

# PRELIMINARY AND FINAL SUBDIVISION PLAN

PREPARED FOR

## LOT 14.02 IN BLOCK 286

SITUATED IN

### FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

#### GENERAL NOTES

- SUBJECT PROPERTY IS KNOWN AS BLOCK 286 LOT 14.02 AS SHOWN ON SHEET 63.03 OF THE OFFICIAL TAX MAP OF FRANKLIN TOWNSHIP.
- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM PLAN TITLED "PROPERTY SURVEY FOR BLOCK 286, LOT 14.02, FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" BY VAN CLEEF ENGINEERING ASSOCIATES, PAMELA MATHEWS, N.J.P.E. & L.S.LIC. NO. 41181 AND DATED NOVEMBER 7, 2017.
- THIS MAP IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD' 83 AND NAVD' 88.
- SURROUNDING EXISTING FEATURES & TOPOGRAPHY TAKEN FROM "OVERALL AS BUILT GRADING PLAN FOR VIKING AVENUE MAJOR SUBDIVISION, FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" BY VAN CLEEF ENGINEERING ASSOCIATES, LAST REVISED JULY 23, 2007 CONVERTED TO NAVD' 88.
- ALL PROPOSED UTILITIES ARE TO BE LOCATED UNDERGROUND AND SHALL BE APPROVED BY THE APPLICABLE AGENCIES AND UTILITY COMPANY.
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ON CALL SERVICE AT 811 OR 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENT AS REQUIRED TO AVOID CONFLICTS.
- PROPOSED UTILITY LOCATIONS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIAL, TREES, TREE STUMPS, BRUSH OR OTHER SURPLUS MATERIAL. ALL SUCH MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
- MAXIMUM PROPOSED GRADING SLOPE ON SITE IS 3:1 UNLESS OTHERWISE NOTED.
- ALL WHEELCHAIR ACCESSIBLE RAMPS AND PARKING SPACES SHALL MEET THE REQUIREMENTS OF CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST EDITION. SIGNS SHALL CONFORM TO STANDARD MUTCD SIZES UNLESS OTHERWISE APPROVED BY THE GOVERNING AUTHORITY.
- ALL CONSTRUCTION IS TO BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE MUNICIPAL, COUNTY AND STATE AGENCY REQUIREMENTS.
- CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION AND AMENDMENTS).
- SITE AND UTILITY WORK ARE TO BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO EXISTING VEGETATION AND TREES. ALL AREAS NOT AFFECTED BY CONSTRUCTION ARE TO REMAIN NATURAL, AND PROTECTED BY APPROPRIATE FENCING.
- TREE CLEARING SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND SHALL INCLUDE THE REMOVAL FROM THE SITE OF ALL STUMPS, ROOTS AND VEGETATIVE DEBRIS REMNANTS.
- COMPACTION OF FILL AREAS, BACKFILL FOR PROPOSED UTILITIES AND UNDER CONCRETE STRUCTURES, SHALL MEET ALL CODE REQUIREMENTS AND BE EQUAL TO A MINIMUM 95% MODIFIED PROCTOR DENSITY.
- ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM. OPEN TRENCHES SHALL BE STEEL PLATED AND/OR BARRICADED WHEN WORK IS NOT IN PROGRESS.
- ALL EXISTING CONTOUR LINES, PROFILES AND SPOT ELEVATIONS ARE APPROXIMATE. ALL PROPOSED CONTOURS SHALL BE GRADED TO BLEND EVENLY WITH EXISTING CONTOURS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SURROUNDING PROPERTY AND SHALL RESTORE ANY PROPERTY DAMAGED AS A RESULT OF HIS OPERATIONS. ALL RESTORATION COSTS WILL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST.
- APPLICANT SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL ENGINEER'S OFFICE AND PROVIDE MINIMUM 48 HOURS NOTICE PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO NJAC 5:28-2.21 OF THE NJ UNIFORM CONSTRUCTION CODE AND CFR 1926.32(F) (OSHA COMPETENT PERSON).
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS HAVE BEEN SATISFIED AND PLANS MARKED AS "ISSUED FOR CONSTRUCTION".
- ANY DISCREPANCIES ENCOUNTERED BETWEEN FIELD CONDITIONS AND DESIGN PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO INSTALLATION OF IMPROVEMENTS.
- AN AS-BUILT PLAN PREPARED BY A LICENSED LAND SURVEYOR IS TO BE SUBMITTED TO THE TOWNSHIP PRIOR TO ANY "CERTIFICATE OF OCCUPANCY INSPECTION OR THE RELEASE OF PERFORMANCE BONDS.
- NO SOIL CAN BE IMPORTED TO OR REMOVED FROM THE SITE UNTIL A SOIL IMPORTATION OR EXPORTATION PERMIT HAS BEEN OBTAINED FROM THE TOWNSHIP AS REQUIRED BY THE ORDINANCE. SOIL REMOVAL SHALL BE IN ACCORDANCE WITH §206 OF THE ORDINANCE.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THE SET.

#### UTILITY OWNERS

RIGHT-OF-WAY DEPARTMENT  
BUCKEYE PIPE LINE COMPANY  
P.O. BOX 368  
EMMAUS, PA 18049-0368

VERIZON  
BUSINESS MANAGER  
COMCAST CABLE  
279 AMHILL ROAD  
HILLSBOROUGH, NJ 08844

RIGHT-OF-WAY-DEPARTMENT  
SINCOO PIPELINE L.P.  
MONTELEO COMPLEX  
525 FRITZTOWN ROAD  
SINING SPRING, PA 19608

THE COUNTY OF SOMERSET  
P.O. BOX 3000  
SOMERSET, NJ 08876

MIDDLESEX COUNTY  
40 LIVINGSTON AVENUE  
NEW BRUNSWICK, NJ 08901

N.J. DEPT. OF TRANSPORTATION  
1305 PARKWAY AVENUE  
TRENTON, NJ 08625

A T & T  
340 MT. KIMBLE AVENUE  
MORRISTOWN, N.J. 07960

PUBLIC SERVICE ELECTRIC & GAS CO.  
80 PARK PLAZA  
BOX 570  
NEWARK, N.J. 07101

NEW JERSEY AMERICAN WATER  
(FNM ELIZABETH TOWN WATER CO.)  
1341 NORTH AVENUE  
PLAINFIELD, N.J. 07061-0001

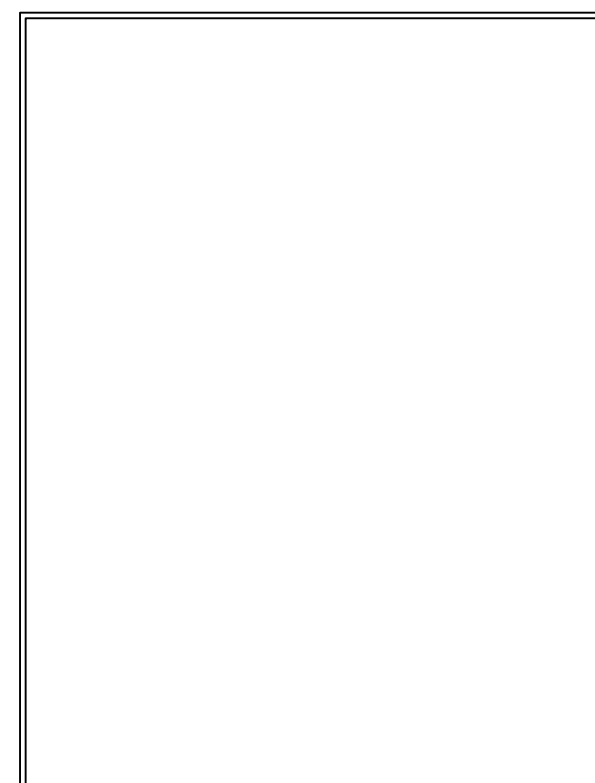
#### APPLICANT

MOHAMED OUDA  
FOREPOINT CONTRACTING  
252 MELVIN AVENUE  
STATEN ISLAND, NY 10314  
646-420-9451

#### OWNER / APPLICANT

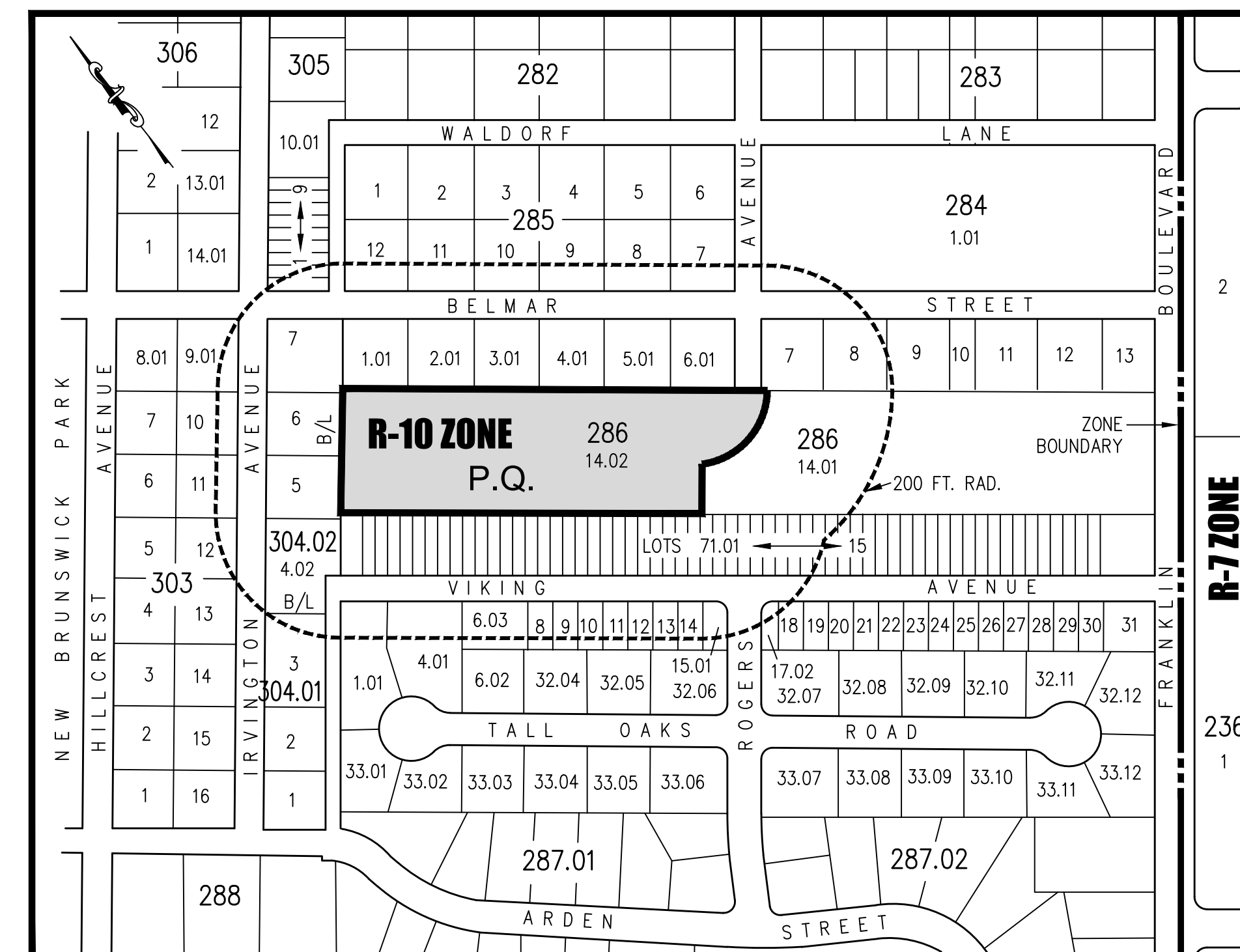
MOHAMED OUDA  
FOREPOINT CONTRACTING  
252 MELVIN AVENUE  
STATEN ISLAND, NY 10314  
646-420-9451

SOMERSET COUNTY  
ACCEPTANCE STAMP



THESE PLANS ARE NOT ACCEPTED FOR CONSTRUCTION UNLESS THIS BLOCK IS STAMPED "ACCEPTED AS SUBMITTED" BY A STAFF MEMBER OF THE SOMERSET COUNTY ENGINEERING DIVISION. BIDS FOR CONSTRUCTION SHOULD NOT BE BASED ON THESE PLANS UNTIL THE PLANS ARE ACCEPTED BY THE COUNTY.

ACCEPTANCE OF THESE PLANS EXPIRES TWO (2) YEARS FROM THE STAMPED DATE.



FRANKLIN TOWNSHIP TAX MAP No. 60.03

KEY MAP

SCALE: 1"=200' ±



PREPARED BY  
**VAN CLEEF ENGINEERING ASSOCIATES, LLC**  
P.O. BOX 5877  
32 BROWER LANE  
HILLSBOROUGH, NEW JERSEY 08844

DECEMBER 15, 2017

JULY 20, 2021

JULY 30, 2021

MARCH 24, 2022

FEBRUARY 24, 2024

#### PROPERTY OWNERS WITHIN 200 FT.

BLOCK	LOT	OWNER	BLOCK	LOT	OWNER
284	1.01	ETERNAL LIFE CHRISTIAN CENTER	287.01	1.01	PENDEZ, BLOSSOM L
285	6,7	WALKER, J/B	287.01	4.01	SAVAGE, UMARR & RADJATU
285	8,9 & 11	FRANKLIN TOWNSHIP	287.01	6.02	ALDRICH, DIANE HELEN
285	10,12	KANG, JAMES	287.01	6.03	ALDRICH, DIANE & BOOKER, DEBRA
286	1.01	PARHAM, ROBERT F.	287.01	8,9	YOUNG, ALVIN & HORTENSE
286	2.01	GLOVER, M/GLOVER, M. ETAL TRSTS	287.01	10,11 & 12	BARRETT, NORMA F PASCAL
286	3.01	GIBBIONS, JANES JR & REGINA	287.01	13,14 & 15	AKOO-ACHAMPONG, PHIPPS E. & ROSEI
286	4.01	DENG, LIQUN & XIAOYAN CHEN	287.02	17.02	JABBIE, ISATU & KAHARA, MOHAMED RODRIGUEZ, KIZZY MARIE
286	5.01	KARIM, MOHAMMAD HAMID	303	9.01	SATHARASINGHE, SANDANI A. & SADEEP, D.
286	6.01	LEWIS, GERARD R. & CANDY D.	303	10	MCGEE, ROBERT & RETHA
286	7, 8	HAWKINS, ROBERT B.	303	11	BROWN, DESMOND S. & JEAN E.
286	9, 10	WATKINS, JACOB J.	303	12	BAILEY, ROBERT & PATRICIA STONE
286	14.01	MOUNT CARHEL CHURCH INC.	303	12	WELLS, WAYNE
286	17-25	KELLS, WAYNE	304.01	3	GOTTLIEB, SIDNEY
286	26-30	DUMBUYA, AFARAN T.	304.01	4.02	SOFOGTI, EUGENE
286	31.01	BROADNEX, DWAYNE & CECILY L.	304.01	5	MARSHALL, WILLIAM S. & BETTY J.
286	36.01	ARISTRONG, EDWARD O. & NICOLETTE R.	304.01	6	LE HAT, MANASES L. & LINDA
286	41.01	PATEL, PARTHIV D.	304.01	7	EKNERE, AUGUSTINE T. & MERCY A.
286	46.01	NATSOFT CORPORATION	305	1-5	JENKINS, GLENN C.
286	51.01	ODURO, KHAME & OLIVIA SOMUAH			
286	56.01	BRIDGES, CHRISTOPHER L & BROWN, IVY			
286	61.01	ANIFOMOSHE, MUHAMMAD M & EBIRIM, K.			
286	66.01	COOPER, SHERRY A.			
286	71.01	NEKTON, JAMES A. & VEATRECE M.			

