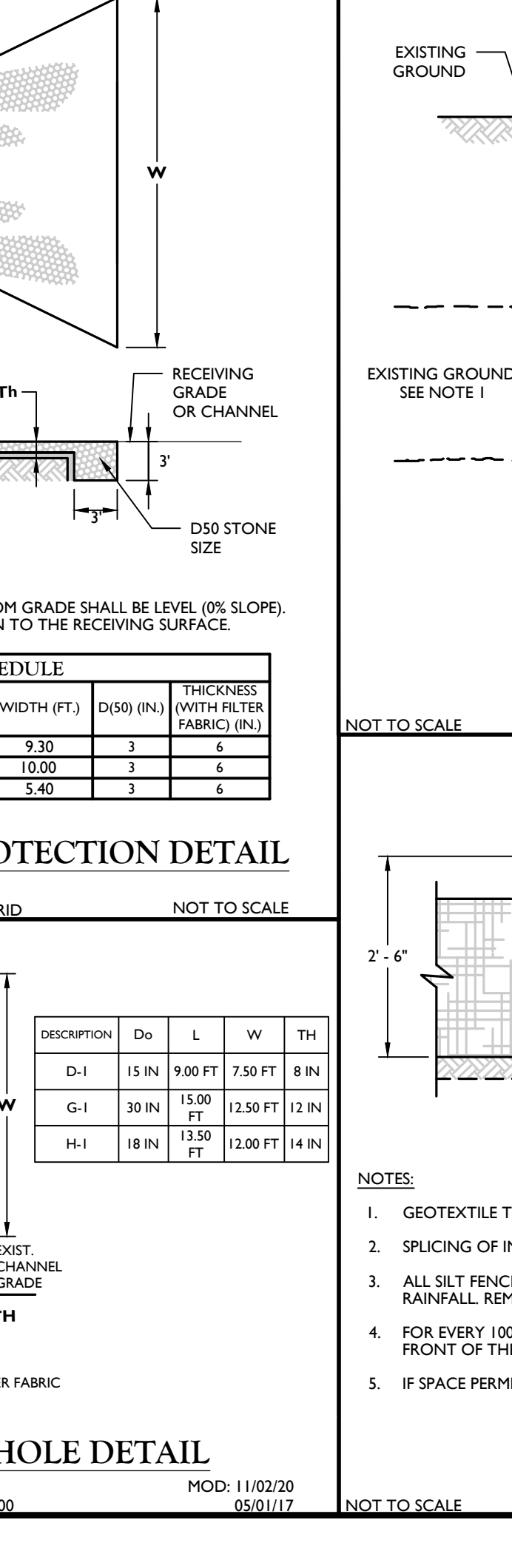
CONCRETE WASHOUT NOTES

MCSQ-SOIL-EROS-2300 MOD: 10/15/20 05/01/17 1. SPILL KITS SHALL BE AVAILABLE ON SITE OR ADJACENT TO THE SITE FOR ANY MATERIALS THAT ARE LISTED IN 2. ABOVE AND USED OR APPLIED ON SITE. ALL SPILLS OF SUCH MATERIAL SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY.

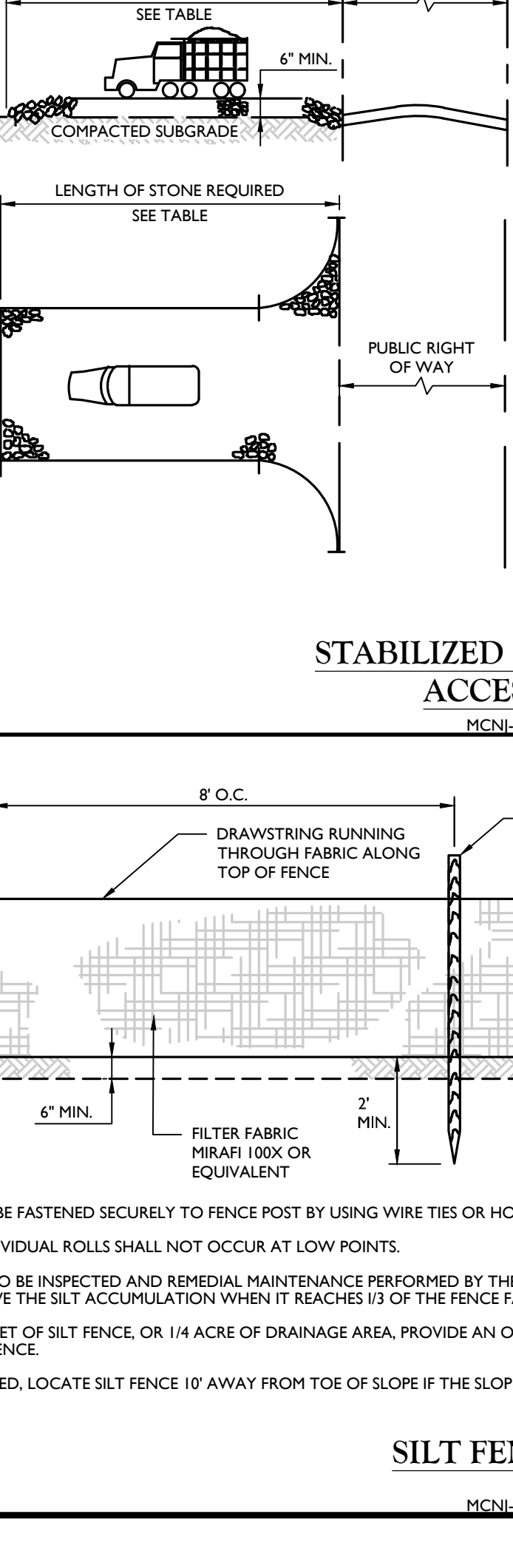
CONDUIT OUTLET PROTECTION DETAIL



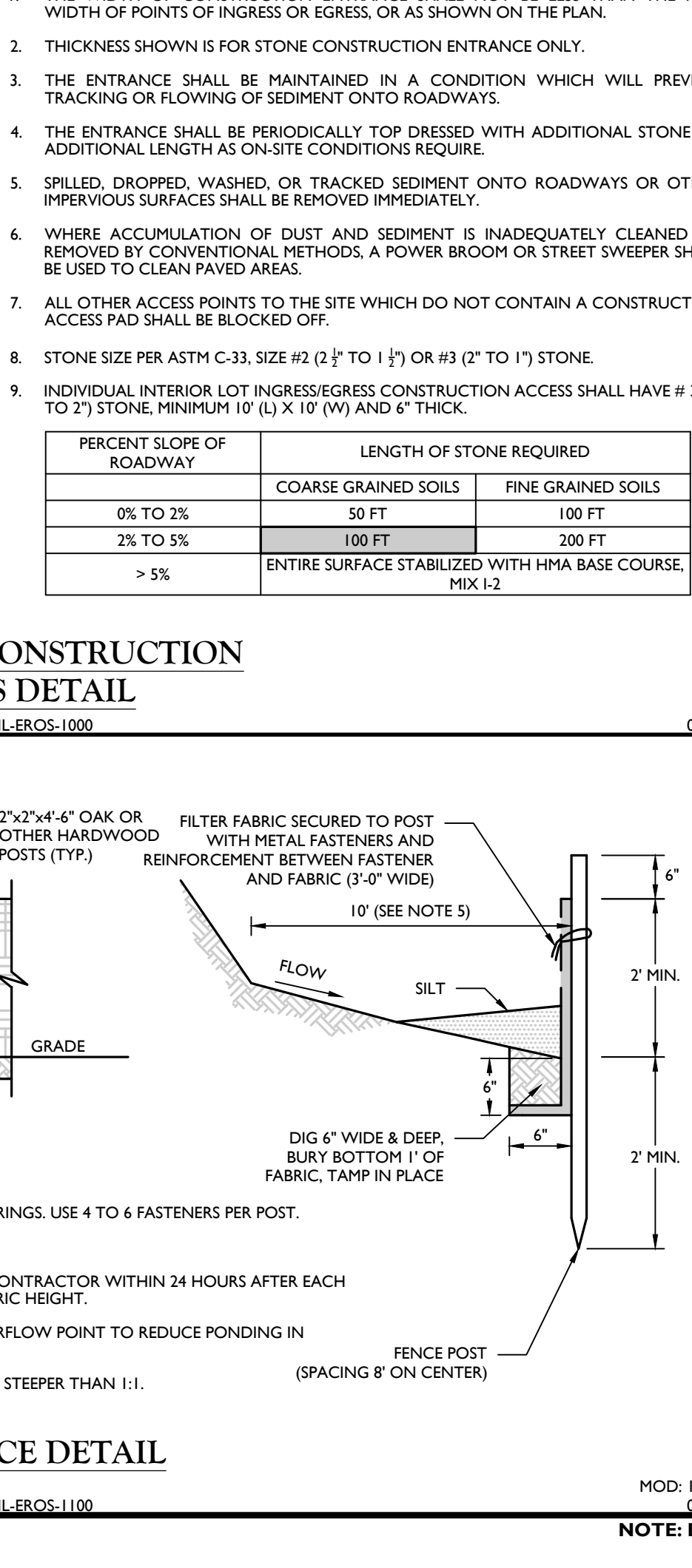
FILTER FABRIC SKINNER DISCHARGE SYSTEM WITH OUTLET STRUCTURE



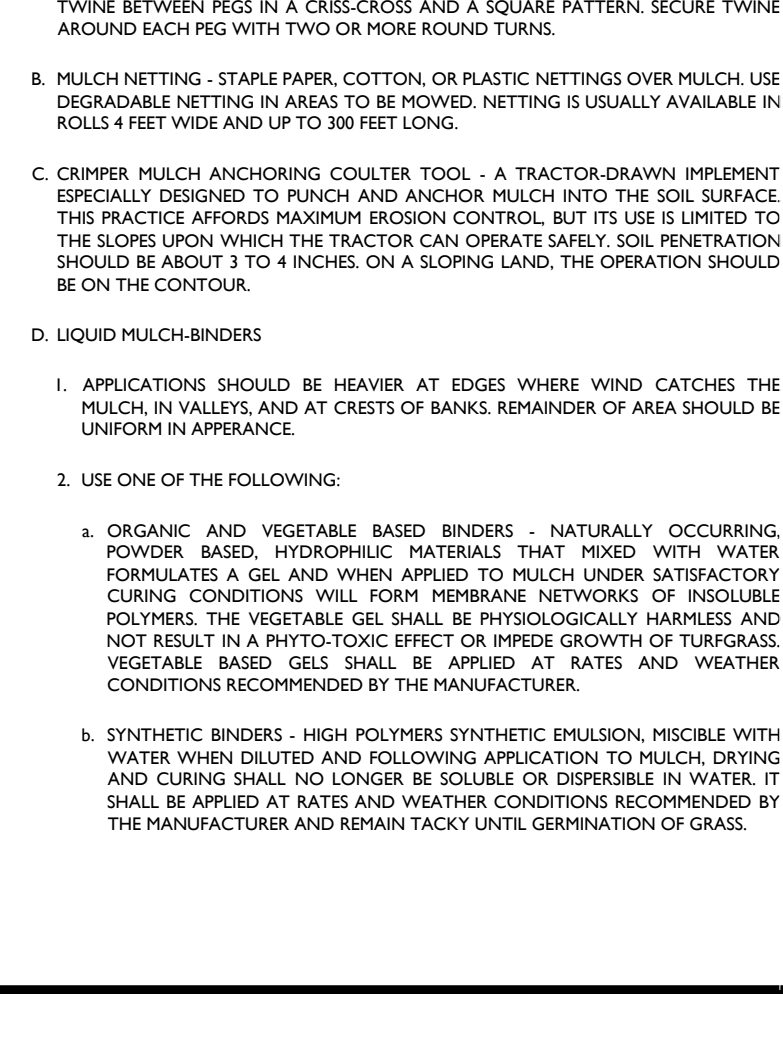
FAIR CLOTH SKINNER DISCHARGE SYSTEM WITH OUTLET STRUCTURE



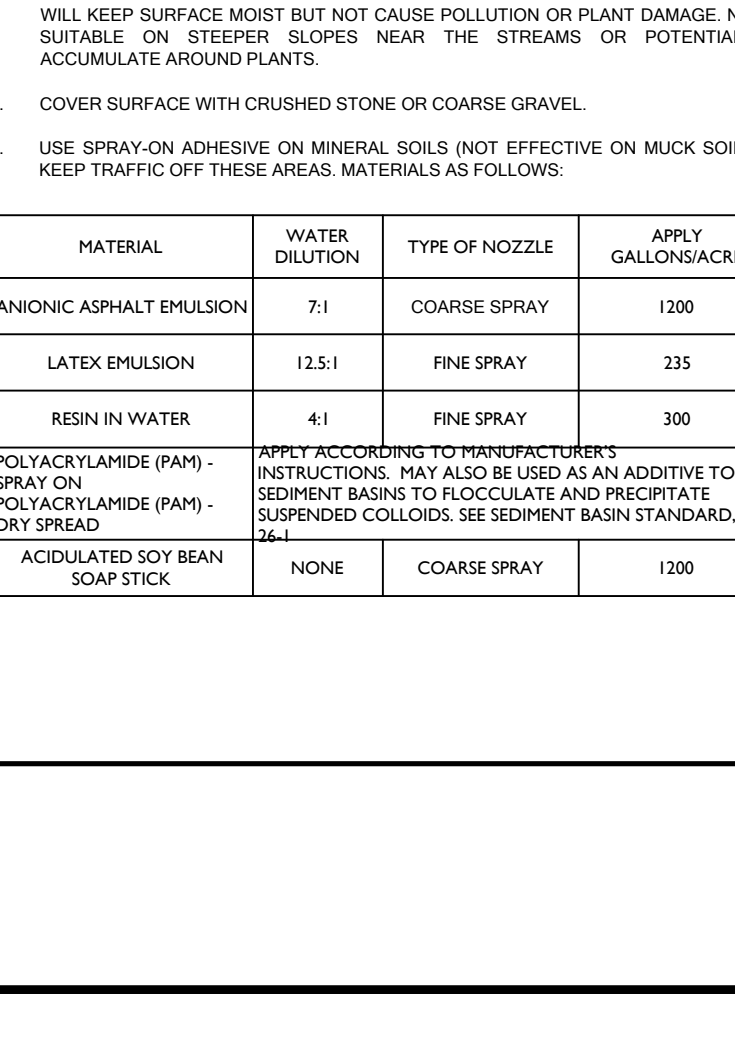
STABILIZED CONSTRUCTION ACCESS DETAIL



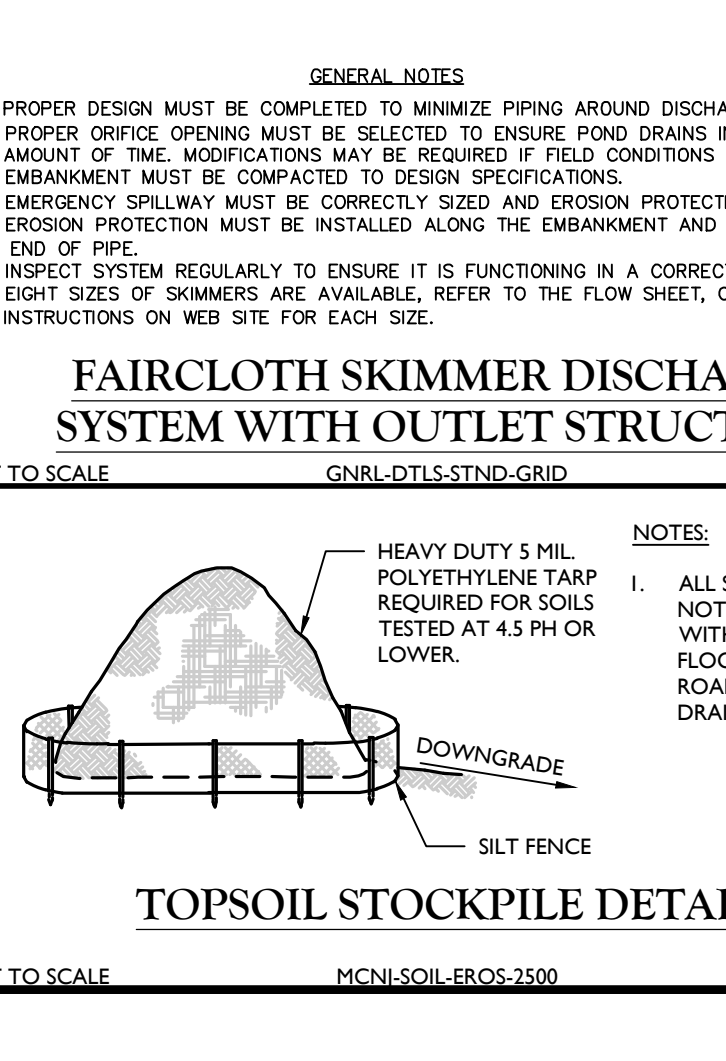
TOPSOIL STOCKPILE DETAIL



PREFORMED SCOUR HOLE DETAIL



SILT FENCE DETAIL



MASER CONSULTING logo and contact information. Includes New Jersey office location, a list of services (New Jersey, New Mexico, New York, Maryland, Pennsylvania, Georgia, Virginia, Texas, Florida, Tennessee, South Carolina, Colorado), and a professional engineer's signature and seal for Julia DeGeo.

GENERAL PLANTING NOTES

A. GENERAL

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
- OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.

B. PLANT MATERIAL

1. PLANT MATERIAL:

- PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.

4. PLANTING METHODS:

- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
 - STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER.
 - THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 1/2 TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.
 - TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE (1/4" WIDE RECOMMENDED FOR TREES UP TO 2 1/2 INCHES IN CALIPER).
- SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
- AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS.
- B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
- CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/2 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

D. MAINTENANCE

1. PRUNING:

- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
- THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.

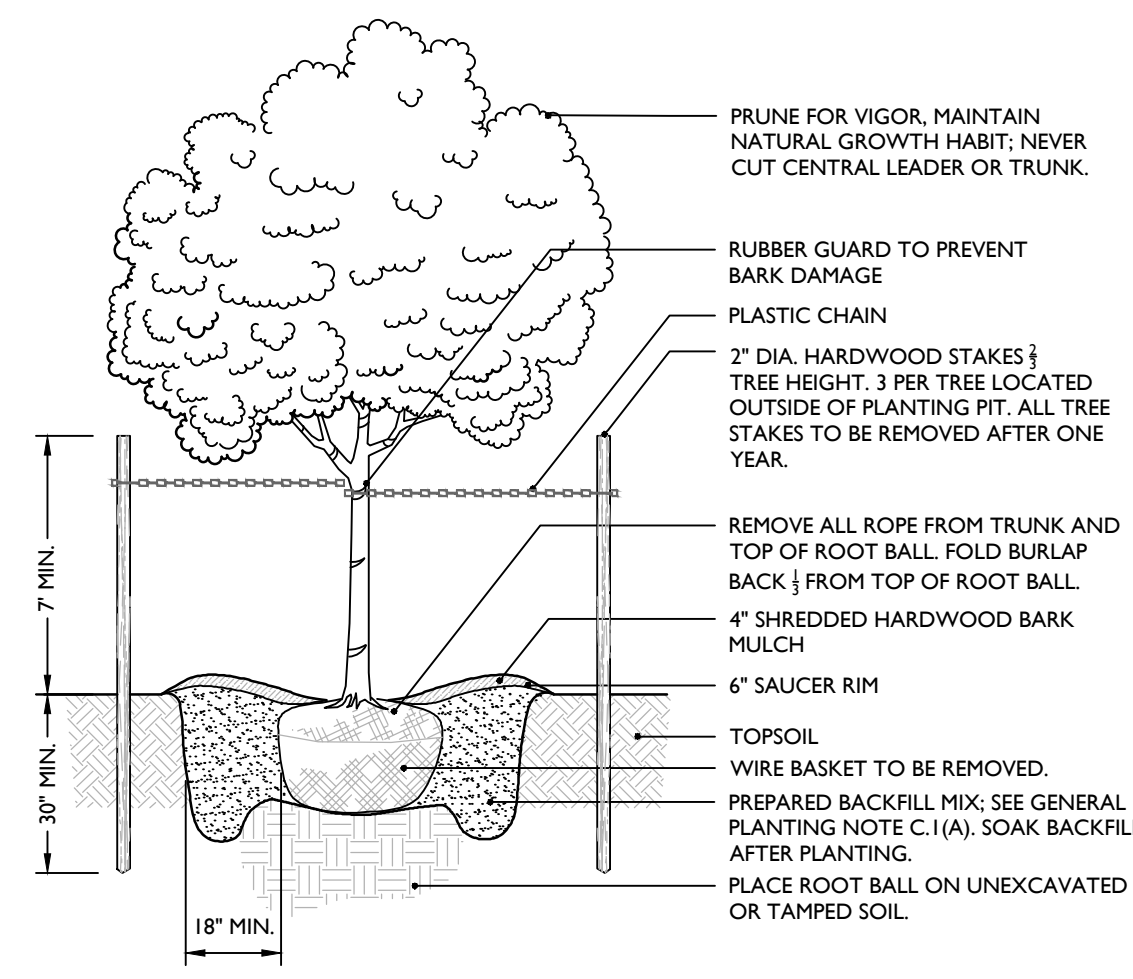
2. LAWN AREAS:

- THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.
- SOIL, IF SPECIFIED, SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
- EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
- SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

C. PLANTING PROCEDURES

1. PLANTING BEDS:

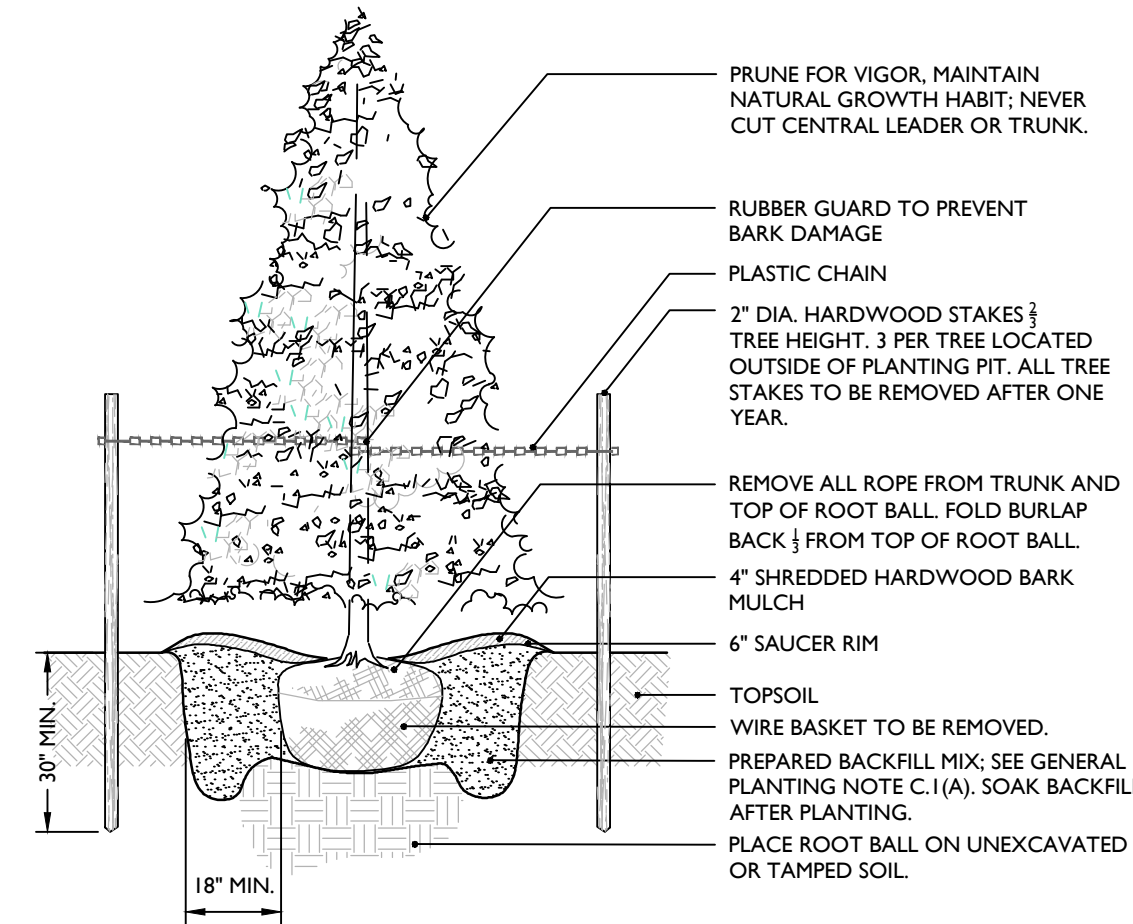
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
- PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR; UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
- SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
- PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.