PRELIMINARY AND FINAL SUBDIVISION PLAN  
LOT 14.02 IN BLOCK 286  
FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

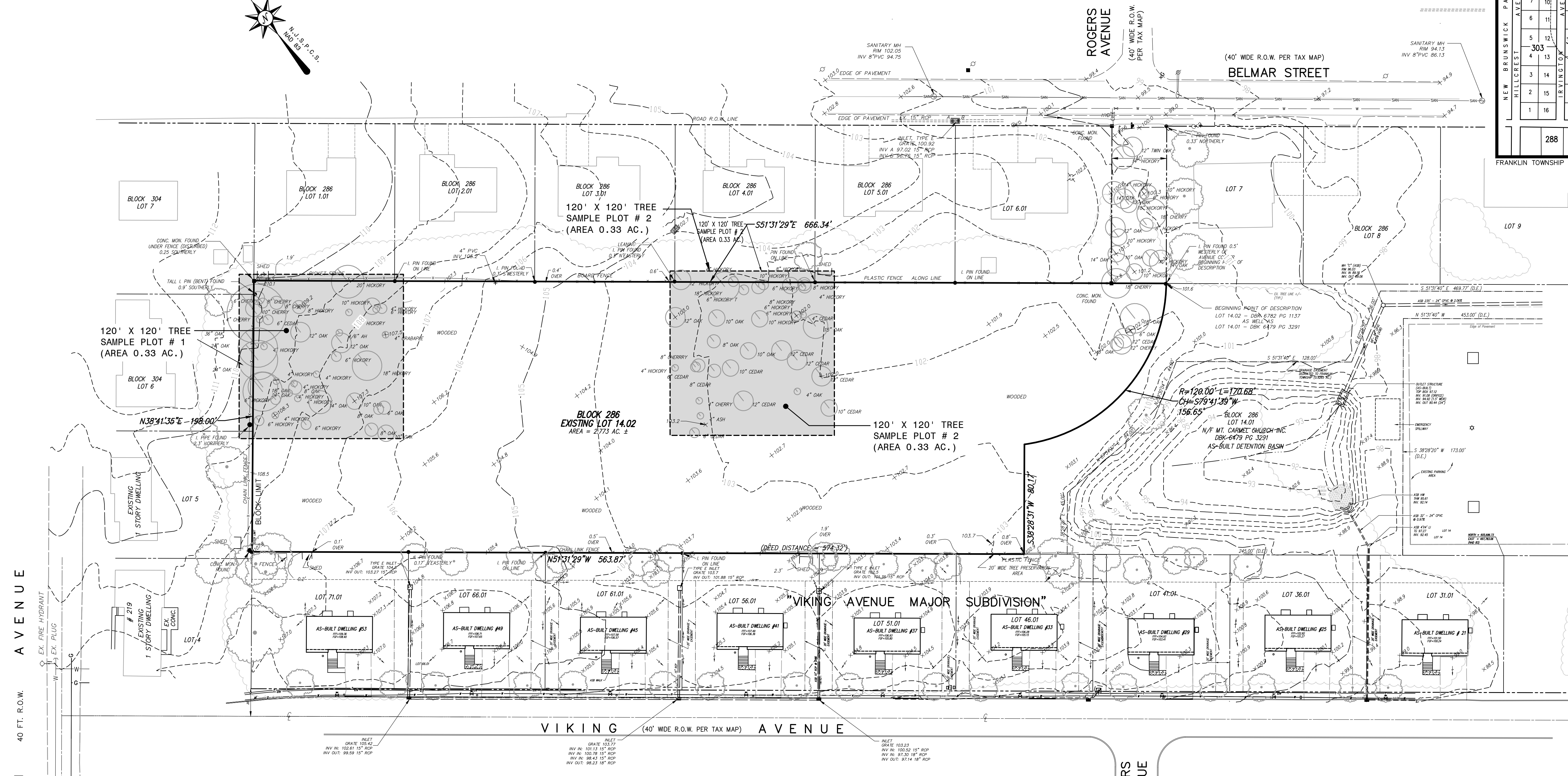
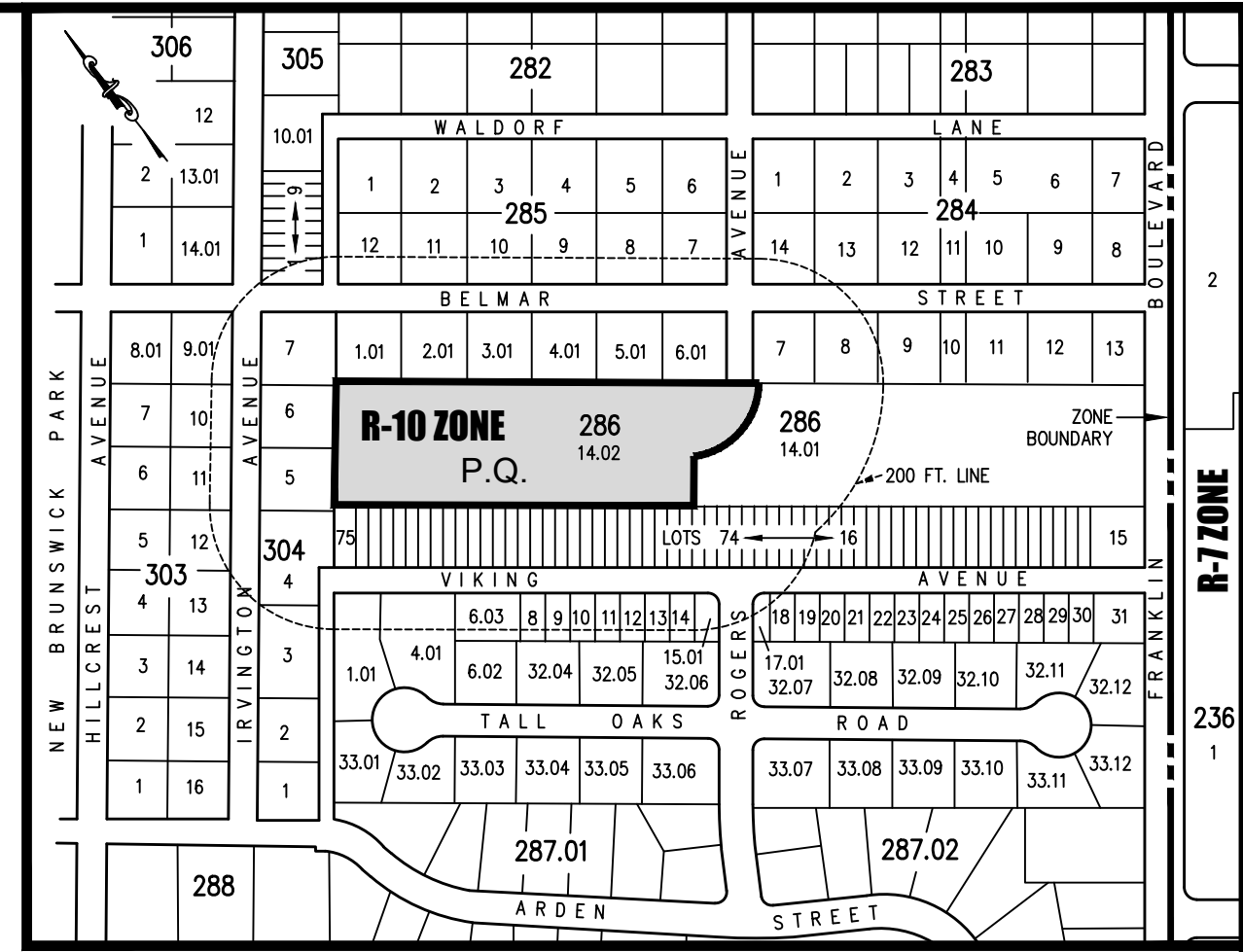
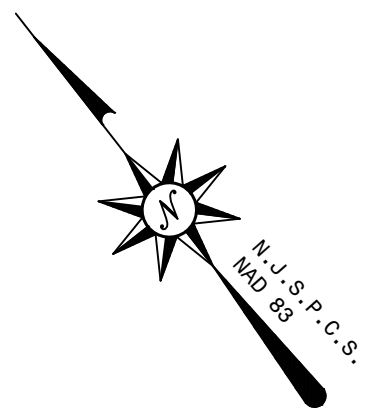
#### INDEX OF SHEETS

- COVER SHEET
- EXISTING CONDITIONS PLAN
- PRELIMINARY PLAT
- GRADING, DRAINAGE AND UTILITY PLAN
- SOIL EROSION & SEDIMENT CONTROL PLAN
- LANDSCAPING AND TREE MITIGATION PLAN
- PROPOSED ROAD PLAN & PROFILE
- POND CONSTRUCTED WETLAND PLAN & DETAILS
- STORM SEWER MISCELLANEOUS PROFILES
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- STANDARD SANITARY SEWER DETAILS
- STANDARD SANITARY SEWER DETAILS
- STANDARD SANITARY SEWER DETAILS
- SOIL EROSION AND SEDIMENT CONTROL DETAILS
- FIRE TRUCK CIRCULATION PLAN
- PROPOSED ROAD CROSS SECTIONS
- LIGHTING PLAN

BY: *Michael K. Ford*  
Michael K. Ford

New Jersey Professional Engineer  
No. 34722





IRVINGTON AVENUE 40 FT. R.O.W.

ROGERS AVENUE (40' WIDE R.O.W. PER TAX MAP)

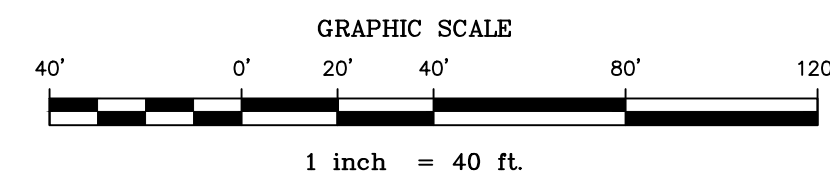
BELMAR STREET (40' WIDE R.O.W. PER TAX MAP)

VIKING AVENUE (40' WIDE R.O.W. PER TAX MAP)

ROGERS AVENUE

**LEGEND**

	WATER VALVE		LIGHT POLE		FENCE
	WATER VALVE		TRAFFIC LIGHT		STORM LINE
	WATER METER		UTILITY POLE		SANITARY SEWER LINE
	FIRE HYDRANT		GUY WIRE		UNDERGROUND ELECTRIC LINE
	GAS VALVE		ELECTRIC BOX		UNDERGROUND TELEPHONE LINE
	GAS METER		ELECTRIC MANHOLE		GAS LINE MARKOUT
	CLEANOUT		TELEPHONE MANHOLE		WATER LINE MARKOUT
	SANITARY MANHOLE		MAIL BOX		DOWNSPOUT
	STORM MANHOLE		SIGN		PARKING METER
	STORM INLET		TREE		ELECTRIC MARKOUT
					GAS MARKOUT
					WATER MARKOUT



**PLAN REFERENCES:**

- \*PROPERTY SURVEY FOR BLOCK 286 LOT 14.02, FRANKLIN TOWNSHIP SOMERSET COUNTY, NEW JERSEY\* BY VAN CLEEF ENGINEERING ASSOCIATES, PAMELA MATHENS N.J.P.E. & L.S. L.I.C. No. 41181, DATED NOVEMBER 7, 2017.
- \*MINOR SUBDIVISION FOR LOT 14 IN BLOCK 286, SITUATED IN FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY, DATED MARCH 5, 2007, REVISED 5/27/10, PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES.
- \*FINAL MAP TAX MAP LOTS 1-6, BLOCK 286 TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY\* DATED 07/06/09, REVISED 09/30/09, PREPARED BY PARKER ENGINEERING & SURVEYING, P.C., AS FILED AT THE SOMERSET COUNTY CLERK'S OFFICE AS MAP NO. 3467.
- \*VIKING AVENUE MAJOR SUBDIVISION FINAL PLAT TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY\* DATED FEB. 2002, REVISED 9/12/05, PREPARED BY MARTIN A. GRANT SURVEYING INC., AS FILED AT THE SOMERSET COUNTY CLERK'S OFFICE IN BK. 5866 PG 608 AS INST. NO. 2006013309.
- \*NEW BRUNSWICK PARK ADDITIONS No. 2 3 AND 5 SOMERSET COUNTY, N.J.\* DATED MARCH 16, 1912, PREPARED BY MASON & SMITH CIVIL ENGINEERS, AS FILED IN THE SOMERSET COUNTY CLERK'S OFFICE AS MAP No. 78-F.

DATE:	DECEMBER 15, 2017
SCALE:	1" = 40'
DESIGNED BY:	M.K.F.
DRAWN BY:	A.B.
CHECKED BY:	M.K.F.
REVISIONS	AUTH. DATE
	JOB No. 15-09-FS

**Van Cleef**  
ENGINEERING WITH FOCUS

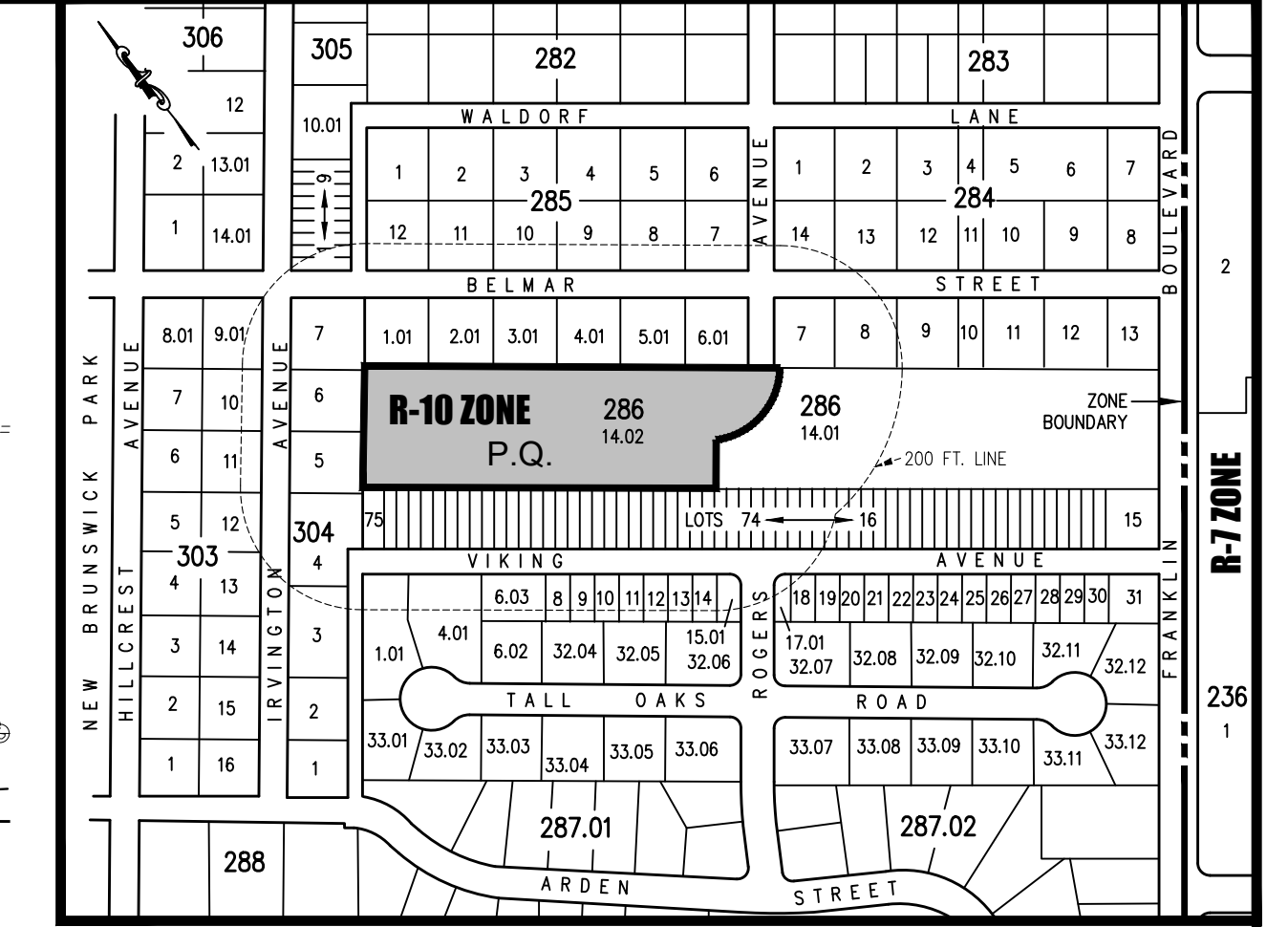
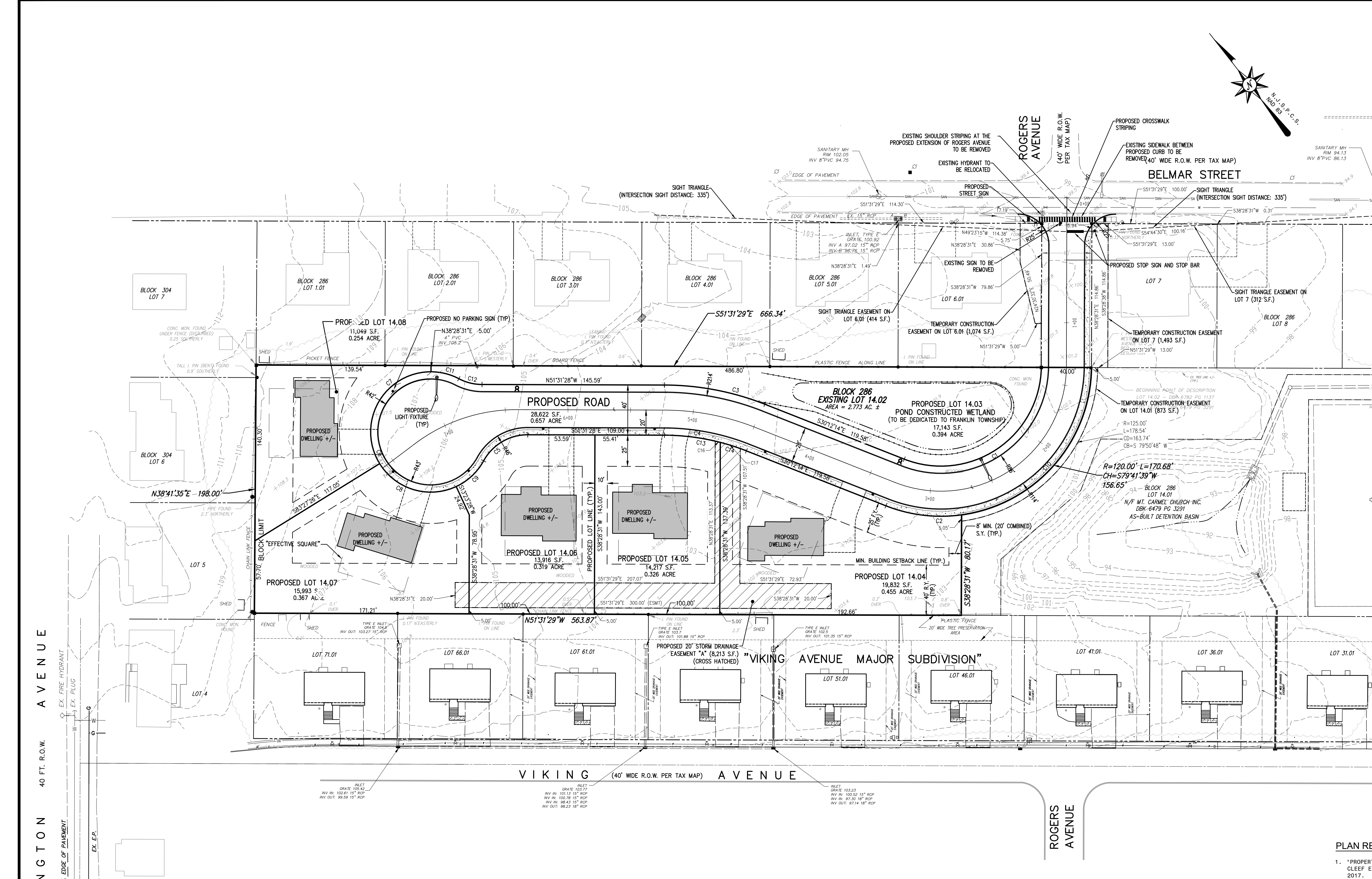
VAN CLEEF ENGINEERING ASSOCIATES, LLC  
32 BROWER LANE, HILLSBOROUGH, NJ 08844  
WEB: WWW.VANCLEEFENGINEERING.COM  
PHONE (908) 359-8291  
CERT. OF AUTHORIZATION NO. 24629133200

Bridges/Highways  
Construction Inspection  
Environmental  
Geotechnical/Dams  
Landscape Architecture  
Local/Regional Planning  
Municipal Engineering  
Site Development  
Surveying/Aerial Drones/GIS  
Water/Wastewater

BY: *Michael K. Ford*  
Michael K. Ford  
New Jersey Professional Engineer  
No. 34722

EXISTING CONDITIONS PLAN  
FOR  
LOT 14.02 IN BLOCK 286  
SITUATED IN  
FRANKLIN TOWNSHIP,  
SOMERSET COUNTY, NEW JERSEY





**Curve Table**

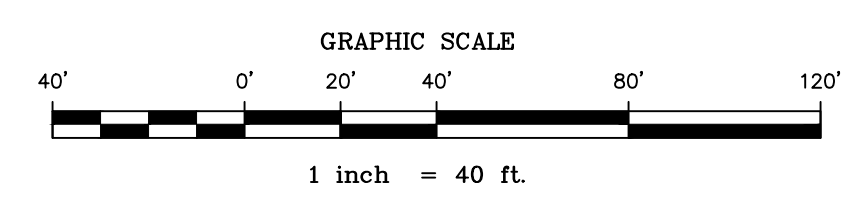
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	154.44'	80.00'	110.61'	N85° 30' 35" W	131.55'
C2	61.48'	120.00'	29.36'	S44° 52' 54" E	60.81'
C3	81.87'	220.00'	21.32'	S40° 51' 51" E	81.39'
C4	66.98'	180.00'	21.32'	S40° 51' 51" E	66.59'
C5	42.93'	40.00'	61.49'	N82° 16' 15" W	40.90'
C6	202.31'	48.00'	241.49'	S7° 43' 45" W	82.51'
C7	102.15'	48.00'	121.93'	S67° 30' 33" W	83.94'
C8	69.66'	48.00'	83.15'	S35° 01' 59" E	63.71'
C9	30.50'	48.00'	36.41'	N85° 11' 13" E	29.99'
C10	232.16'	120.00'	110.85'	S85° 37' 40" E	197.61'
C11	23.11'	48.00'	27.58'	N37° 44' 04" W	22.88'
C12	19.25'	40.00'	27.58'	N37° 44' 04" W	19.07'
C13	45.06'	180.00'	14.34'	S44° 21' 14" E	44.94'
C14	21.93'	180.00'	6.98'	S33° 41' 37" E	21.91'
C16	4.17'	180.00'	1.33'	N37° 31' 40" W	4.17'
C17	16.68'	180.00'	5.31'	N34° 31' 40" W	16.68'