NOTES:

- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

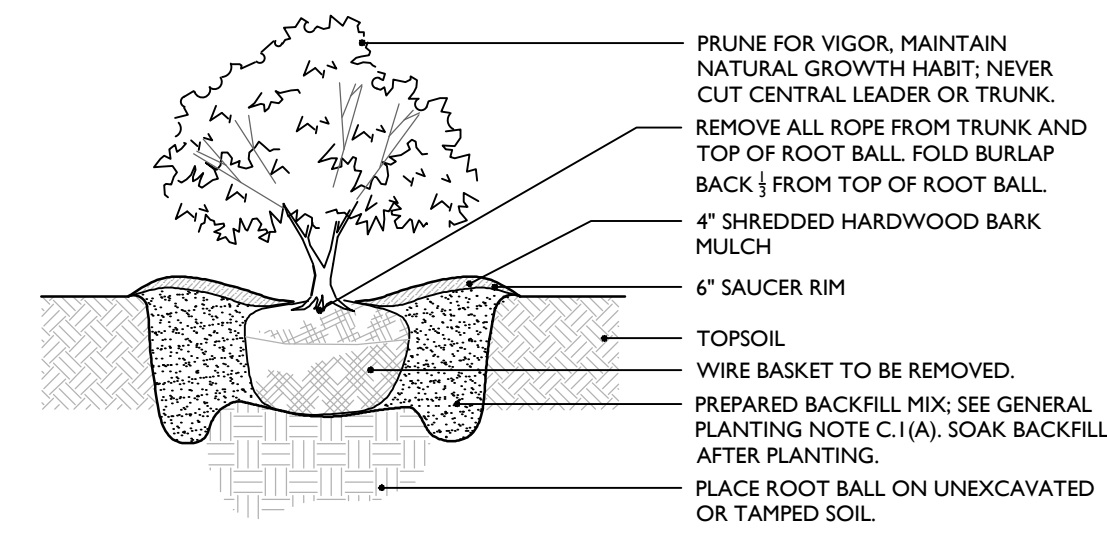
DECIDUOUS TREE PLANTING DETAIL



NOTES:

- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

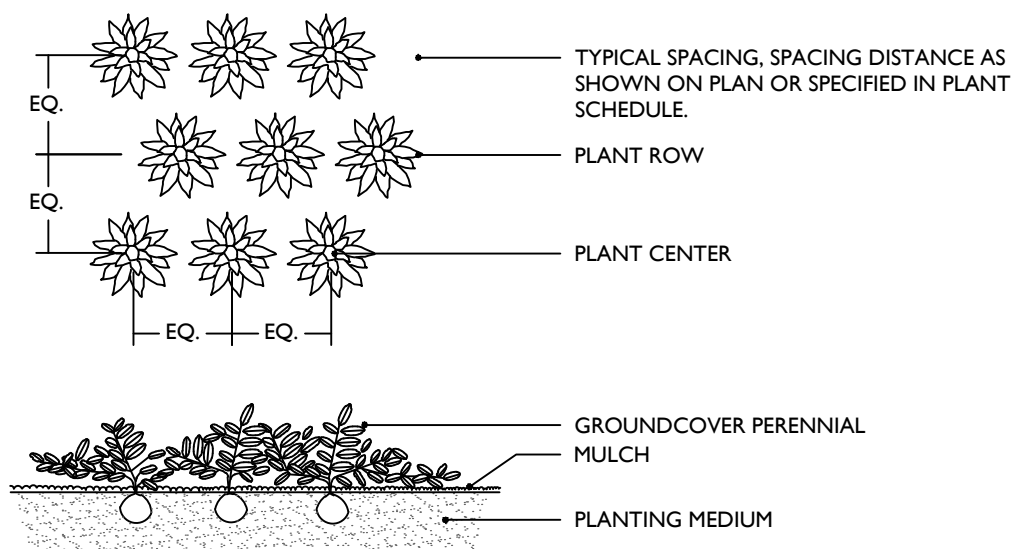
EVERGREEN TREE PLANTING DETAIL



NOTES:

- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

SHRUB PLANTING DETAIL



NOTES:

- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

GROUNDCOVER/PERENNIAL PLANTING DETAIL

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT	REMARKS
AG	4	ACER RUBRUM 'OCTOBER GLORY'™	OCTOBER GLORY MAPLE	B & B	2 1/2-3"		
BN	19	BETULA NIGRA	RIVER BIRCH	B & B		6-7'	MULTI-LEADER, FALL DIGGING HAZARD
LR	6	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'™	ROUND-LOBED SWEET GUM	B & B	2 1/2-3"		FALL DIGGING HAZARD
NS	12	NYSSA SYLVATICA	SOUR GUM	B & B	2 1/2-3"		FALL DIGGING HAZARD
QB	12	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2 1/2-3"		FALL DIGGING HAZARD
QP2	9	QUERCUS PALUSTRIS	PIN OAK	B & B	2 1/2-3"		
QP	7	QUERCUS PHELLOS	WILLOW OAK	B & B	2 1/2-3"		FALL DIGGING HAZARD
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT	REMARKS
IA2	53	ILEX OPACA	AMERICAN HOLLY	B & B	6-8' HT.		
JS2	12	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	B & B	6-8' HT.		
JW	28	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	B & B	6-8' HT.		
JE	48	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B & B	6-8' HT.		
PP	16	PICEA PUNGENS	COLORADO SPRUCE	B & B	6-8' HT.		
TI	28	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	B & B	6-8' HT.		
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT	REMARKS
CC	1	CERCIS CANADENSIS 'FOREST PANSY'™	FOREST PANSY REDBUD	B & B	2 1/2' CAL.		
CR	5	CORNUS FLORIDA RUBRA	PINK FLOWERING DOGWOOD	B & B	2 1/2' CAL.		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT	REMARKS
AA	10	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY/RED CHOKEBERRY	5 GAL	24-30"		
BG	14	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	3 GAL			
CO	10	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	5 GAL	24-30"		
CE	14	CORNUS SERICEA 'ELEGANTISSIMA'	VARIEGATED REDTWIG DOGWOOD	5 GAL	24-30"		
IC	16	ILEX CRENATA 'HELIERI'	HELIER JAPANESE HOLLY	3 GAL	18-24"		
IG	10	ILEX GLABRA	INKBERRY HOLLY	5 GAL	24-30"		
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT	REMARKS
CP	27	CALTHA PALUSTRIS	MARSH MARIGOLD	1 GAL			
ES	36	EUPATORIUM PURPUREUM	SAVANNAH JOE-PYE WEED	1 GAL			
IV	27	IRIS VERSICOLOR	BLUE FLAG	1 GAL			
LC	22	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL			

RETENTION SIDE SLOPE BASIN SEED MIX 'A' NOTES

SEED MIX A: SEASONALLY FLOODED WILDLIFE FOOD MIX
 BY ERNST SEEDS OR APPROVED EQUAL
 WET BASIN SLOPES
 MIX #: ERNPMX-128
 SEEDING RATE: 20 LBS PER ACRE, OR 1/2 LBS PER 1,000 SF

21.5% PANICUM CLANDESTINUM, 'TIOGA'	1.0% JUNCUS EFFLUSUS
20.0% ELYMUS VIRGINICUS	1.0% HELIOPSIS HELIANTHOIDES
16.6% ANDROPOGON GERARDII, 'NIAGARA'	0.8% AGROSTIS PERENNANS
15.0% ECHINOCHLOA CRUSGALLI VAR. FRUMENTACEA	0.1% ASCLEPIAS INCARNATA
10.0% CAREX VULPINOIDEA	0.1% ASTER NOVAE-ANGLIAE
8.0% PANICUM VIRGATUM, 'SHELTER'	0.1% EUPATORIUM FESTUOSUM
4.0% CHAMAECRISTA FASCICULATA	0.1% EUPATORIUM PERFOLIATUM
1.5% VERBENA HASTATA	0.1% MONARDA FISTULOSA
0.1% PYNANTHEMUM TENUIFOLIUM	



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REV	DATE	DRAWN BY	DESCRIPTION

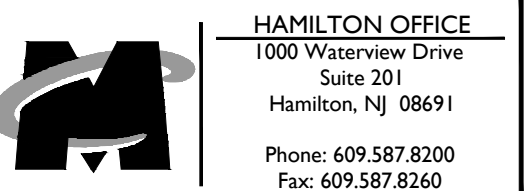
Raymond C. Liotta
Raymond C. Liotta
 NEW JERSEY LICENSED LANDSCAPE ARCHITECT
 LICENSE NUMBER: A500036
 MASER CONSULTING, INC.
 N.J. C.O.A. #: 24GA27985500

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR
483 - 485 ELIZABETH AVENUE

BLOCK 507.14
 LOTS 61 & 62

**FRANKLIN TOWNSHIP
 SOMERSET COUNTY
 NEW JERSEY**



SCALE: AS SHOWN	DATE: 10/30/20	DRAWN BY: JRD	CHECKED BY: RCL
PROJECT NUMBER: 19000649A	DRAWING NAME: C-LAND		

SHEET TITLE: **LANDSCAPE DETAILS**

SHEET NUMBER: **12 of 18**

3/20/2020 09:48 AM G:\Projects\Drawings\General\Site\New-C-LAND\ArC-C-1-LANDSCAPE DETAILS.dwg, BY: ADALDO

GENERAL NOTES

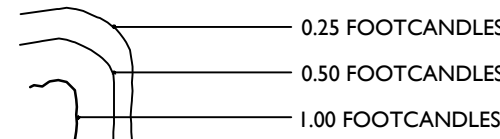
- THIS SHEET IS TO BE USED FOR LIGHTING PURPOSES ONLY.
- REFER TO SHEET 1 FOR GENERAL NOTES.

LIGHTING PLAN NOTES

- REFER TO SHEET 14 FOR LIGHTING DETAILS AND ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
- UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- CONCRETE FOOTING FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
- LUMINAIRES TO BE MANUFACTURED BY LITHONIA OR APPROVED EQUAL.
- LUMINAIRES AND POLE FINISHES TO BE NATURAL ALUMINUM.

LIGHTING LEGEND

- POLE MOUNT LUMINAIRE
- WALL MOUNT LUMINAIRE

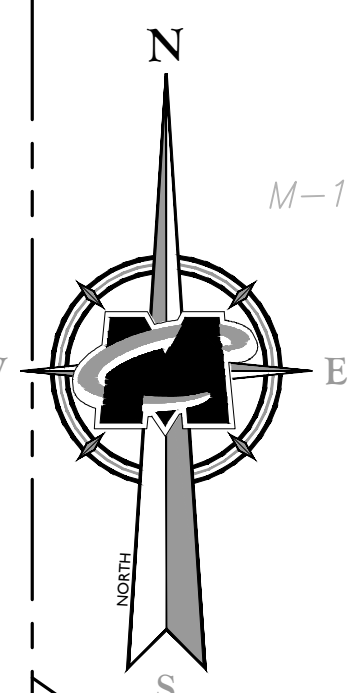
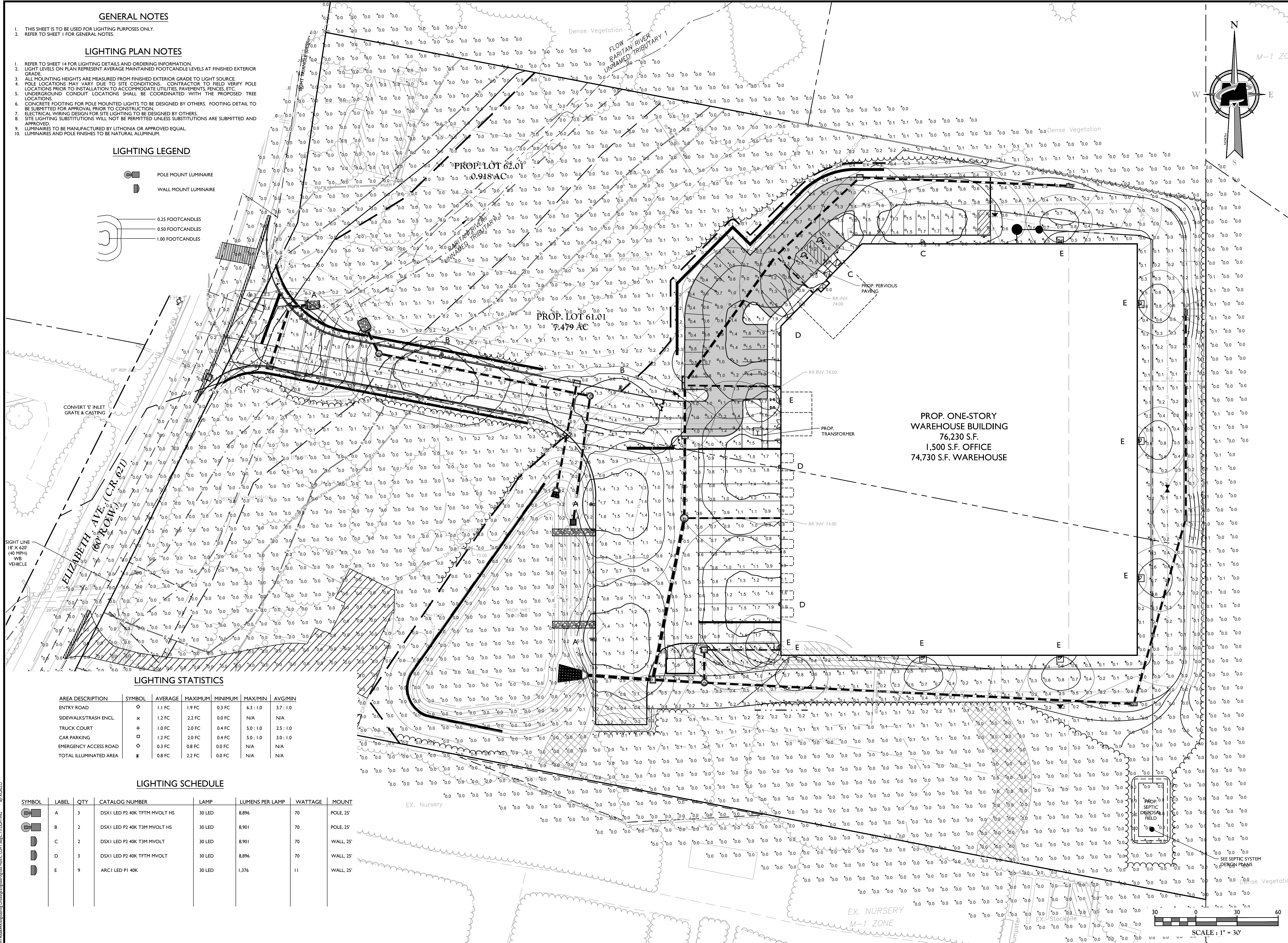