**R-10 ZONE SCHEDULE (RESIDENTIAL)**

GENERAL REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS						
		LOT 14.03 (BASIN LOT)	LOT 14.04	LOT 14.05	LOT 14.06	LOT 14.07	LOT 14.08	
PRINCIPAL BUILDING								
MINIMUM LOT AREA (LOTS WHERE SANITARY SEWER IS PROVIDED)	10,000 S.F. (INTERIOR) 13,125 S.F. (CORNER LOT)	2,773 ACRES	17,143 S.F. (0.394 AC.)	19,832 S.F. (0.455 AC.)	14,217 S.F. (0.326 AC.)	13,916 S.F. (0.319 AC.)	15,993 S.F. (0.367 AC.)	11,049 S.F. (0.254 AC.)
MINIMUM LOT FRONTAGE (2)	100 FT. (INTERIOR) (2) 105 FT. (CORNER LOT)	40 FT. (1)	543.83 FT.	202.99 FT.	100.47 FT.	127.02 FT.	69.66 FT. (2)	102.15 FT. (2)
MINIMUM FRONT YARD SETBACK	25 FT.	> 25 FT.	> 25 FT.	> 25 FT.	> 25 FT.	> 25 FT.	> 25 FT.	> 25 FT.
MINIMUM SIDE YARD SETBACK	8 FT.	> 8 FT.	> 8 FT.	> 8 FT.	> 8 FT.	> 8 FT.	> 8 FT.	> 8 FT.
MINIMUM TOTAL OF TWO SIDE YARD SETBACKS	20 FT.	> 20 FT.	> 20 FT.	> 20 FT.	> 20 FT.	> 20 FT.	> 20 FT.	> 20 FT.
MINIMUM REAR YARD SETBACK	40 FT.	> 40 FT.	> 40 FT.	> 40 FT.	> 40 FT.	> 40 FT.	> 40 FT.	> 40 FT.
MAXIMUM BUILDING HEIGHT	35 FT./2½ STY	< 35 FT./2½ STY	< 35 FT./1 STY.	< 35 FT./1 STY.	< 35 FT./1 STY.	< 35 FT./1 STY.	< 35 FT./1 STY.	< 35 FT./1 STY.
MAXIMUM LOT COVERAGE BY BUILDINGS	20%	< 20%	< 20%	< 20%	< 20%	< 20%	< 20%	< 20%
MAXIMUM IMPERVIOUS COVERAGE (LOT)	30%	< 30%	< 30%	< 30%	< 30%	< 30%	< 30%	< 30%
<b>ACCESSORY BUILDING</b>								
MINIMUM SIDE YARD SETBACK	8 FT.	--	NA	NA	NA	NA	NA	NA
MINIMUM REAR YARD SETBACK	20 FT.	--	NA	NA	NA	NA	NA	NA
<b>GARDEN SHED (100 S.F. OR LESS)</b>								
MINIMUM SIDE YARD SETBACK	5 FT.	NA	NA	NA	NA	NA	NA	NA
MINIMUM REAR YARD SETBACK	5 FT.	NA	NA	NA	NA	NA	NA	NA

(1) EXISTING VARIANCE CONDITION  
 (2) CHAPTER 112-4 DEFINITIONS: LOT FRONTAGE - "IN THE CASE OF LOTS FRONTING ON A CUL-DE-SAC STREET, THE FRONTAGE FOR LOTS FRONTING ON THE TURNAROUND PORTION OF THE STREET SHALL BE MEASURED ALONG THE FRONT SETBACK LINE BUT IN NO CASE SHALL THE LENGTH OF THE LOT LINE COEXISTENT WITH THE STREET LINE BE LESS THAN 2/3 OF THE REQUIRED FRONT LOT WIDTH."

- PLAN REFERENCES:**
- "PROPERTY SURVEY FOR BLOCK 286 LOT 14.02, FRANKLIN TOWNSHIP SOMERSET COUNTY, NEW JERSEY" BY VAN CLEEF ENGINEERING ASSOCIATES, PAMELA MATHEWS N.J.P.E. & L.S. LIC. NO. 41181, DATED NOVEMBER 7, 2017.
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  - "FINAL MAP TAX MAP LOTS 1-6, BLOCK 286 TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY" DATED 07/06/99, REVISED 09/30/99, PREPARED BY PARKER ENGINEERING & SURVEYING, P.C., AS FILED AT THE SOMERSET COUNTY CLERK'S OFFICE AS MAP NO. 5467.
  - "VIKING AVENUE MAJOR SUBDIVISION FINAL PLAT TOWNSHIP OF FRANKLIN, SOMERSET COUNTY, NEW JERSEY" DATED FEB. 2002, REVISED 9/12/05, PREPARED BY MARTIN A. GRANT SURVEYING INC., AS FILED AT THE SOMERSET COUNTY CLERK'S OFFICE IN BK. 5866 PG 608 AS INST. NO. 2006013309.
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PER TOWNSHIP	M.K.F.	2/24/24	DATE:	DECEMBER 15, 2017
PER TOWNSHIP	PM	1-25-24	SCALE:	1" = 40'
PER TOWNSHIP	PM	3-24-22	DESIGNED BY:	M.K.F./M.R.
CLOSURE	PM	8-9-21	DRAWN BY:	A.B.
REVISIONS	AUTH.	DATE	CHECKED BY:	M.K.F.
			JOB No.	15-09-FS

BY: *Pamela Mathews*  
 Pamela Mathews  
 New Jersey Professional Engineer  
 And Land Surveyor No. 41181

BY: *Michael K. Ford*  
 Michael K. Ford  
 New Jersey Professional Engineer  
 No. 34722

**Van Cleef**  
 ENGINEERING WITH FOCUS

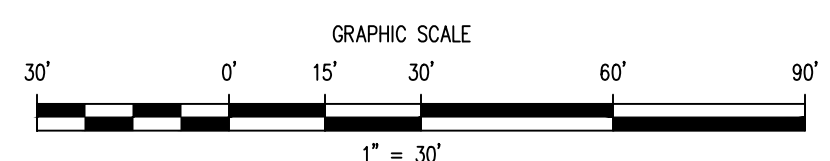
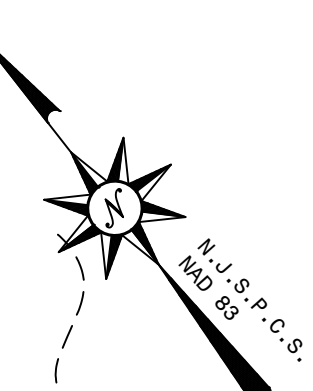
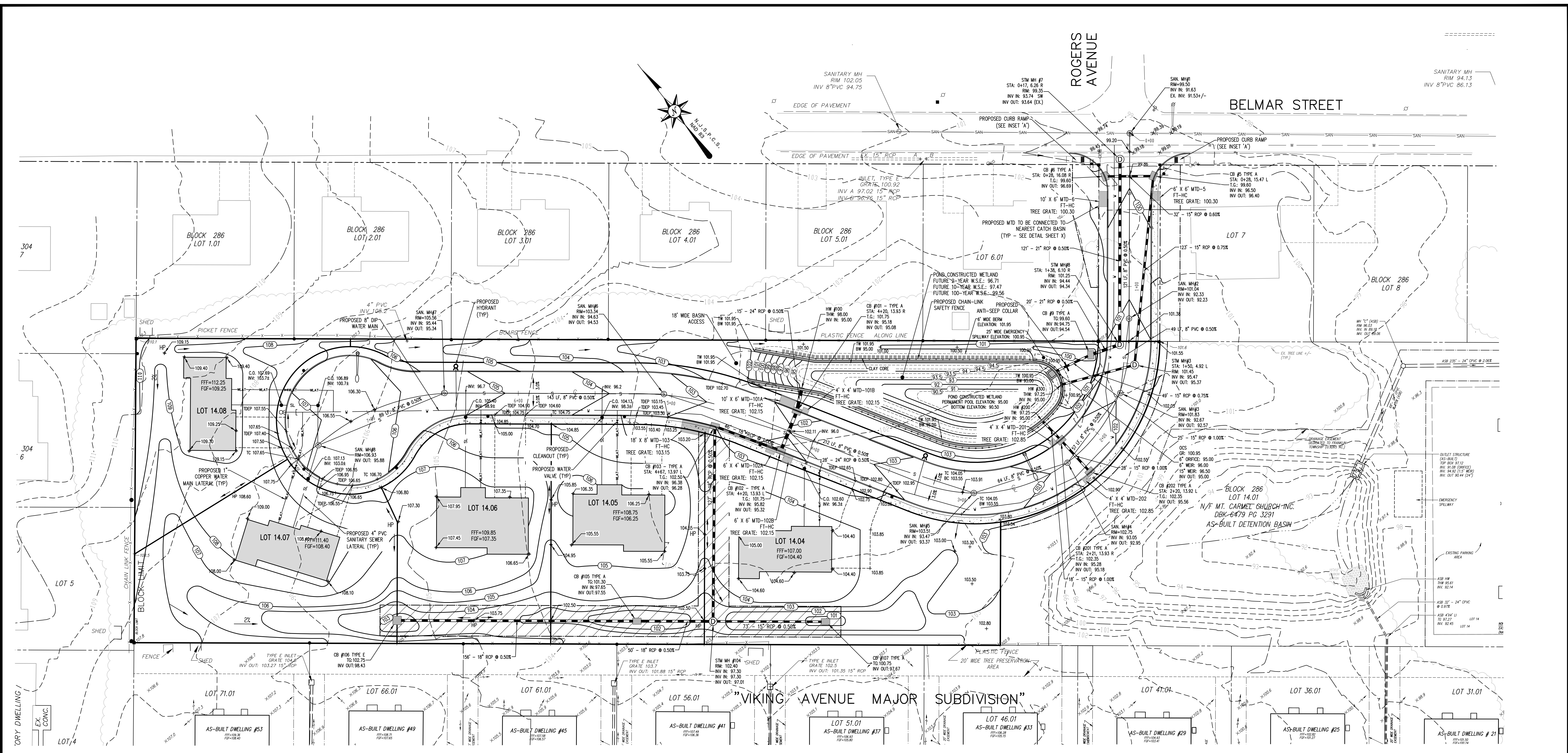
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 32 BROWER LANE, HILLSBOROUGH, NJ 08844  
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 PHONE (908) 359-8291  
 CERT. OF AUTHORIZATION NO. 24648933309

Bridges/Highways  
 Construction Inspection  
 Environmental  
 Geotechnical/Dams  
 Landscape Architecture  
 Local/Regional Planning  
 Municipal Engineering  
 Site Development  
 Surveying/Aerial Drones/GIS  
 Water/Wastewater

PRELIMINARY SUBDIVISION PLAT  
 FOR  
 LOT 14.02 IN BLOCK 286  
 SITUATED IN  
 FRANKLIN TOWNSHIP,  
 SOMERSET COUNTY, NEW JERSEY

3

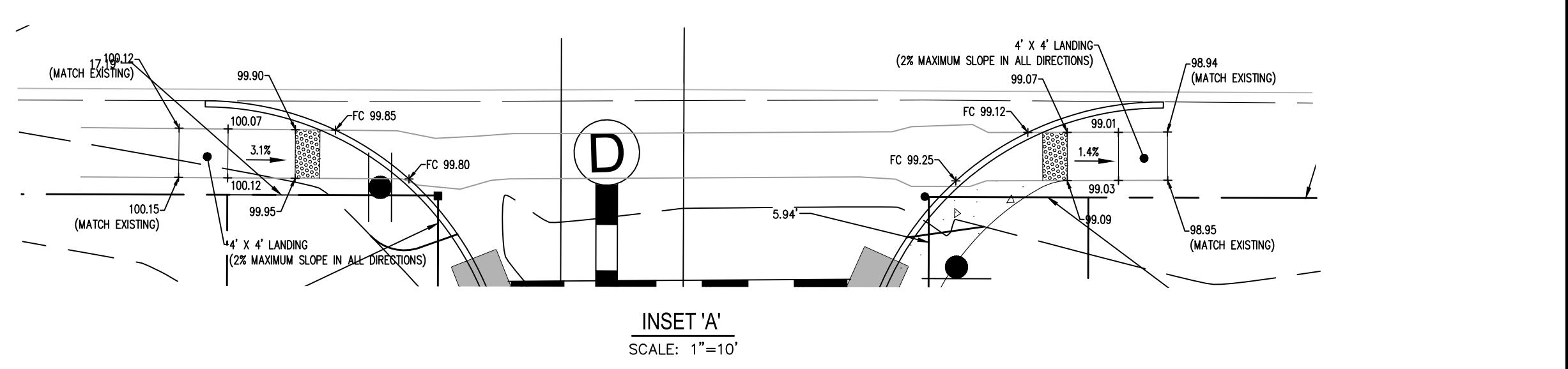




**LEGEND**

		- CONTOUR LINE
		- SPOT ELEVATION
		- DRAINAGE FLOW DIRECTION
		- ROOF LEADER DISCHARGE HEADER W/INLET
		- GAS LINE
		- WATER LINE SERVICE
		- TELEPHONE LINE SERVICE
		- SANITARY SEWER PIPE
		- FINISHED FIRST FLOOR ELEVATION
		- FINISHED GARAGE FLOOR ELEVATION
		- FINISHED BASEMENT FLOOR ELEVATION
		- TOP OF CURB
		- BOTTOM OF CURB
		- TOP OF DEPRESSED CURB
		- FLUSH CURB
		- FIRE DEPT. WATER CONNECTION
		- FIRE HYDRANT
		- WATER VALVE
		- GAS VALVE
		- SITE LIGHT
		- SANITARY SEWER MANHOLE
		- BELL TELEPHONE CO. MANHOLE
		- UTILITY POLE
		- LIMIT OF DISTURBANCE
		- SILT FENCE

- GENERAL NOTES**
- CONTRACTOR SHALL SUBMIT WRITTEN NOTIFICATION TO THE SOMERSET UNION SOIL CONSERVATION DISTRICT 48 HOURS PRIOR TO THE START OF CONSTRUCTION. PHONE # 908-526-2701
  - ADEQUATE PRECAUTIONS SHALL BE TAKEN TO PREVENT AND/OR MINIMIZE THE DISCHARGE OF SEDIMENTS INTO ALL STREAMS WITHIN OR ADJACENT TO THE PROJECT AREA.
  - ALL FILL AND OTHER EARTH WORK ON THE PROJECT LANDS SHALL BE STABILIZED IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY," OBTAINABLE FROM LOCAL SOIL CONSERVATION DISTRICT OFFICE OR EQUAL ENGINEERING SPECIFICATIONS TO PREVENT ERODED SOIL FROM ENTERING ADJACENT WATERWAYS AT ANY TIME DURING AND SUBSEQUENT TO CONSTRUCTION. (SEE "SOIL EROSION SEDIMENT CONTROL DETAIL SHEET")
  - ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
  - ALL EXISTING AND PROPOSED UTILITIES VERTICAL AND HORIZONTAL LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF THE CONSTRUCTION. CONTRACTOR MUST VERIFY ALL PROPOSED UTILITY LOCATION, SIZES AND MATERIALS WITH PROJECT ARCHITECT PRIOR TO INSTALLATION.
  - SEE BUILDING ARCHITECTURAL PLANS REGARDING PROPOSED UTILITY SERVICE CONNECTION LOCATIONS DETAILS AND CONSTRUCTION DETAILS.
  - PROPOSED LAWN AREAS SHALL BE GRADED WITH LIGHTWEIGHT CONSTRUCTION EQUIPMENT.
  - FINAL LOCATION OF PROPOSED WATER TIE-IN TO BE DETERMINED PRIOR TO CONSTRUCTION. MAY REQUIRE CONNECTION TO WATER MAIN IN OTHER LOCATION THAN SHOWN.
  - ALL CONSTRUCTION SHALL COMPLY WITH THE CURRENT RULES AND REGULATIONS OR ORDINANCES OF FRANKLIN TOWNSHIP, N.J.D.E.P., ANWA AND ALL APPLICABLE REGULATORY AGENCIES HAVING JURISDICTION.
  - THE MINIMUM CLEARANCES BETWEEN WATER MAINS AND SANITARY SEWERS SHALL BE IN ACCORDANCE WITH THE STATE STANDARDS, I.E. MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER MAIN AND SANITARY SEWER IN PARALLEL SHALL BE TEN FEET (10'). MINIMUM VERTICAL CLEARANCE BETWEEN PIPE CROSSING SHALL BE EIGHTEEN INCHES (18") WITH THE SANITARY SEWER BELOW THE WATER LINE. IF SUCH MINIMUM VERTICAL CLEARANCE CANNOT BE PROVIDED, THE SANITARY SEWER SHALL BE ENCASED IN CONCRETE 10 FEET (10') FROM EACH SIDE OF THE CROSSING OR A TOTAL OF 20 FEET (20').
  - WATER MAINS CROSSING STORM SEWERS OR DRAINS WHERE THE CLEARANCE BETWEEN THE PIPES IS LESS THAN EIGHTEEN (18") INCHES, PIER SUPPORTS FOR THE STORM LINE SHALL BE PROVIDED IN ORDER TO PREVENT THE LOAD TRANSFER TO THE AFFECTED UTILITY.
  - BASEMENTS TO BE PROVIDED ONLY IF APPROPRIATE SOIL TESTS CONFIRM A MINIMUM OF 2 FEET OF SEPARATION FROM SEASONAL HIGH WATER TABLE.
  - ALL PROPOSED BOTTOM OF CURB ELEVATIONS ARE 6" LOWER THAN THE CORRESPONDING TOP OF CURB (TC) ELEVATIONS.
  - ALL PROPOSED BOTTOM OF DEPRESSED CURB ELEVATIONS ARE 1.8" LOWER THAN THE CORRESPONDING TOP OF DEPRESSED CURB (IDEP) ELEVATIONS.
  - PROPOSED 8" DIP WATER MAIN SHALL BE CEMENT LINED.