LIGHTING STATISTICS

AREA DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	MAX:MIN	AVG:MIN
ENTRY ROAD	◇	1.1 FC	1.9 FC	0.3 FC	6.3 : 1.0	3.7 : 1.0
SIDEWALKS/TRASH ENCL.	x	1.2 FC	2.2 FC	0.0 FC	N/A	N/A
TRUCK COURT	+	1.0 FC	2.0 FC	0.4 FC	5.0 : 1.0	2.5 : 1.0
CAR PARKING	□	1.2 FC	2.0 FC	0.4 FC	5.0 : 1.0	3.0 : 1.0
EMERGENCY ACCESS ROAD	◇	0.3 FC	0.8 FC	0.0 FC	N/A	N/A
TOTAL ILLUMINATED AREA	*	0.8 FC	2.2 FC	0.0 FC	N/A	N/A

LIGHTING SCHEDULE

SYMBOL	LABEL	QTY	CATALOG NUMBER	LAMP	LUMENS PER LAMP	WATTAGE	MOUNT
A	3	DSX1 LED P2 40K TFFM MVOLT HS	30 LED	8,896	70	POLE 25'	
B	2	DSX1 LED P2 40K T3M MVOLT HS	30 LED	8,901	70	POLE 25'	
C	2	DSX1 LED P2 40K T3M MVOLT	30 LED	8,901	70	WALL 25'	
D	3	DSX1 LED P2 40K TFFM MVOLT	30 LED	8,896	70	WALL 25'	
E	9	ARC1 LED P1 40K	30 LED	1,376	11	WALL 25'	



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REV	DATE	DRAWN BY	DESCRIPTION

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Raymond C. Liotta
 NEW JERSEY LICENSED LANDSCAPE ARCHITECT
 LICENSE NUMBER: A500036
 MASER CONSULTING, INC.
 N.J. C.O.A. # 24GA2798650

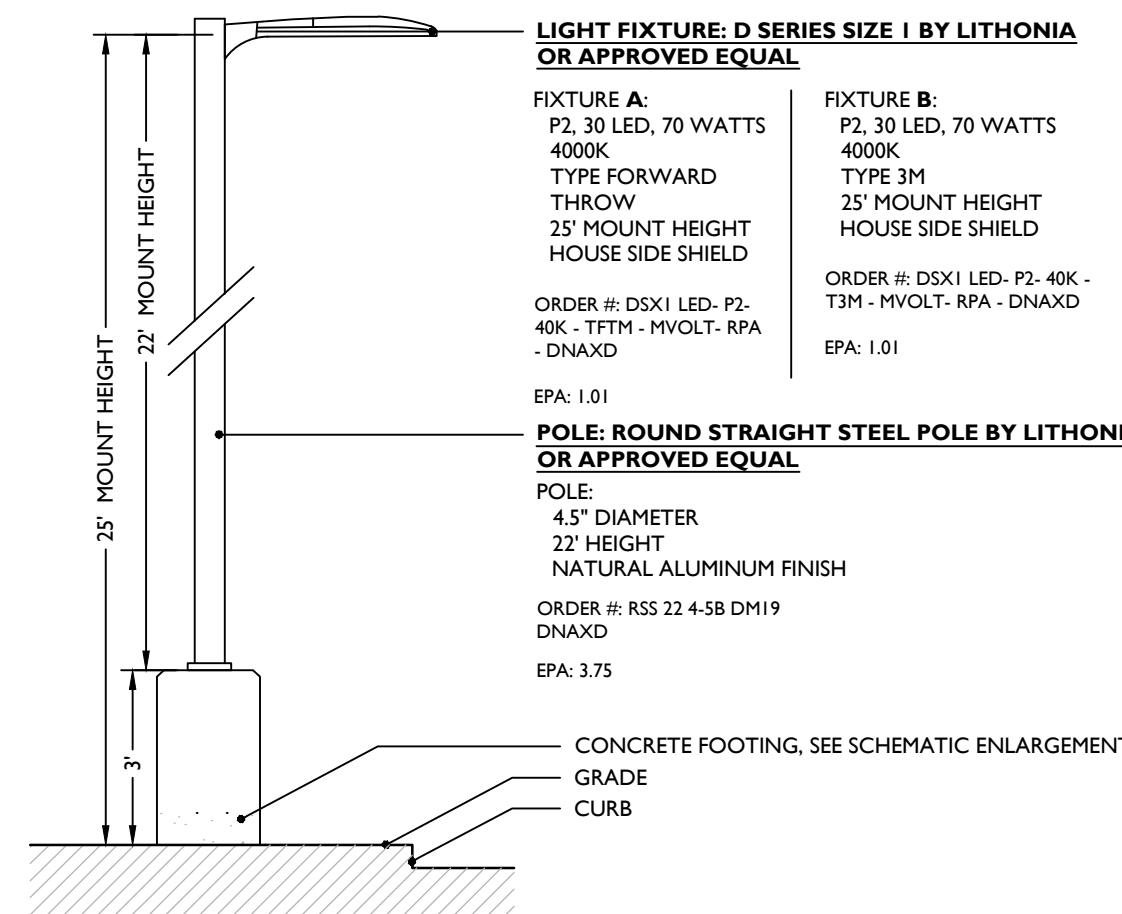
PRELIMINARY AND FINAL MAJOR SITE PLAN
 FOR
483 - 485 ELIZABETH AVENUE
 BLOCK 507.14
 LOTS 61 & 62
 FRANKLIN TOWNSHIP
 SOMERSET COUNTY
 NEW JERSEY

MASER CONSULTING
 HAMILTON OFFICE
 1000 Waterview Drive
 Suite 201
 Hamilton, NJ 08691
 Phone: 609.587.8200
 Fax: 609.587.8260

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	10/30/20	JRD	RCL
PROJECT NUMBER:	DRAWING NAME:		
1900049A	CLIGHT		

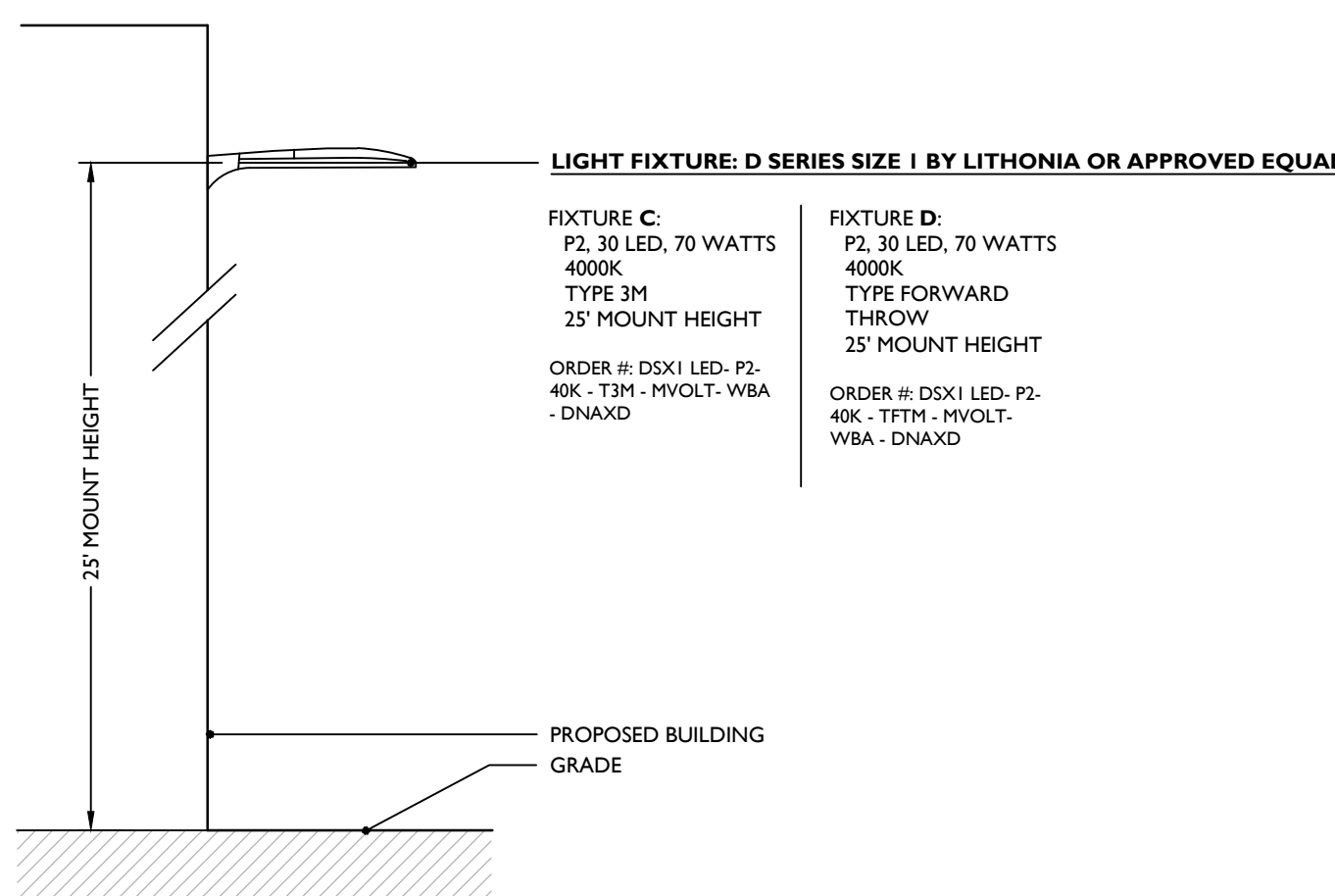
LIGHTING PLAN
 SHEET NUMBER:
13 of 18

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



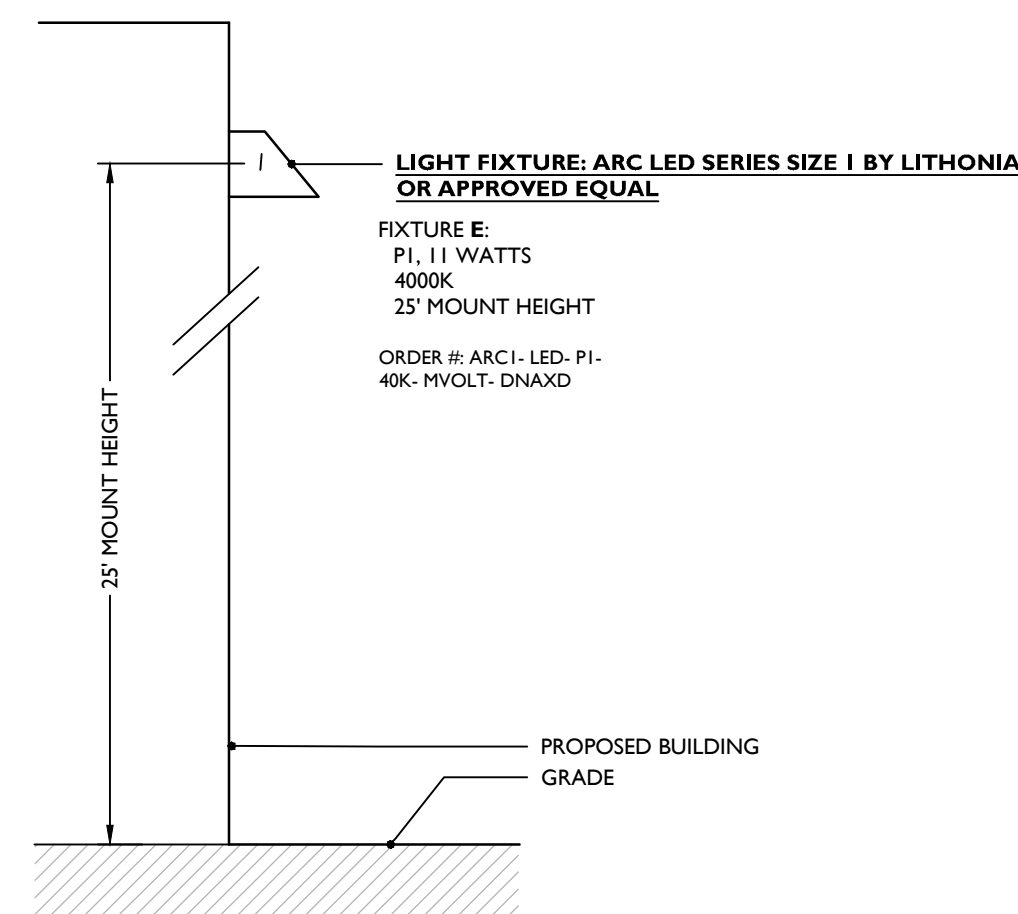
- NOTES:
- LIGHT TO BE MANUFACTURED BY LITHONIA OR APPROVED EQUAL
 - LIGHT FINISH TO BE NATURAL ALUMINUM COLOR
 - MOUNTING HEIGHT TO BE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE
 - MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS

POLE MOUNTED LUMINAIRE DETAIL



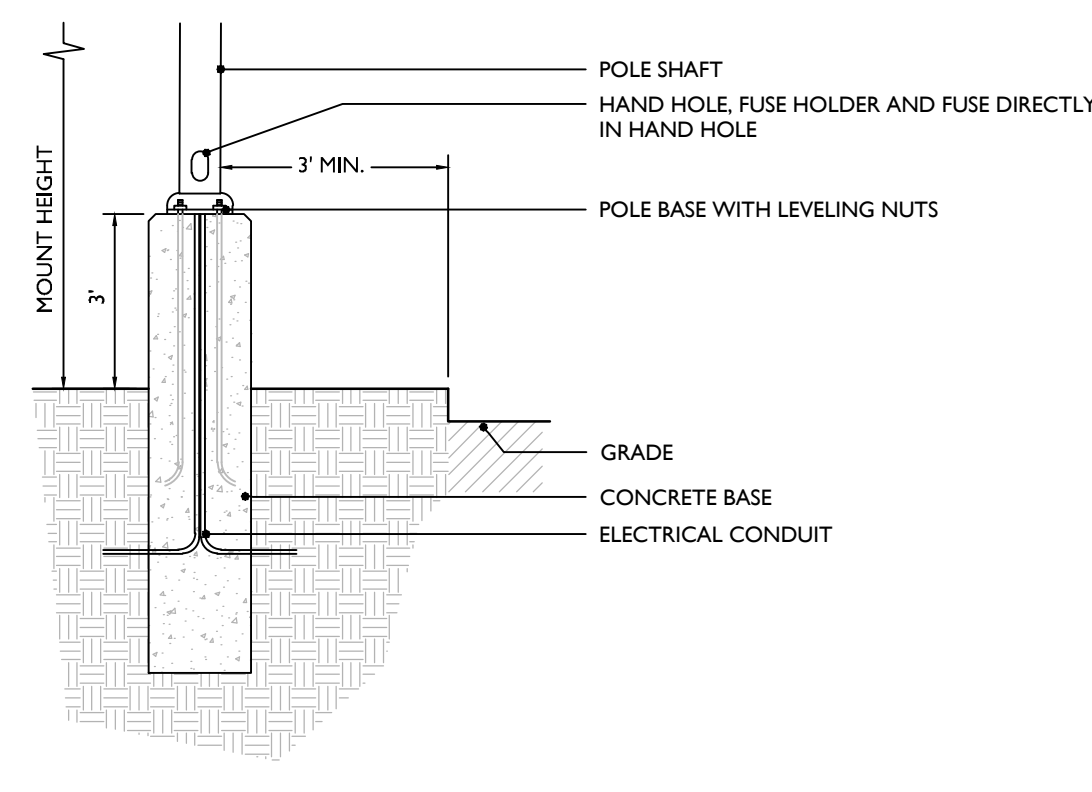
- NOTES:
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 - MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS

WALL MOUNTED LUMINAIRE DETAIL



- NOTES:
- LIGHT TO BE MANUFACTURED BY LITHONIA OR APPROVED EQUAL
 - LIGHT FINISH TO BE NATURAL ALUMINUM COLOR
 - MOUNTING HEIGHT TO BE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE
 - MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS

WALL MOUNTED LUMINAIRE DETAIL



- NOTES:
- FOOTING SHOWN IS SCHEMATIC ONLY. SHOP DRAWINGS AND CALCULATIONS FOR THE DESIGN AND SIZING OF THE CONCRETE FOOTING SHALL BE PREPARED BY A PROFESSIONAL ENGINEER, AND SHALL BE PROVIDED BY THE CONTRACTOR FOR THE APPROVAL PRIOR TO CONSTRUCTION.
 - SEE ELECTRICAL CONTRACTOR TO COORDINATE LOCATED OF EASEMENTS, UNDERGROUND UTILITIES, AND DRAINAGE AREAS BEFORE DRILLING POLE BASES.