		DATE:	DECEMBER 15, 2017
		SCALE:	AS SHOWN
PER TOWNSHIP	M.K.F.	2/24/24	DESIGNED BY: M.K.F./M.R.
PER TOWNSHIP	M.K.F.	3/24/22	DRAWN BY: A.B.
PER DRCC	M.K.F.	7/30/21	CHECKED BY: M.K.F.
REVISIONS	AUTH.	DATE	JOB No. 15-09-FS

**Van Cleef**  
ENGINEERING WITH FOCUS

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PHONE (908) 359-8291  
CERT. OF AUTHORIZATION NO. 24628933200

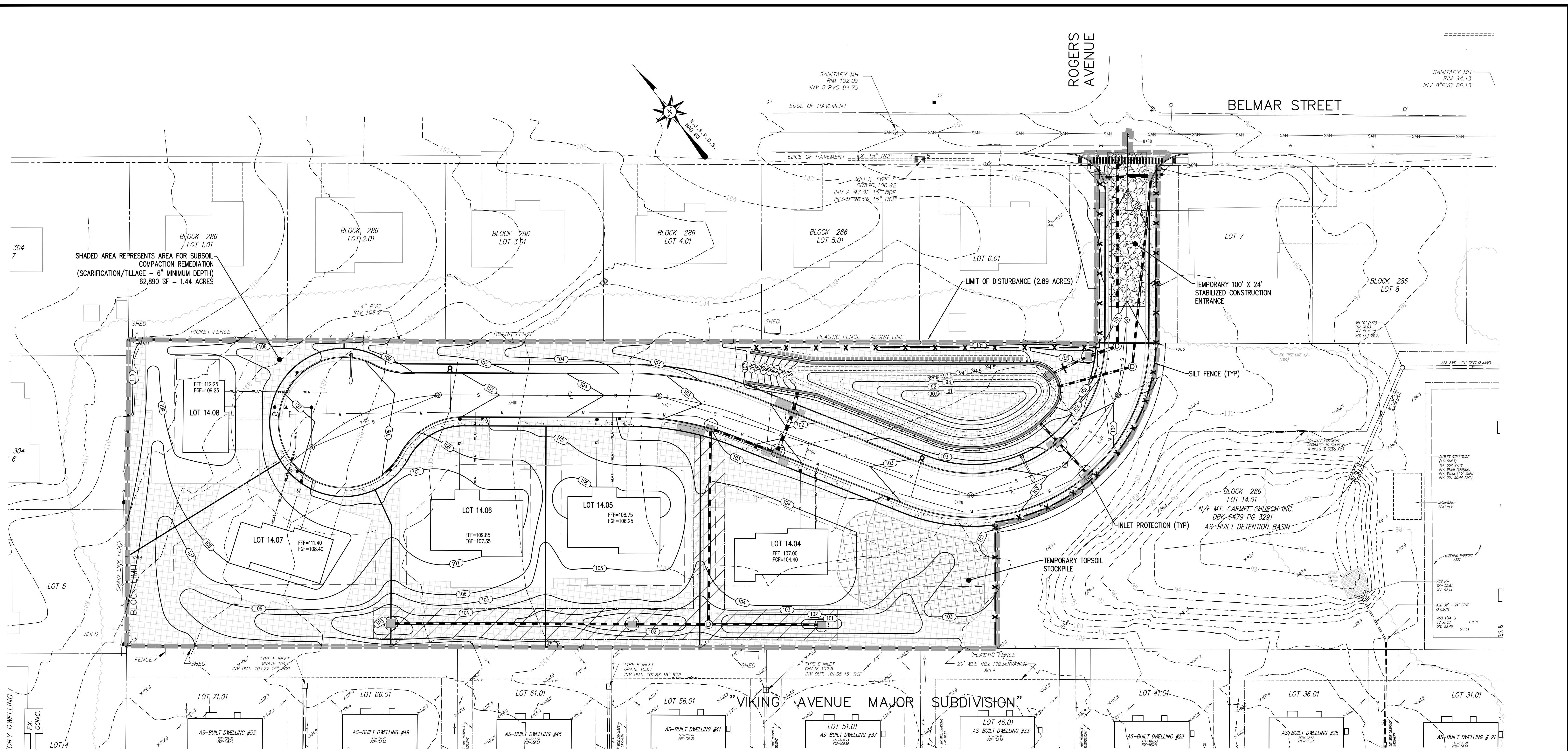
Bridges/Highways  
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Environmental  
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Landscape Architecture  
Local/Regional Planning  
Municipal Engineering  
Site Development  
Surveying/Aerial Drones/GIS  
Water/Wastewater

BY: *Michael K. Ford*  
Michael K. Ford  
New Jersey Professional Engineer  
No. 34722

FOR  
LOT 14.02 IN BLOCK 286  
FRANKLIN TOWNSHIP,  
SOMERSET COUNTY, NEW JERSEY

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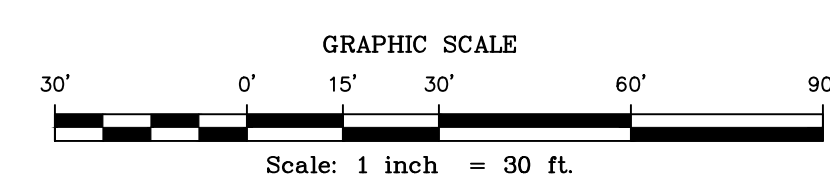


SHADED AREA REPRESENTS AREA FOR SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE - 6" MINIMUM DEPTH) 62,890 SF = 1.44 ACRES

**THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY. SEE SHEET # 16 FOR DETAILS AND NOTES.**

**LEGEND**

		- CONTOUR LINE
		- SPOT ELEVATION
		- DRAINAGE FLOW DIRECTION
		- STORM SEWER INLET W/PROTECTION
		- ROOF LEADER DISCHARGE HEADER W/INLET
		- GAS LINE
		- WATER LINE SERVICE
		- TELEPHONE LINE SERVICE
		- SANITARY SEWER PIPE
		- FINISHED FIRST FLOOR ELEVATION
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		- FIRE HYDRANT
		- WATER VALVE
		- GAS VALVE
		- SITE LIGHT
		- SANITARY SEWER MANHOLE
		- BELL TELEPHONE CO. MANHOLE
		- UTILITY POLE
		- LIMIT OF DISTURBANCE
		- SILT FENCE
		- SUBSOIL COMPACTION REMEDIATION AREA



		DATE: DECEMBER 15, 2017
		SCALE: 1" = 30'
PER TOWNSHIP	M.K.F. 2/24/24	DESIGNED BY: M.K.F./M.R.
PER TOWNSHIP	M.K.F. 3/24/22	DRAWN BY: A.B.
PER SUSCD	M.K.F. 7/20/21	CHECKED BY: M.K.F.
REVISIONS	AUTH. DATE	JOB No. 15-09-FS

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Bridges/Highways  
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Landscape Architecture  
Local/Regional Planning  
Municipal Engineering  
Site Development  
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Water/Wastewater

SOIL EROSION AND SEDIMENT CONTROL PLAN

FOR  
LOT 14.02 IN BLOCK 286  
FRANKLIN TOWNSHIP,  
SOMERSET COUNTY, NEW JERSEY

BY: *Michael K. Ford*  
Michael K. Ford  
New Jersey Professional Engineer  
No. 34722

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POND CONSTRUCTED WETLAND PLANTINGS				
<b>HIGH MARSH ZONE</b>				
70	CALTHA PALUSTRIS	MARSH MARIGOLD	8" HT. - 2 QUART	24" O.C.
70	CAREX STRICTA	TUSsock SEDGE	8" HT. - 2 QUART	24" O.C.
70	IRIS VERSICOLOR	BLUE FLAG	8" HT. - 2 QUART	24" O.C.
70	JUNCUS EFFUSUS	COMMON RUSH	8" HT. - 2 QUART	24" O.C.
70	PELTANDRA VIRGINICA	GREEN ARROW ARUM	8" HT. - 2 QUART	24" O.C.
TOTAL: 350				
<b>LOW MARSH ZONE</b>				
110	NYMPHAEA ODOATA	FRAGRANT WATER LILY	8" HT. - 2 QUART	24" O.C.
110	PONTEDERIA CORDATA	PICKEREL WEED	8" HT. - 2 QUART	24" O.C.
110	SAGITTARIA GRAMINEA	GRASSY ARROWHEAD	8" HT. - 2 QUART	24" O.C.
110	SPARGANUM AMERICANUM	AMERICAN BUR-REED	8" HT. - 2 QUART	24" O.C.
TOTAL: 440				

NOTES:  
1. IN THE EVENT THERE IS A CONFLICT BETWEEN THE LANDSCAPING PLAN AND THE LANDSCAPING SCHEDULE, THE PLAN SHALL GOVERN.

LANDSCAPE SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
<b>SHADE TREE</b>					
AR	4	Acer rubrum 'October Glory'	October Glory Red Maple	2.5"-3" cal.	B & B
GT	5	Gleditsia triacanthos inermis	Thornless Honeylocust	2.5"-3" cal.	B & B
NS	6	Nyssa sylvatica	Black Gum Tree	2.5"-3" cal.	B & B
QA	3	Quercus alba	White Oak	2.5"-3" cal.	B & B
QB	4	Quercus bicolor	Swamp White Oak	2.5"-3" cal.	B & B
ZS	4	Zelkova serrata 'Village Green'	Village Green Zelkova	2.5"-3" cal.	B & B
Subtotal 26					
<b>EVERGREEN TREES</b>					
JVB	81	Juniperus virginiana 'Burkii'	Burk Eastern Red Cedar	6'-7' ht. (min.)	#15 Cont.
PA	8	Picea abies	Norway Spruce	6'-7' ht. (min.)	B & B
Subtotal 89					
<b>FLOWERING TREES *</b>					
MV	4	Magnolia virginiana	Sweetbay Magnolia	6'-7' ht. (min.)	#15 Cont.
Subtotal 4					
<b>SHRUBS</b>					
PLS	58	Prunus laurocerasus 'Schipkaensis'	Schip / Skip Laurel (evergreen)	42" ht. (min.)	Cont.
VR	40	Viburnum rhytidophyllum	Leatherleaf Viburnum (evergreen)	42" ht. (min.)	Cont.
Subtotal 98					
<b>PERENNIALS *</b>					
CXS	52	Carex strictus	Tussock Sedge	1 Gal.	18" o.c.
Subtotal 52					
<b>TOTAL 243</b>					

\* NOTE: ALL PLANT MATERIAL WITH AN ASTERISK (\*) ARE TO BE USED IN MTD STRUCTURES (SHEET 12A - MTD DETAILS). SEE LANDSCAPE PLAN FOR EXACT LOCATIONS OF SPECIFIC PLANT MATERIAL.

TREE REPLACEMENT CALCULATIONS

0.33 AC TREE PLOT # 1 INVENTORY

TREES GREATER THAN 4" CALIPER:  
33 TREES 4" ≤ 16"  
2 TREES ≤ 18"  
1 TREES ≤ 20"  
3 TREES ≤ 24"  
1 TREE = 36"

0.33 AC TREE PLOT # 2 INVENTORY

TREES GREATER THAN 4" CALIPER:  
31 TREES 4" ≤ 16"  
1 TREES ≤ 18"

AVERAGE QUANTITY PER 0.33 AC PLOT

TREES GREATER THAN 4" CALIPER:  
32 TREES 4" ≤ 16"  
2 TREES ≤ 18"  
1 TREES ≤ 20"  
2 TREES ≤ 24"  
1 TREE = 36"

TOTAL SITE AREA = 2.9 AC. (INCLUDING EXISTING R.O.W.)

EXISTING TREES/WOODED AREA = 2.9 AC.

EX. TREES/WOODED AREA TO BE REMOVED = 2.9 AC.

PER TWP. CODE SECTION 222-5.1

% OF TREES TO BE REMOVED FROM THE ENTIRE DEVELOPMENT - 80-100%

% OF TREES TO BE REPLACED W/ TREES OF MINIMUM SIZE 2.5" CAL. - 80% (4" ≤ 16")

2.9 AC. TREES TO BE REMOVED = 8.8 - 0.33 AC. PLOTS

8.8 X 32 TREES = 282 TREES X 80% = 226 TREES

(226 TREES - 2.5" CAL. TREES REQUIRED)

INVENTORY OF TREES GREATER THAN 4" CALIPER TO BE REMOVED @ LOT 14.02

CALIPER # OF TREES NUMBER OF TOTAL TREES

LESS THAN 19" - 17.6 TREES X 3 = 53 TREES

LESS THAN 21" - 8.8 TREES X 4 = 36 TREES

LESS THAN 25" - 17.6 TREES X 5 = 88 TREES

LESS THAN 37" - 8.8 TREES X 11 = 97 TREES

TOTAL: 53 TREES = 274 TREES

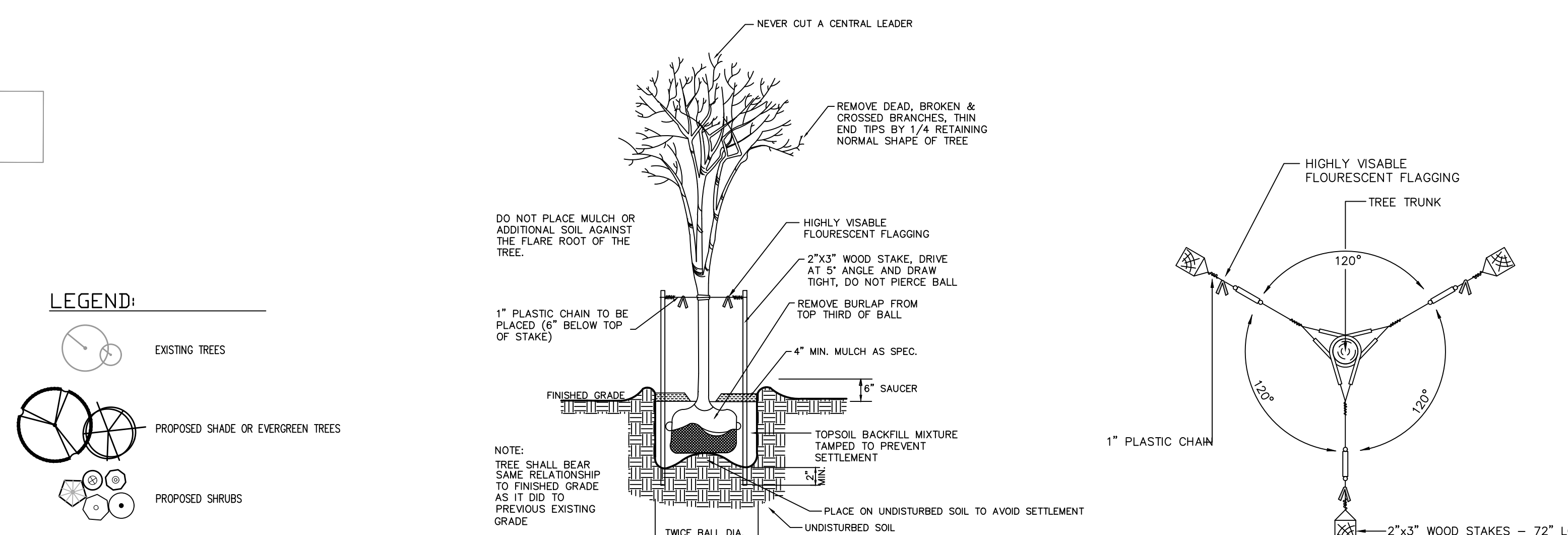
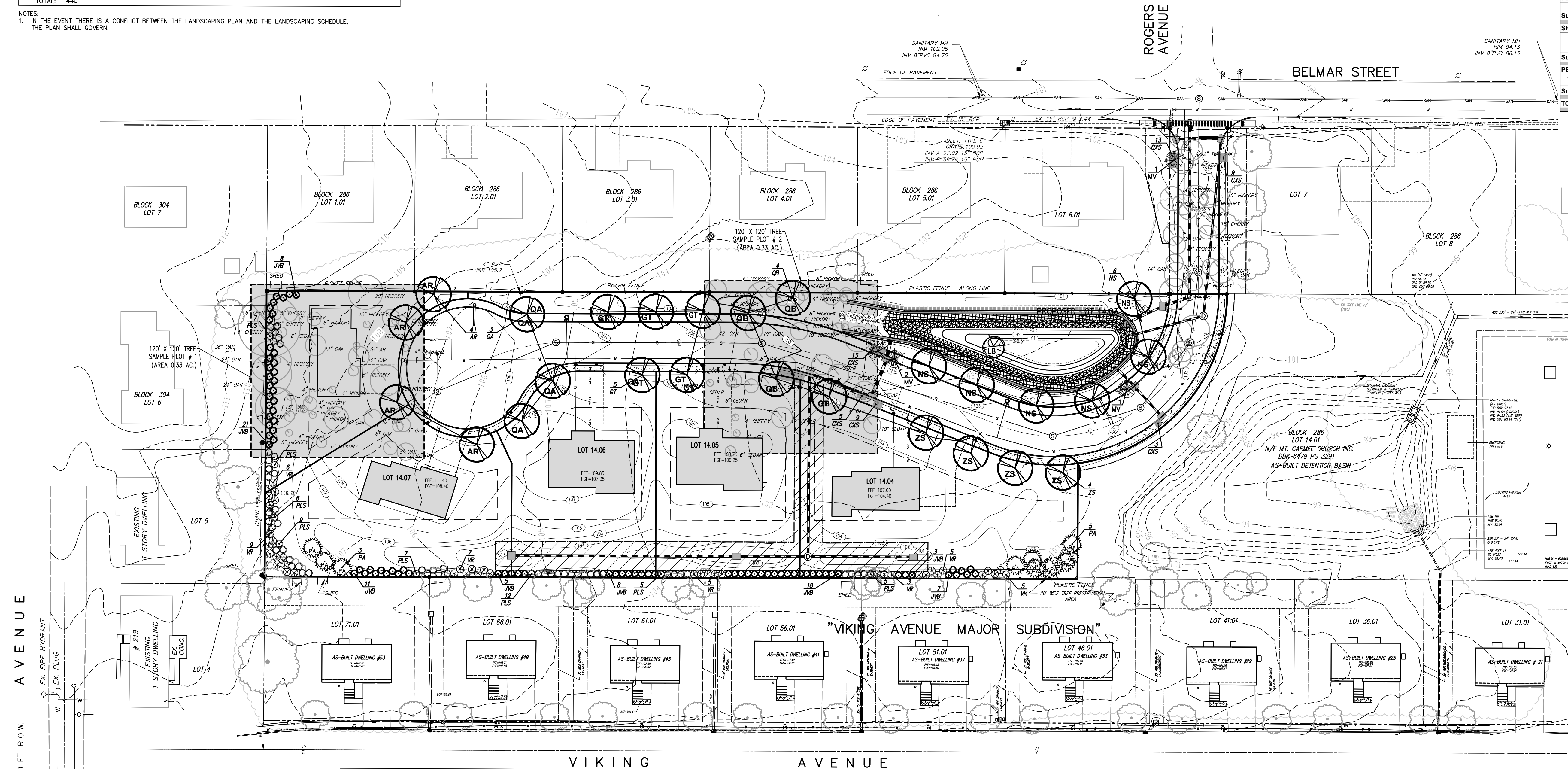
TOTAL REPLACEMENT TREES REQUIRED 226 + 274 = 500 (2.5" CAL. TREES)

REPLACEMENT TREES PROVIDED = 10 (WAIVER REQUESTED)

(CONTRIBUTION TO TOWNSHIP TREE FUND TO BE PROVIDED AS MAY BE REQUIRED)

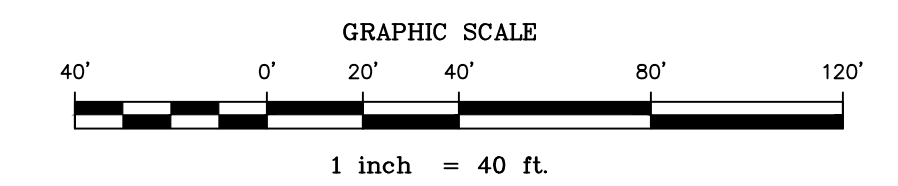
GENERAL LANDSCAPING NOTES

1. ALL PLANT MATERIAL IS TO BE FIRST QUALITY NURSERY GROWN STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE AND APPLICABLE TOWNSHIP STANDARDS.
2. ALL PLANTINGS ARE TO BE MULCHED WITH 3" MINIMUM DEPTH OF SHREDDED HARDWOOD BARK.
3. ALL PLANT MATERIALS ARE TO BE GUARANTEED TO BE IN HEALTHY AND VIGOROUS CONDITION FOR TWO YEARS.
4. IF A DISCREPANCY EXISTS BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE PLAN AND THE QUANTITY OF PLANTS INDICATED IN THE SCHEDULE, THE PLAN SHALL TAKE PRECEDENCE OVER THE SCHEDULE.
5. ALL AREAS NOT LANDSCAPED WITH RIVER WASHED STONE OR MULCHED PLANTING BEDS SHALL BE STABILIZED WITH EITHER SOD OR SEEDED FOR GRASS LAWNS. SUCH AREAS SHALL BE TOPSOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION (SEE SOIL EROSION AND SEDIMENT CONTROL DETAILS AND NOTES).
6. A TEMPORARY FENCE, SUCH AS A SNOW FENCE, SHALL BE ERRECTED AT THE PERIMETER OF THE DRIP LINE OF ALL EXISTING VEGETATION INDICATED TO REMAIN PRIOR TO ANY EXCAVATION, CONSTRUCTION, OR OTHER SITE WORK. THIS FENCE MAY BE REMOVED ONLY AT THE TIME OF COMPLETION OF ALL CONSTRUCTION AND FINAL GRADING.
7. ALL PLANT RELOCATIONS OR SUBSTITUTIONS SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.



TYPICAL PLANTING FOR TREES TO 3 1/2" CAL. NOT TO SCALE

TYPICAL GUYING DETAIL NOT TO SCALE



DATE:	DECEMBER 15, 2017
SCALE:	1" = 40'
DESIGNED BY:	M.K.F./M.R.
DRAWN BY:	A.B.
CHECKED BY:	M.K.F.
DATE:	15-09-FS

BY: *Michael K. Ford*  
Michael K. Ford  
New Jersey Professional Engineer  
No. 34722

**Van Cleef**  
ENGINEERING WITH FOCUS

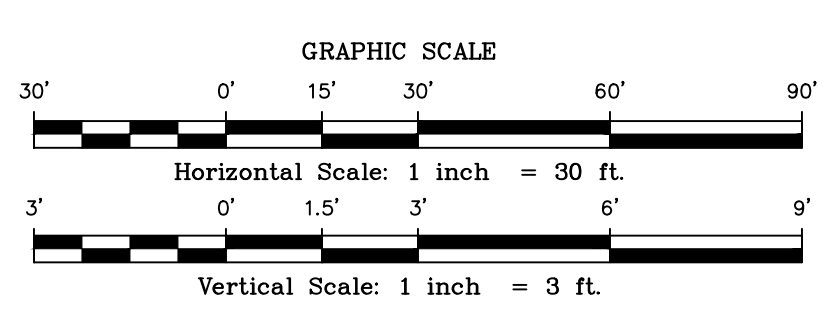
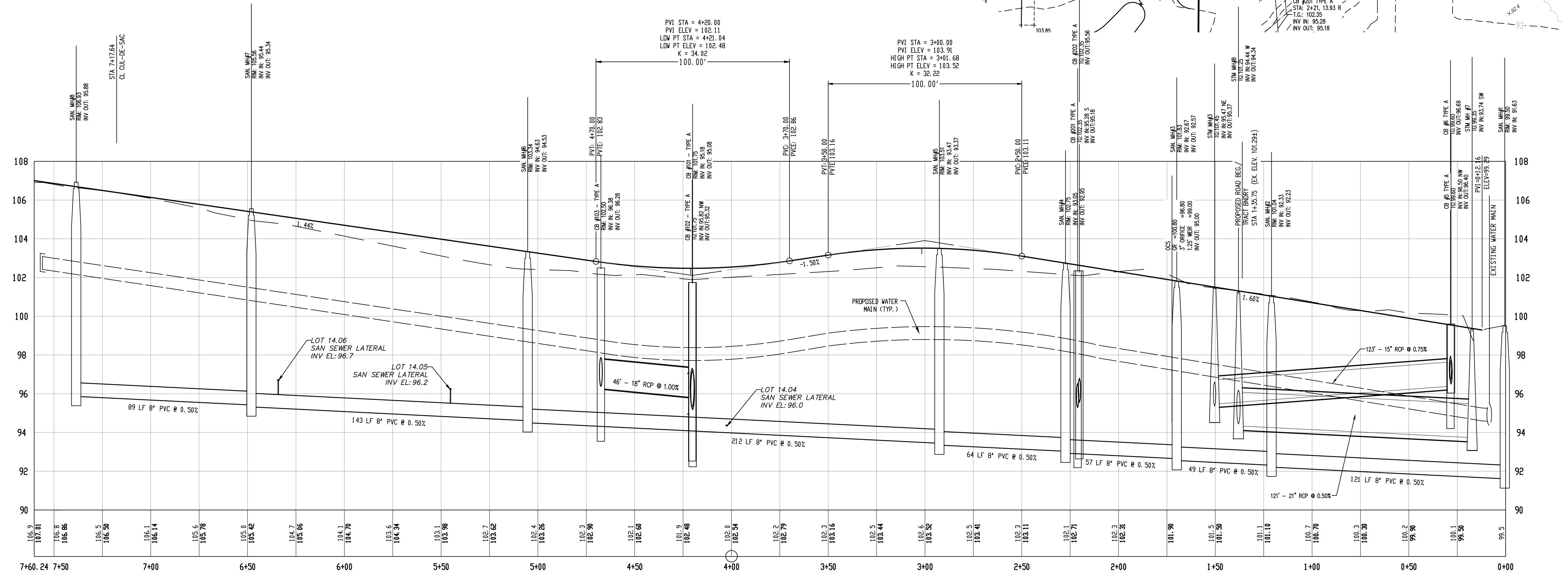
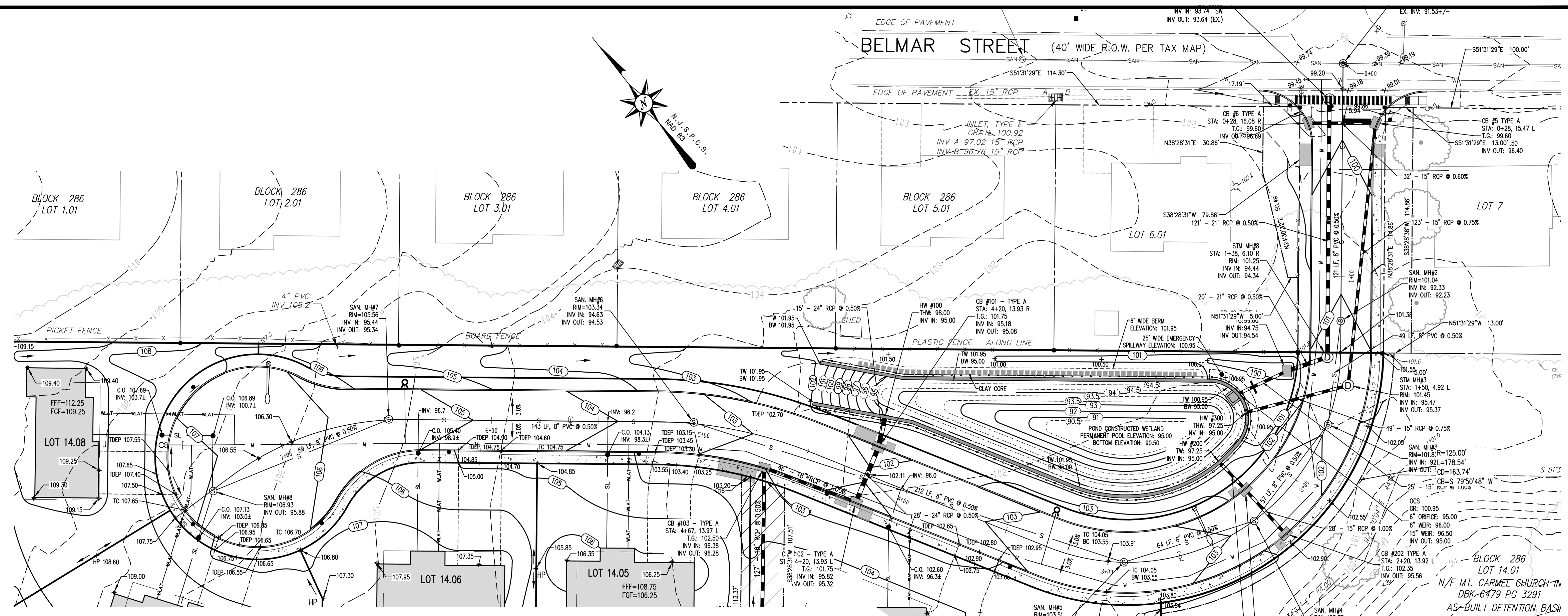
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32 BROWER LANE, HILLSBOROUGH, NJ 08844  
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PHONE (908) 359-8291  
CERT. OF AUTHORIZATION NO. 24629133200

LANDSCAPING AND TREE MITIGATION PLAN  
FOR  
LOT 14.02 IN BLOCK 286  
SITUATED IN  
FRANKLIN TOWNSHIP,  
SOMERSET COUNTY, NEW JERSEY



PIPE CROSSING TABLE

STATION	PROPOSED ROAD 'A' UTILITIES	CROSSING PIPE / SIZE	CLEARANCE DISTANCE BETWEEN PIPES	CONCRETE CRADLE REQUIRED
7+38	WATER 8" DIP	SANITARY LATERAL 4" PVC	1.50 FT.	NO
6+78	WATER 8" DIP	SMH #7 - SMH #8 8" PVC	5.0 FT.	NO
6+34	WATER 8" DIP	SANITARY LATERAL 4" PVC	1.50 FT.	NO
5+45	WATER 8" DIP	SANITARY LATERAL 4" PVC	1.50 FT.	NO
4+20	WATER 8" DIP	STM. CB #101 - CB #102 / 24" RCP	0.50 FT.	YES
4+20	SAN. MH#6 - MH#5 / 8" PVC	STM. CB #101 - CB #102 / 24" RCP	0.36 FT.	YES
4+03	WATER 8" DIP	SANITARY LATERAL 4" PVC	1.50 FT.	NO
2+20	SAN. MH#4 - MH#3 / 8" PVC	STM. CB #201 - CB #202 / 15" RCP	1.48 FT.	NO
2+20	WATER 8" DIP	STM. CB #201 - CB #202 / 15" RCP	1.30 FT.	YES
1+56	WATER 8" DIP	STM. HW #300 - STM. MH #3 / 15" RCP	0.17 FT.	YES
1+52	SAN. MH#3 - MH#2 / 8" PVC	STM. HW #300 - STM. MH #3 / 15" RCP	1.65 FT.	NO
1+39	WATER 8" DIP	STM. MH #8 - CB #9 / 15" RCP	0.42 FT.	YES
0+28	STORM MH #3 - MH #1 / 15" RCP	STM. CB #5 - CB #6 / 15" RCP	0.81 FT.	YES
0+28	SAN. MH#2 - MH#1 / 8" PVC	STM. CB #5 - CB #6 / 15" RCP	0.72 FT.	YES
0+28	WATER 8" DIP	STM. CB #5 - CB #6 / 15" RCP	0.50 FT.	YES



DATE:	DECEMBER 15, 2017
SCALE:	AS SHOWN
DESIGNED BY:	M.K.F./M.R.
DRAWN BY:	A.B.
CHECKED BY:	M.K.F.
REVISIONS:	
PER TOWNSHIP:	M.K.F. 3/24/22
AUTH. DATE:	
JOB No.:	15-09-FS