CONCRETE FOOTING SCHEMATIC DETAIL

LITHONIA LIGHTING

ANCHOR BASE POLES

RSS

ROUND STRAIGHT STEEL

Features & Specifications

INTENDED USE - These specifications are for USA standards only. Check with factory for Canadian specifications. Round Straight Steel is a general purpose light pole for up to 30 foot mounting heights. This pole provides a robust yet cost-effective option for mounting area lights and floodlights.

CONSTRUCTION - Pole Shaft: The pole shaft is of 120" uniform wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 42,000 psi. Shaft is one piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly round in cross-section down length of shaft with no square. Standard shaft diameters are 3", 4", 4.5" and 5" diameter shaft available by quote. Shaft wall thickness of 180" and 220" are available with certain tube diameters.

Pole Top: Options include: tension top, drilled for side-mount fixture, tension with drilling (includes extra hardware) and open top. Side drilled and open top poles include a removable press-fit, black, low density polyethylene top cap.

Hardware: A reinforced handhole with grounding provision is provided at 12" from the base end of the pole assembly on side A. Every handhole includes a cover and cover attachment hardware. 2.5" x 9" rectangular handhole is provided on pole.

Base Cover: A two-piece ABS plastic full base cover is provided with each pole assembly. Additional base cover options are available upon factory request. Options include fabricated two-piece sheet steel top or heavy duty two-piece cast aluminum full base cover. All base covers are finished to match pole.

Anchor Base/Bolts: Anchor base is fabricated from hot-rolled carbon steel plate that conforms with ASTM A36. Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an 11" thread on one end. All anchor bolts are hot-dipped galvanized to a minimum of 17" nominal on the threaded end. Anchor bolts are made of steel rod having a minimum yield strength of 55,000 psi and a yield strength of 75,000 psi to 95,000 psi.

Hardware - All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

Finish - Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Terra Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to: Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

WARRANTY - 1 year limited warranty. Complete warranty terms located at: www.aquaticbrands.com/support/customer-support/terms-and-conditions

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Ordering form with Catalog Number, Notes, and Type fields.

LUMINAIRE A, B, C, AND D

D-Series Size 1 LED Area Luminaire

Specifications

EPA: 1.01 (200 lm/W)

Length: 33" (813 mm)

Width: 13" (330 mm)

Height H1: 7-1/2" (190 mm)

Height H2: 3-1/2" (89 mm)

Weight (max): 27 lbs (12 kg)

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLAIR2 PIRHN DDBXD

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	30K 3000K 40K 4000K 50K 5000K	T1S Type I short (distorted) T2S Type II short T2M Type II medium T2W Type II wide BLC Backlight control LCCD Left corner cutoff RCCD Right corner cutoff	TSVS Type V very short TSS Type V short TSM Type V medium TSW Type V wide 277' Backlight control 277' LCCD 347' RFLUMBA 480' RFLUMBA	MVOLT SPA TSM EWB SPUMBA RFLUMBA

Shipped installed

Control options

Shipped separately

Other options

Finish options

LITHONIA LIGHTING COMMERCIAL OUTDOOR

RSS Round Straight Steel Pole

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative. Example: RSS 20 4-5B DM19 DDB

Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting	Options	Finish
RSS	8'-30" (For 1/2 ft increments, add .6 to the pole height. Ex. 35.6 equals 20ft.6in.)	38 3" (120") 48 4" (120") 58 5" (120") 68 6" (120")	Tension mounting PT Open top T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) T35 4" O.D. (3-1/2" NPS) KAC/KAD/KAE/KAF/KAG/KAH/KAJ/KAK Drill mounting	Shipped installed LAB Less anchor bolts (include when anchor bolts are not needed) L/FBC Less full base cover (include to order pole without a base cover) VD Vibration damper TP Tamper resistant handhole cover fasteners HAY Horizontal arm bracket (CI finish) ^{1,4} FDKY Festoon outlet less electrical ¹ CPL2LY 1/2" coupling ¹ CPL4LY 3/4" coupling ¹ CPL1LY 1" coupling ¹ NPL34LY 1/2" threaded nipple ¹ NPL4LY 3/4" threaded nipple ¹ NPL1LY 1" threaded nipple ¹ EDLY Extra handhole ^{1,4} MAEX Match existing ¹ USPOM United States point of manufacture ¹ IC Interior coating ¹ UL UL listed with label (includes NEC compliant cover) NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled)	Standard colors DDBD Dark bronze DWBK White DBLD Black DMXD Medium bronze DNAXD Natural aluminum CALV Galvanized finish CLASSIC Classic colors DSS Sandstone DSC Charcoal gray DTC Terra green DRR Bright red DSB Steel blue Architectural colors (order by finish) ¹ GALV Galvanized Paint over Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes available.

Notes

1. All thickness will be galvanized with a "C" (11 Gauge) or "V" (7 Gauge) in nomenclature. "V" = 1.198" (1" - 0.179)
2. PT open top poles include top cap (then additional mounting and drill mounting for the same pole. Follow this example: DM20 T20. The combination includes a required extra handhole.
3. Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.
4. Insert "1" or "2" to designate fixture size e.g. DM19AST1.
5. Specify location and orientation when ordering options for "Y". Specify the height above the base of pole in feet or feet and inches separate feet and inches with a "+" Example: 35 = 3 and 20ft.6in = 20.516ft. Specify orientation from handhole (L,R,D) then from handhole orientation display below. Example: 1/2" coupling at 5', orientation C = CPL125-R

LITHONIA LIGHTING

OUTDOOR: One Lithonia Way, Conyers, GA 30012 Phone: 800-705-SERV (7378) www.lithonia.com

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LUMINAIRE E

ARC1 LED Architectural Wall Luminaire

Specifications

Depth (D1): 6.5"

Depth (D2): 4.75"

Height: 5"

Width: 11"

Weight: 7 lbs (without options)

Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback. ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Approximate Lumens (0.900k)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	-	1,500	2,000	3,000	-	-
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC1 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC1 LED	P1 1,500 Lumens P2 2,000 Lumens P3 3,000 Lumens	30K 3000K 40K 4000K 50K 5000K	MVOLT 347	E4WH Emergency battery backup, CE compliant (EM, 0°C min) FE Button type photocell for dusk-to-dawn operation DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) SPDRY 8W surge protection ¹ FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% ¹	DDBD Dark bronze DWBK Black DBLD Black DNAXD Natural aluminum DWBK White DSSD Sandstone DDBXD Textured dark bronze DRBXD Textured black DM47D Textured natural aluminum DWBXD Textured white DSSXD Textured sandstone

Accessories

1. 347V not available with E4WH.
2. FAO not available with DMG.

LITHONIA LIGHTING COMMERCIAL OUTDOOR

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ARC1 LED Rev. 10/14/20

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LICENSE NUMBER: A500036
MASER CONSULTING, INC.
NJ, C.O.A. #: 246A27986500

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR

483 - 485 ELIZABETH AVENUE

BLOCK 507.14
LOTS 61 & 62

FRANKLIN TOWNSHIP
SOMERSET COUNTY
NEW JERSEY

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Suite 201
Hamilton, NJ 08691
Phone: 609.587.8200
Fax: 609.587.8260

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PROJECT NUMBER: 1900049A DRAWING NAME: C-LGHT

SHEET TITLE: LIGHTING DETAILS

SHEET NUMBER: 14 of 18

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