**Van Cleef**  
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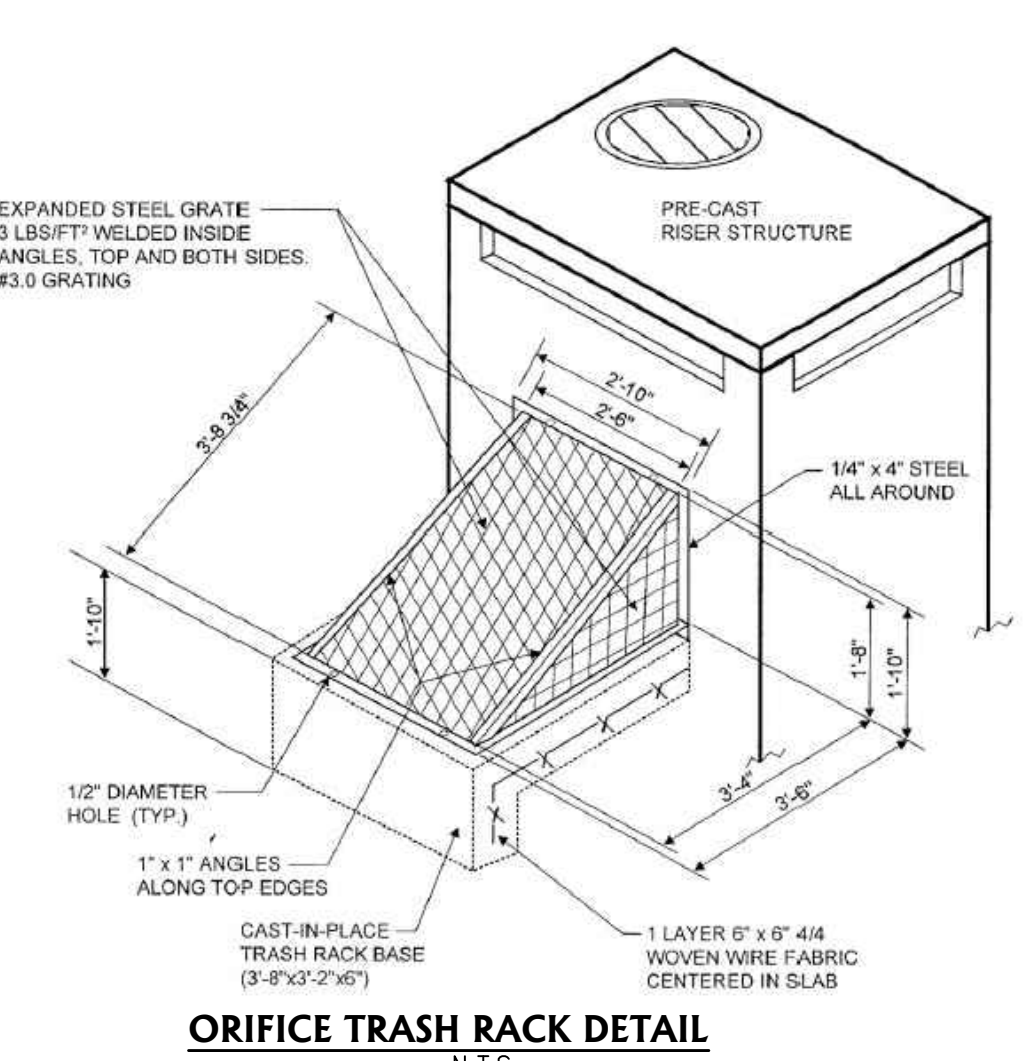
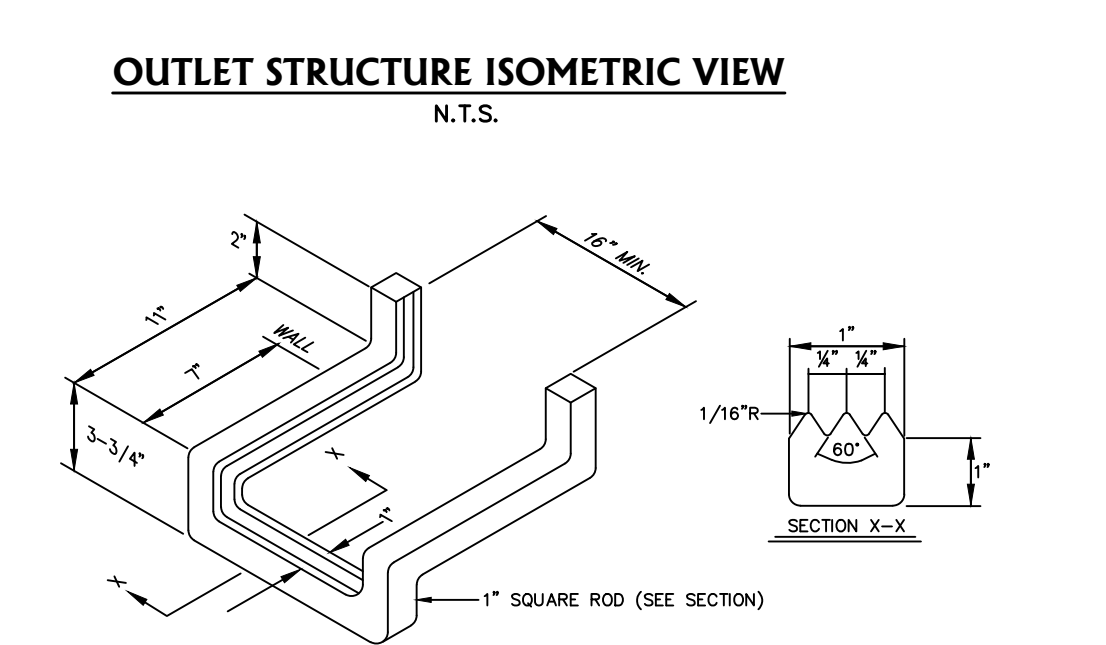
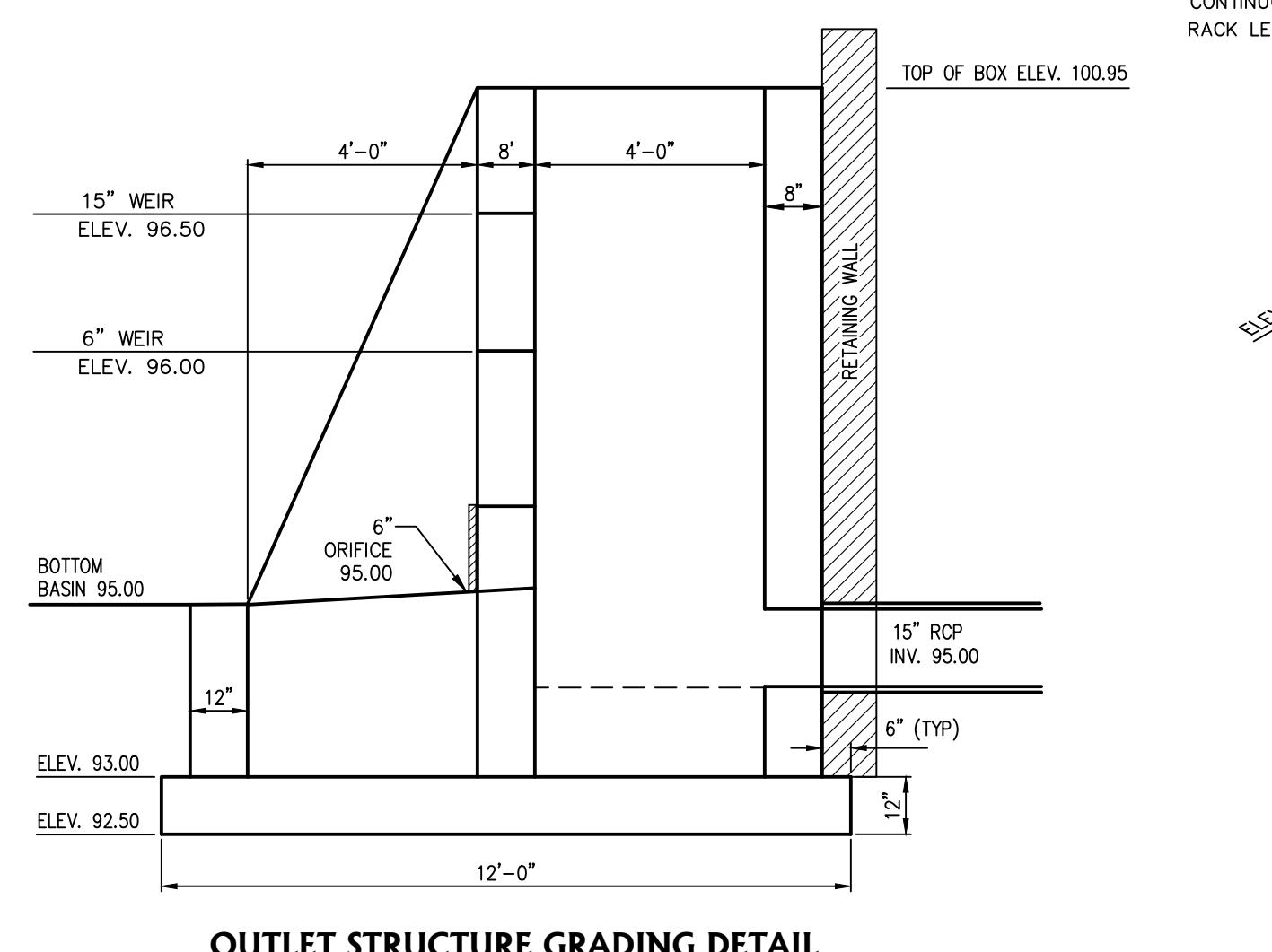
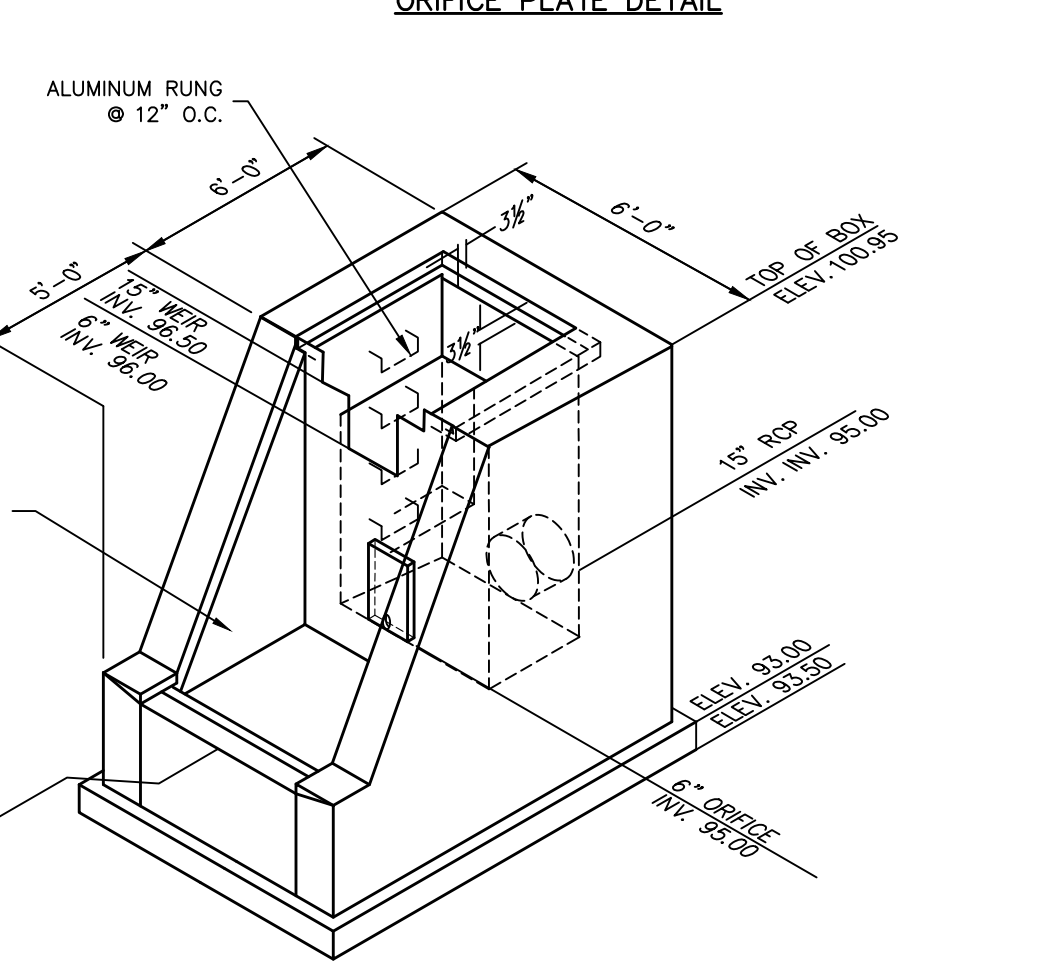
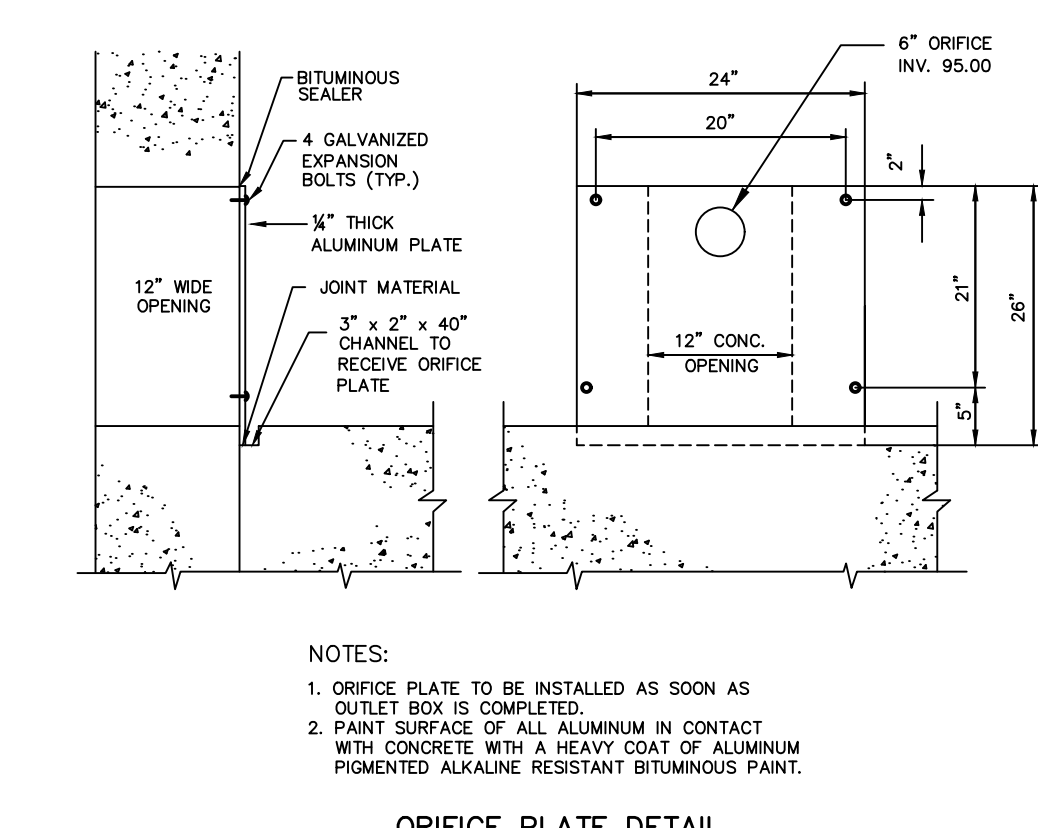
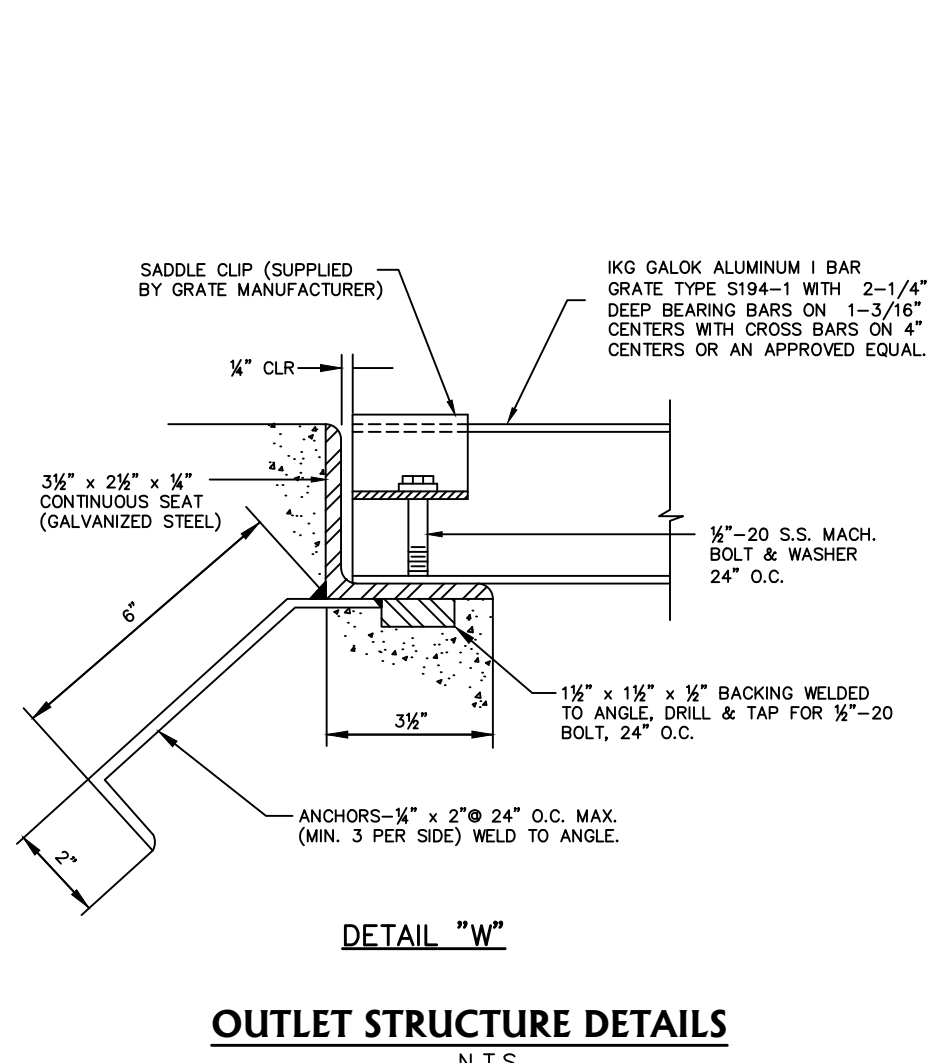
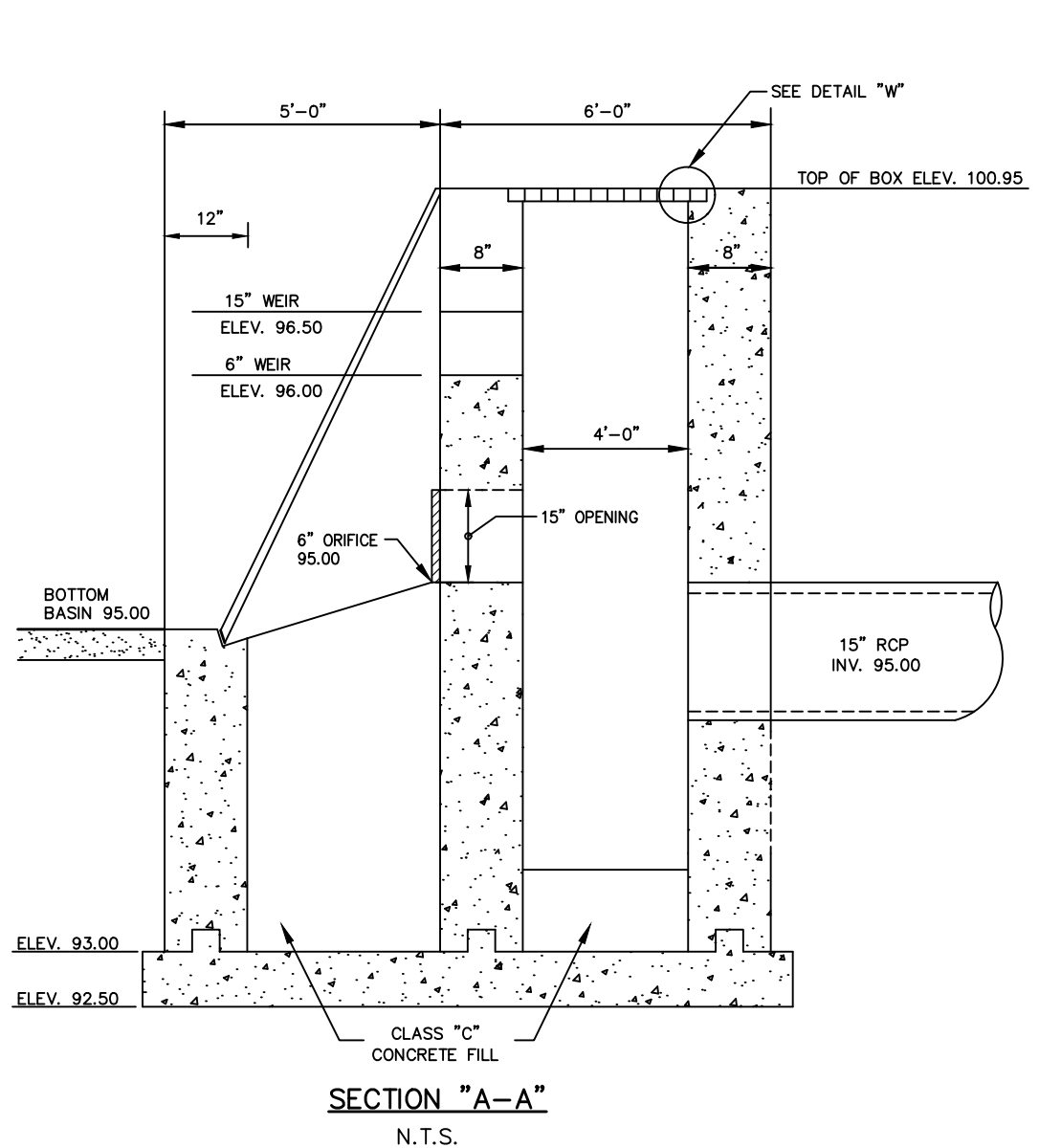
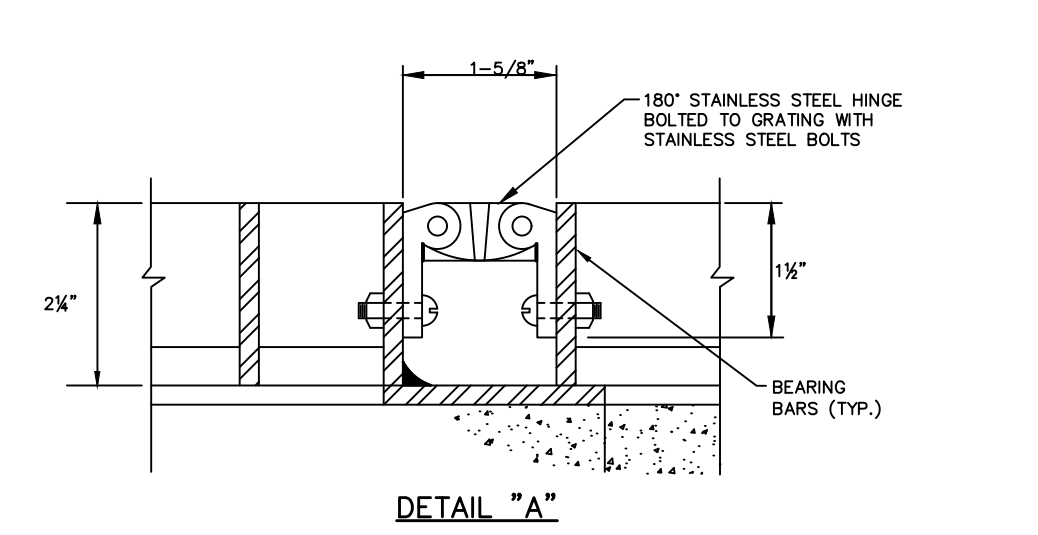
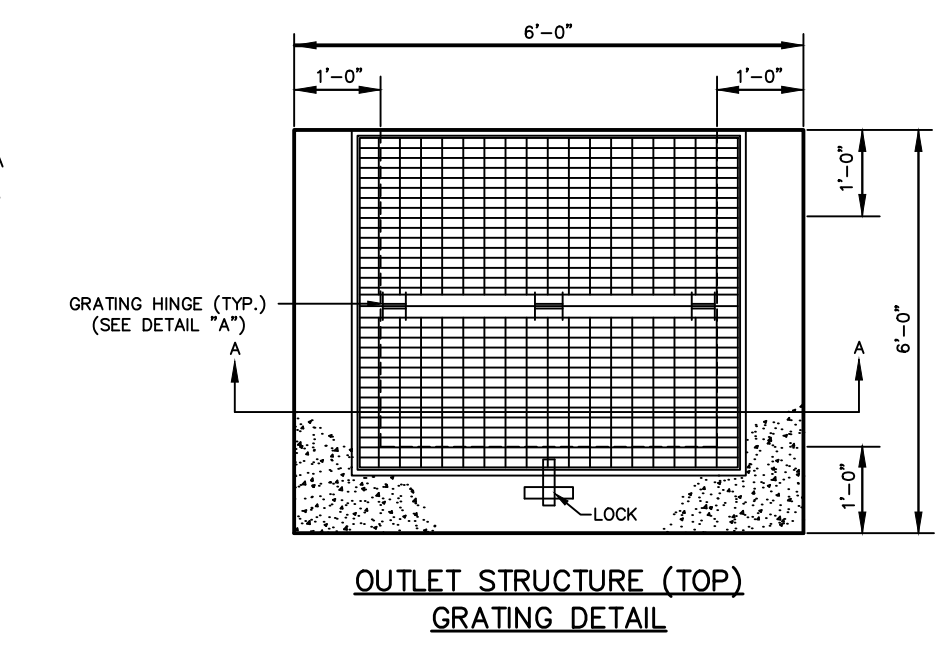
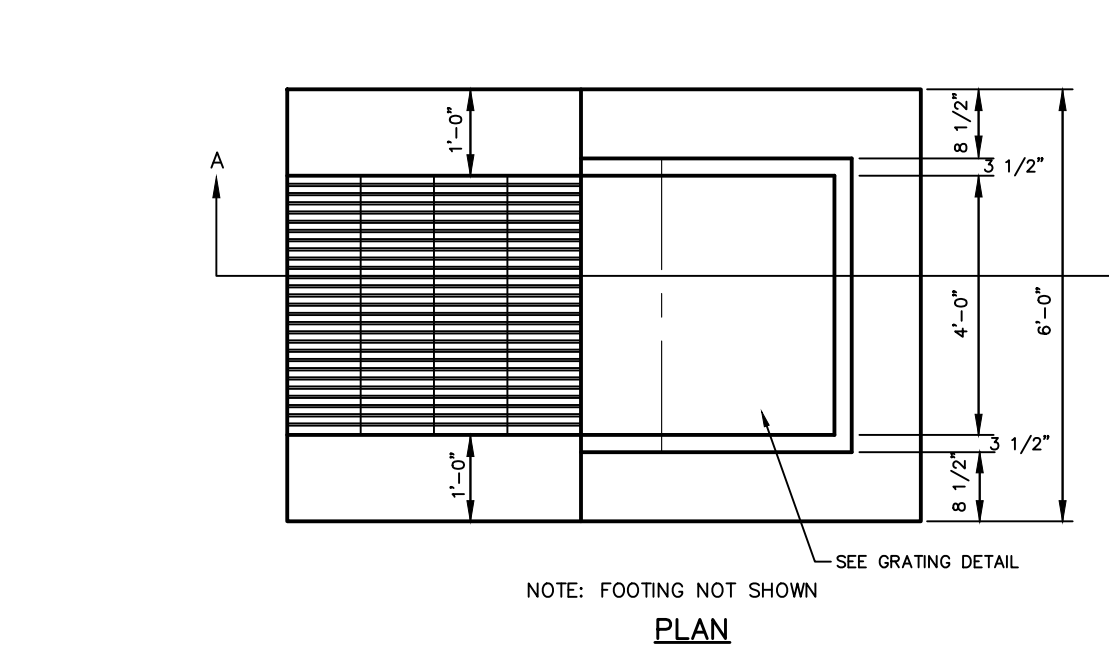
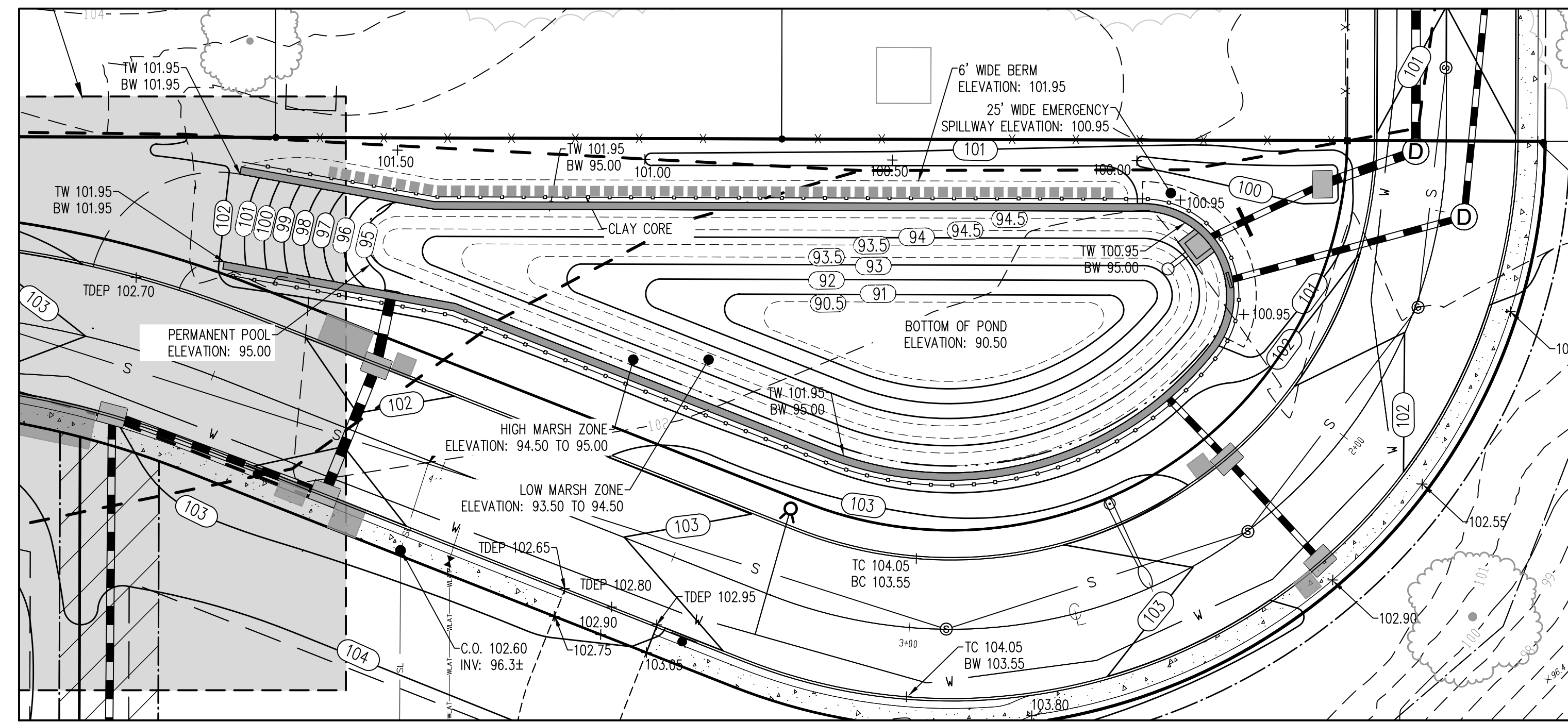
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PROPOSED ROAD PLAN & PROFILE  
FOR  
LOT 14.02 IN BLOCK 286  
SITUATED IN  
FRANKLIN TOWNSHIP,  
SOMERSET COUNTY, NEW JERSEY

BY: *Michael K. Ford*  
Michael K. Ford  
New Jersey Professional Engineer  
No. 34722



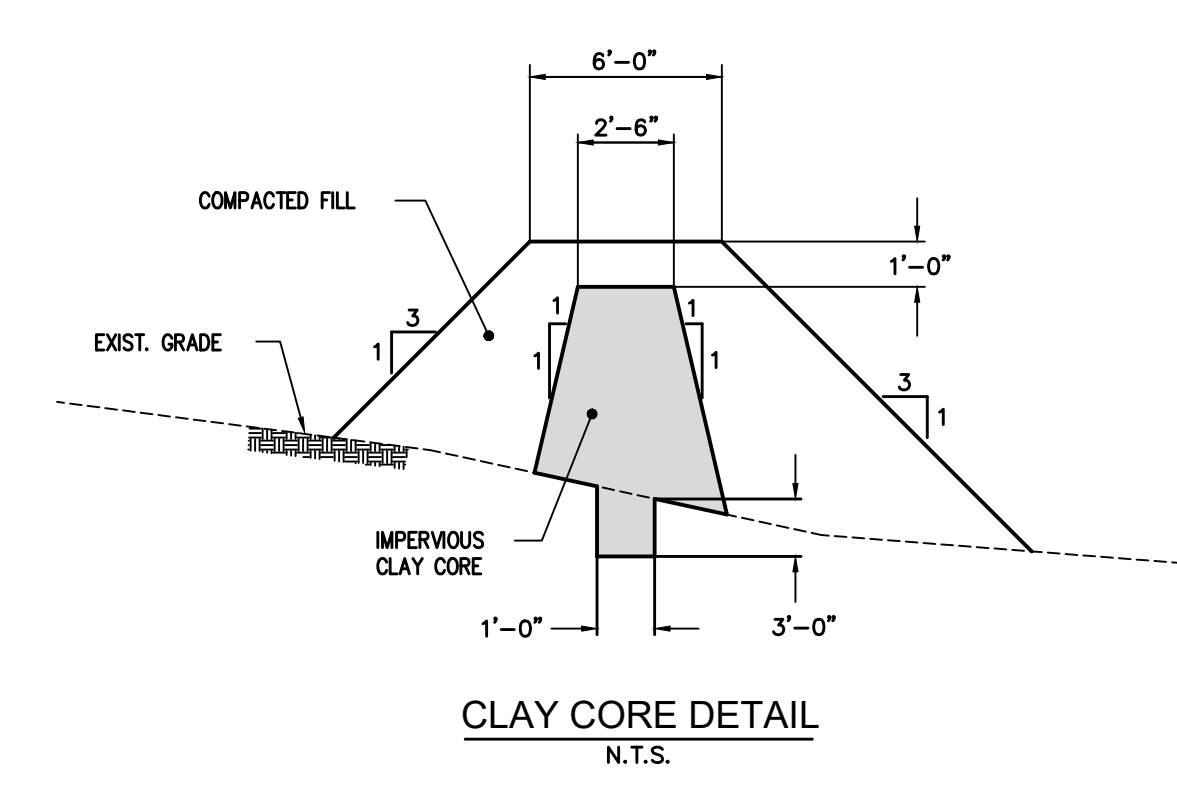


**POLYETHYLENE IMPERMEABLE LINER DETAIL**  
N.T.S.

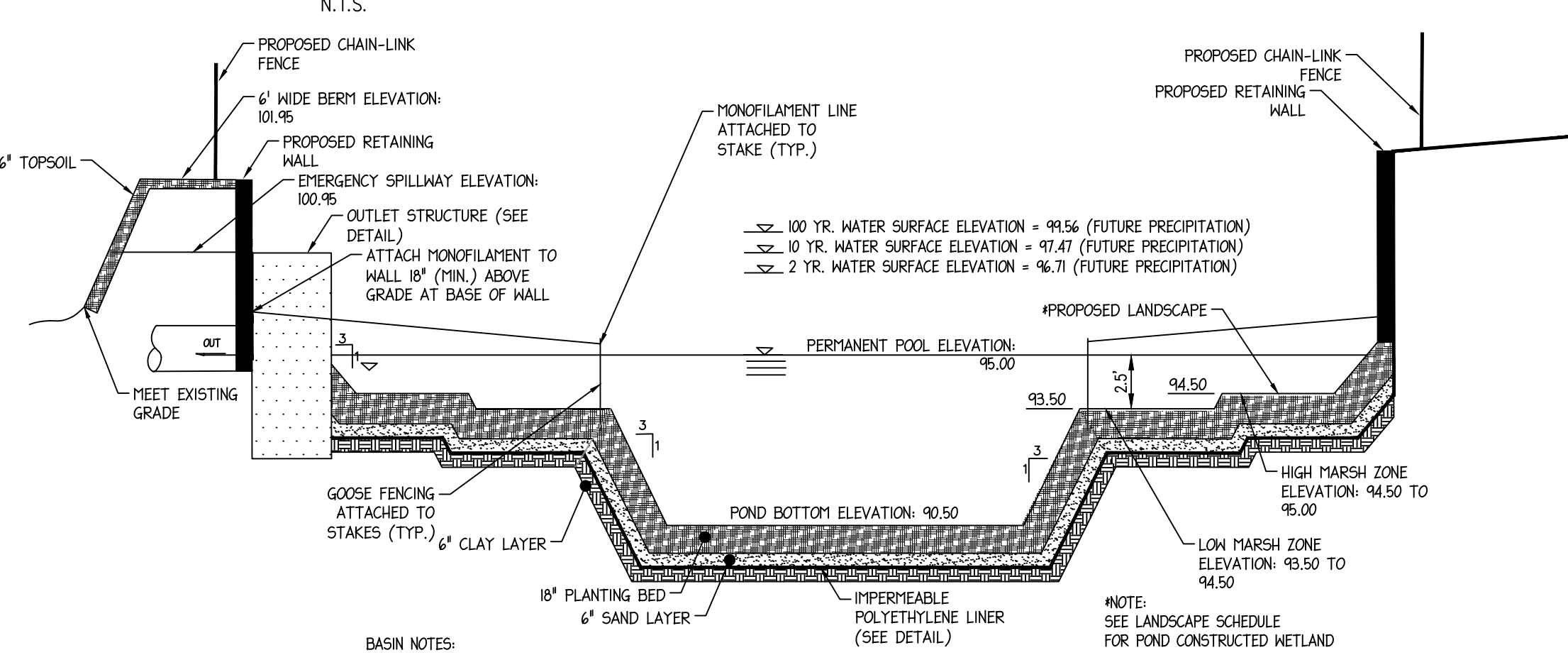
1. THE LINER SHALL BE A 40 MIL POLYETHYLENE LINER AS MANUFACTURED BY POLY-FLEX INC OR EQUAL. THE LINER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENT.

2. THE LINER SHALL BE COVERED WITH A 6-INCH THICK PROTECTIVE SAND LAYER. THE PROTECTIVE SAND LAYER SHALL CONSIST OF EITHER A NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF SAND. THE SAND SHALL BE FREE FROM ORGANIC MATERIALS, LOAM, WOOD, TRASH AND OTHER OBJECTIONABLE MATERIALS WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE PROPERLY COMPACTED. PARTICLE SIZE ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH ASTM-D422. THE PROTECTIVE SAND LAYER SHALL COMPLY WITH THE NJDOT I-B STANDARD SOIL AGGREGATE GRADATIONS. THE ALLOWABLE GRADATION ENVELOPE IS SPECIFIED BELOW.

PROTECTIVE SAND LAYER (I-5)		
U.S. STANDARD SIEVE SIZE	PERCENT FINER BY WEIGHT	
NO. 4	100	
NO. 16	95-100	
NO. 50	45-70	
NO. 200	5-25	
	0-5	



- EMBANKMENT AND BASIN CLAY CORE**
- The clay core shall consist of compacted clay material (unified soil classification "CL").
  - The fill material in all earth dams and embankments shall be compacted to at least 95% of the maximum density obtained from compaction tests performed by the appropriate method in ASTM D698.
  - Trees and other vegetation with large extensive root structure shall not be permitted on any dam or embankment.
  - The basin is to be topsoiled with a minimum of 4 inches of topsoil and seeded, including the bottom, side slopes and all earthen dams and embankments. "Topsoil" is defined as the natural, undisturbed surface layer of soil having more organic matter than subsequent layers suitable for satisfactory growth and maintenance of permanent, locally adapted vegetation. The material must be friable, loamy soil reasonably free of debris, in any objectionable weeds, lumps, roots, stones or similar objects larger than 2 inches, in any dimension; have a natural pH of 5.0 to 7.5; have an organic matter content greater than 2.00% and contain no toxic substances which may be harmful to plant growth. The seeding shall, as a minimum, conform to Type "A" grass seed mixture as defined in the NJDOT standard specifications for road and bridge construction.



- BASIN NOTES:**
- ALL EARTHWORK OPERATIONS, INCLUDING EXCAVATION, PROOFROLLING, GRADING AND BACKFILL OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF A NEW JERSEY LICENSED PROFESSIONAL ENGINEER.
  - FILL MATERIAL AND LINER INSTALLATION SHALL BE INSPECTED, APPROVED BY, AND INSTALLED UNDER THE SUPERVISION OF A NEW JERSEY LICENSED PROFESSIONAL ENGINEER.
  - THE FILL MATERIAL TO BE UTILIZED FOR THE BERM/EMBANKMENT AT THE POND CONSTRUCTED WETLAND SHALL BE AS FOLLOWS: THE BERM SHALL BE CONSTRUCTED WITH SOIL FILL THAT HAS AN IN-SITU PERMEABILITY NO GREATER THAN 0.4 INVAR. THE BERM/EMBANKMENT FILL SHALL BE PLACED IN 12 INCH LAYERS AND COMPACTED TO 95% MAXIMUM MODIFIED PROCTOR DENSITY (ASTM D-1557). EACH LIFT SHALL BE INSPECTED, TESTED, AND APPROVED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER PRIOR TO THE PLACEMENT OF SUBSEQUENT LIFTS.
  - THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SOIL CONDITIONS ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN HEREON. SUCH CONDITIONS COULD RENDER THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE.
  - ALL SUBMERGED PIPES INTO OR OUT OF A POND CONSTRUCTED WETLAND SHALL BE CONSTRUCTED USING WATER TIGHT JOINTS. REINFORCED CONCRETE PIPE JOINTS SHALL MEET ASTM C361 OR C443, PLASTIC PIPE JOINTS SHALL MEET ASTM D3212 AND DUCTILE IRON PIPE JOINTS SHALL CONFORM TO ANSI/AWWA C111/A211. ALL LATEST EDITIONS. HOPE PIPE SHALL NOT BE UTILIZED IN SUBMERGED CONDITIONS.
  - CLAY MATERIALS ARE NOT TO BE PLACED DIRECTLY AGAINST COARSE GRAINED DEPOSITS. THE SITE GEOTECHNICAL ENGINEER SHALL APPROVE ALL SUBGRADES PRIOR TO CLAY PLACEMENT.
  - GROUNDWATER SHALL BE CONTROLLED BY THE CONTRACTOR AT ALL TIMES.
  - EXACT SIZE AND LOCATION OF EMERGENCY DRAWDOWN PIPE SHALL BE DETERMINED UPON BUILDING CONSTRUCTION APPLICATION.
  - A PORTABLE PUMP SHALL BE UTILIZED FOR DRAWDOWN OF ANY VOLUME CONTAINED BELOW THE OUTLET STRUCTURE INVERT.

		DATE: DECEMBER 15, 2017
		SCALE: AS SHOWN
PER TOWNSHIP	M.K.F. 2/24/24	DESIGNED BY: M.K.F./M.R.
PER TOWNSHIP	M.K.F. 3/24/22	DRAWN BY: A.B.
PER DRCC	M.K.F. 7/30/21	CHECKED BY: M.K.F.
REVISIONS	AUTH. DATE	JOB No. 15-09-FS

**Van Cleef**  
ENGINEERING WITH FOCUS

VAN CLEEF ENGINEERING ASSOCIATES, LLC  
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CERT. OF AUTHORIZATION NO. 246A29133200

Bridges/Highways  
Construction Inspection  
Environmental  
Geotechnical/Dams  
Landscape Architecture  
Local/Regional Planning  
Municipal Engineering  
Site Development  
Surveying/Aerial Drones/GIS  
Water/Wastewater

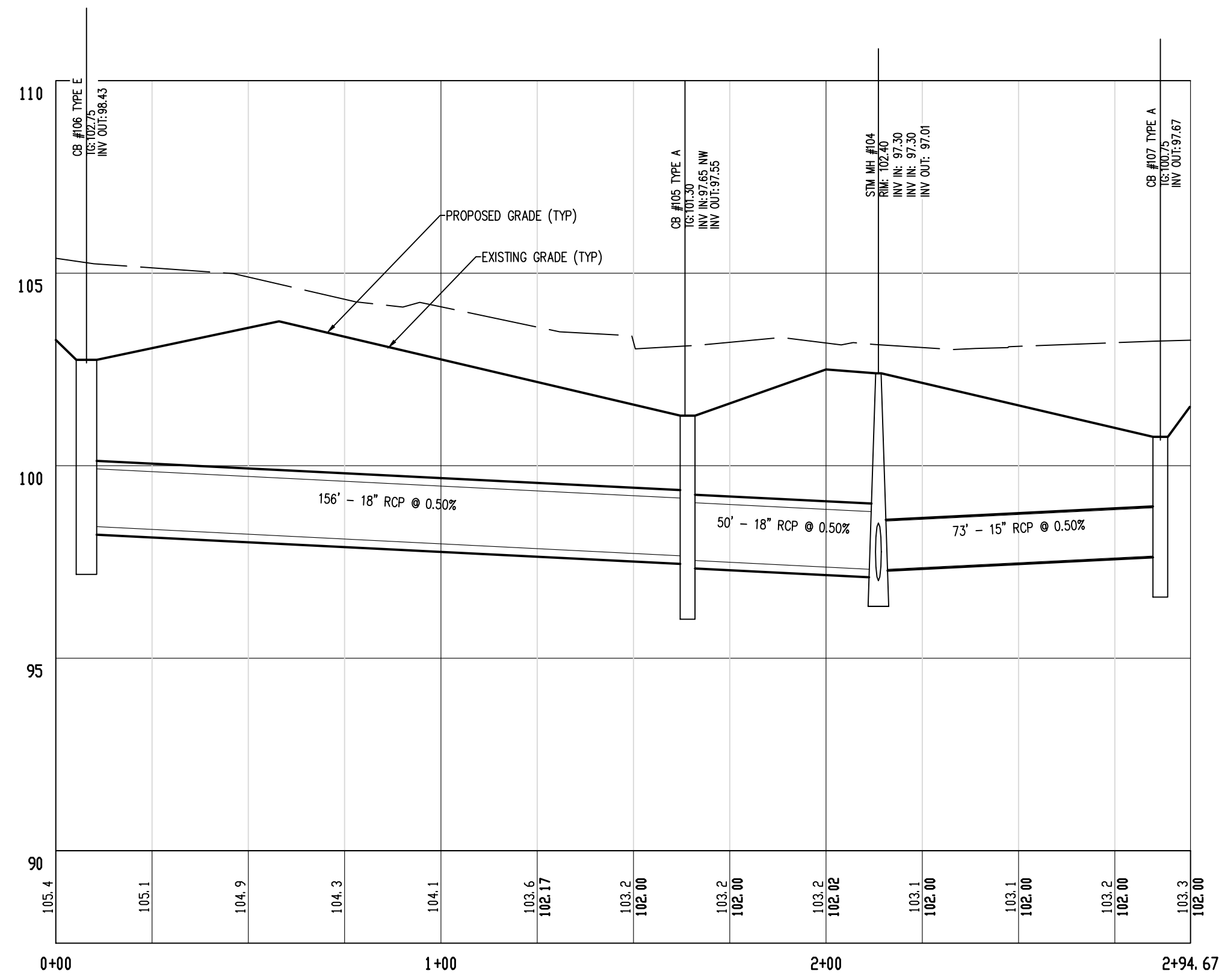
**POND CONSTRUCTED WETLAND PLAN & DETAILS**  
FOR  
LOT 14.02 IN BLOCK 286  
SITUATED IN  
FRANKLIN TOWNSHIP,  
SOMERSET COUNTY, NEW JERSEY

BY: *Michael K. Ford*  
Michael K. Ford  
New Jersey Professional Engineer  
No. 34722

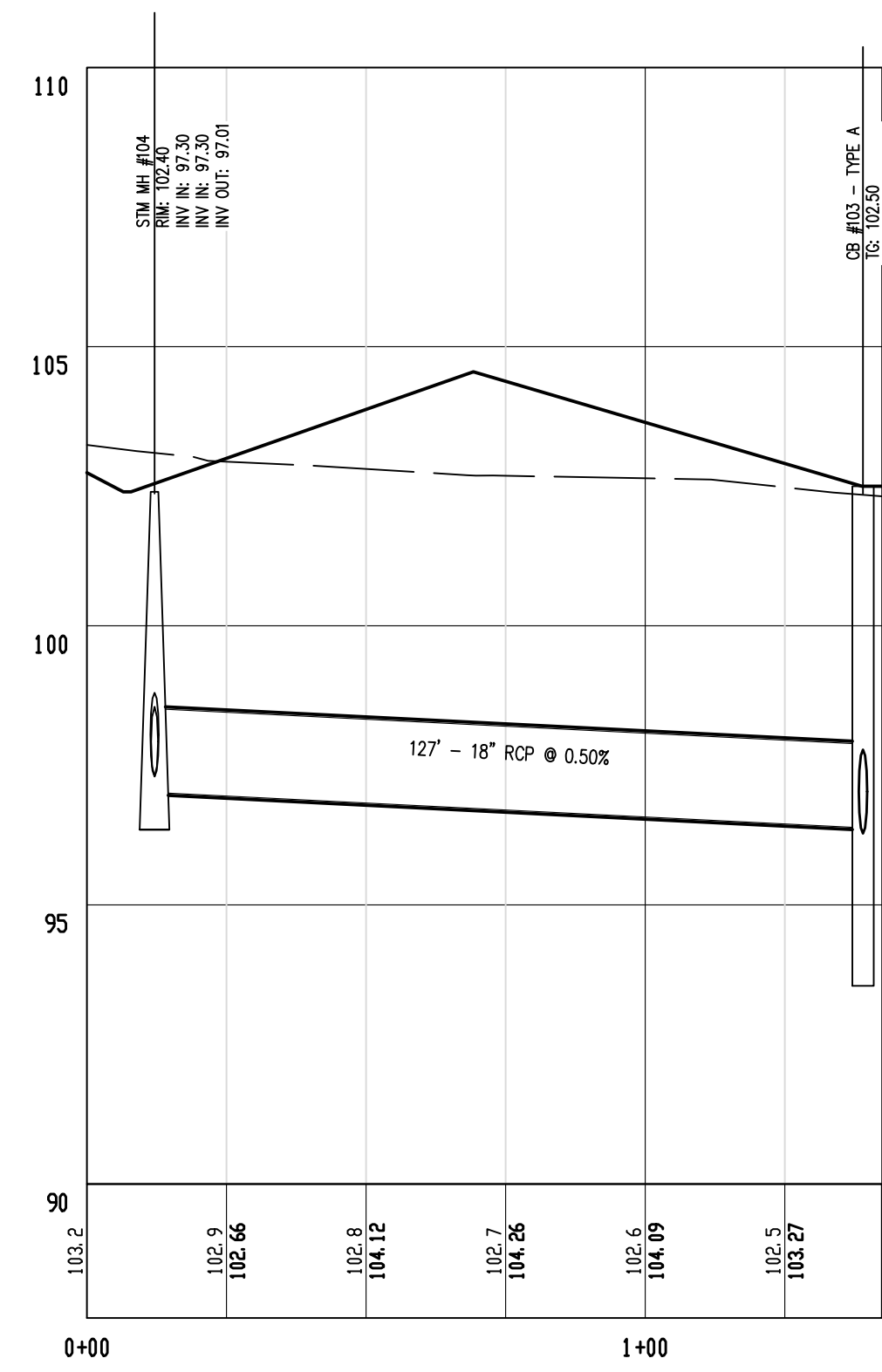
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F:\Projects\14150955\CONSTR\DWG\150955 - LAND LIGHT BASIN (1-23-24).dwg

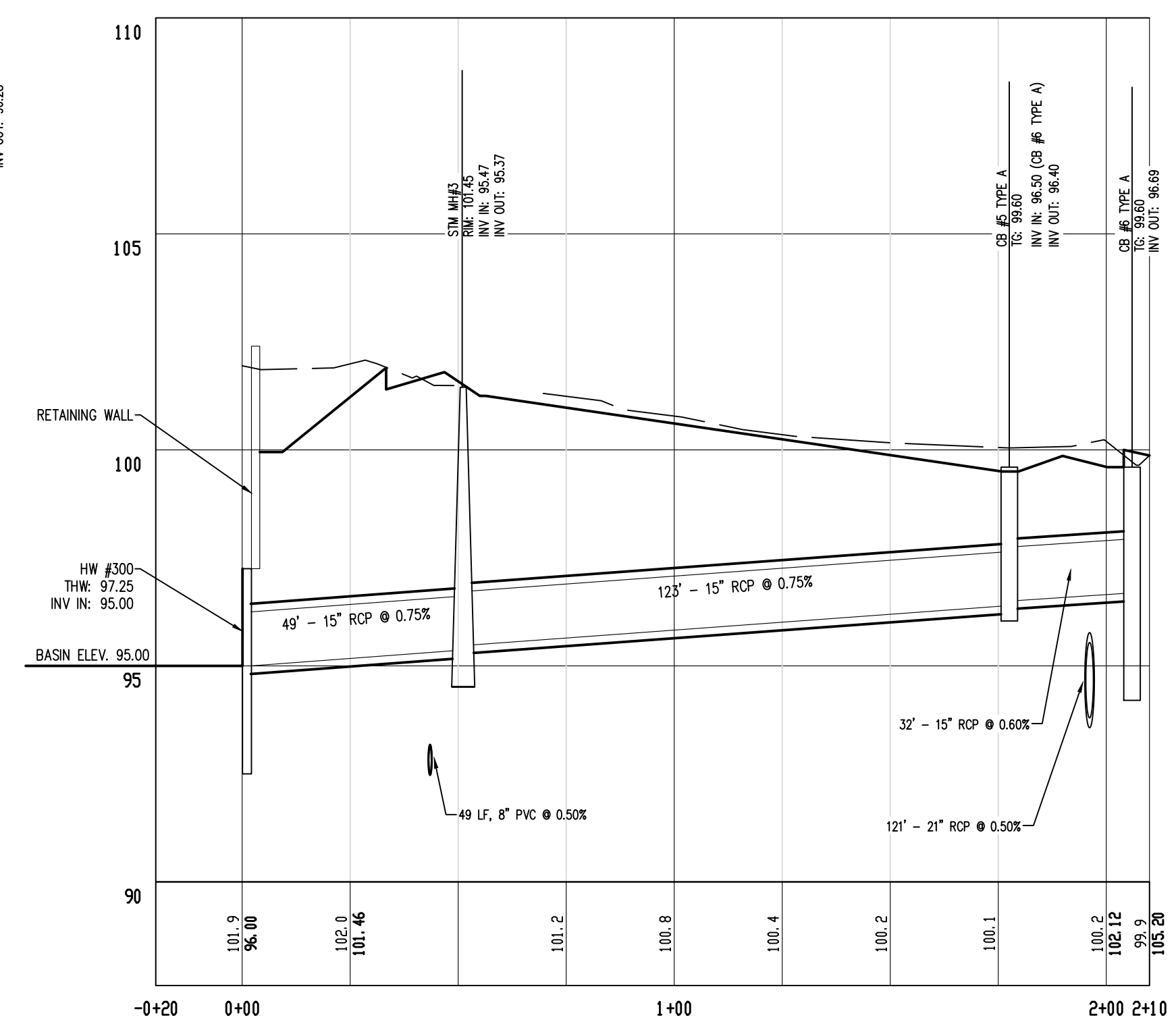




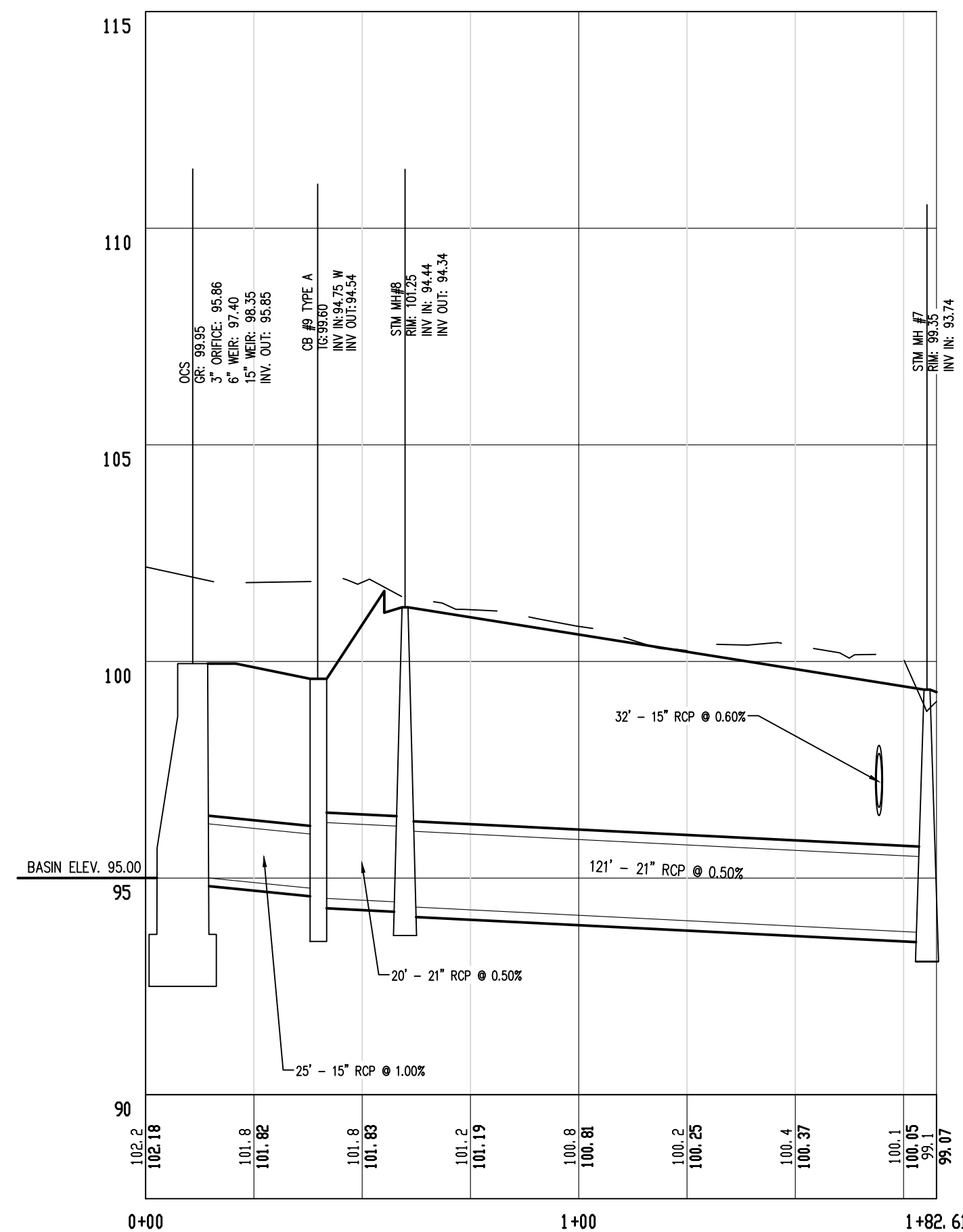
STORM SEWER PROFILE CB #106 - CB #107



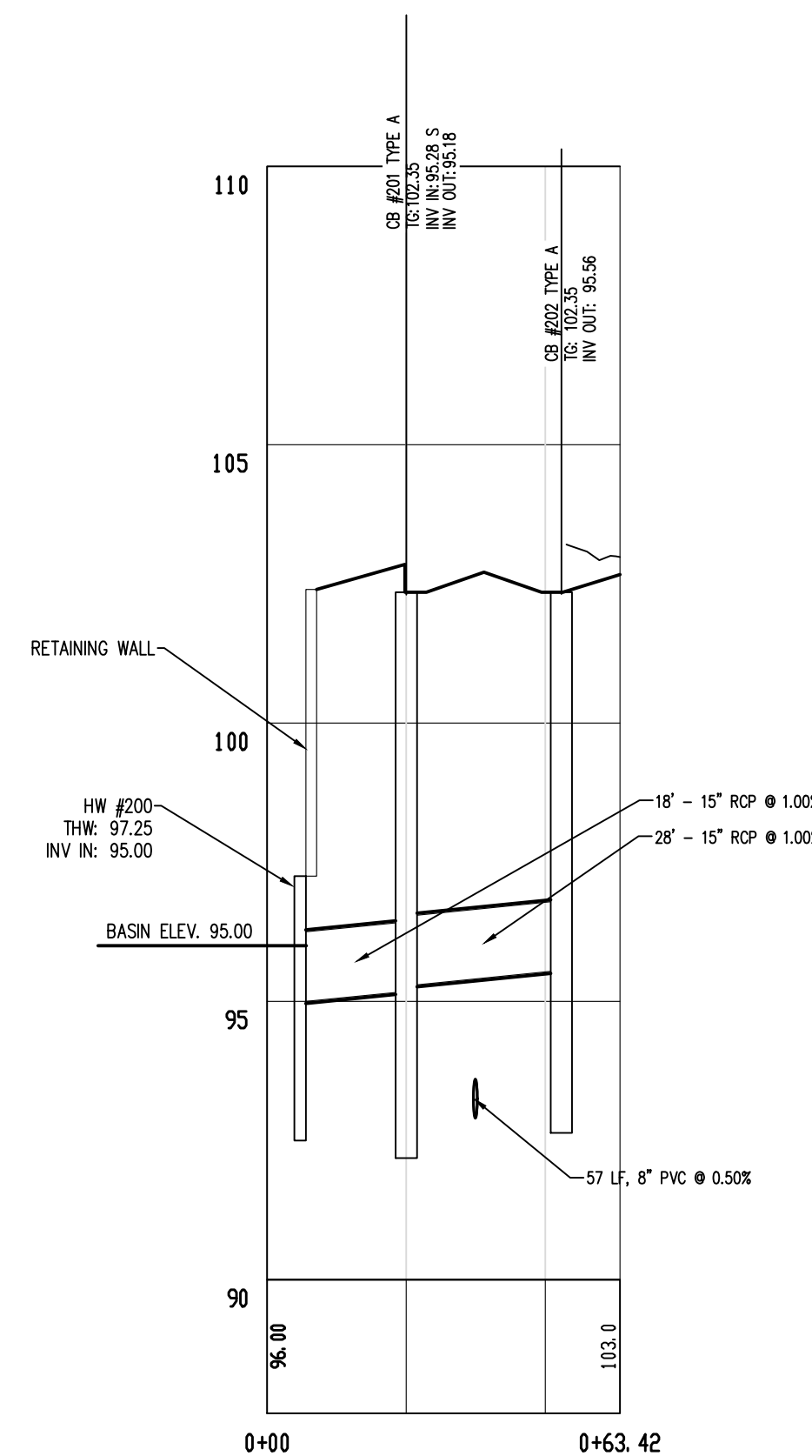
STORM SEWER PROFILE STM MH#104 - CB #103



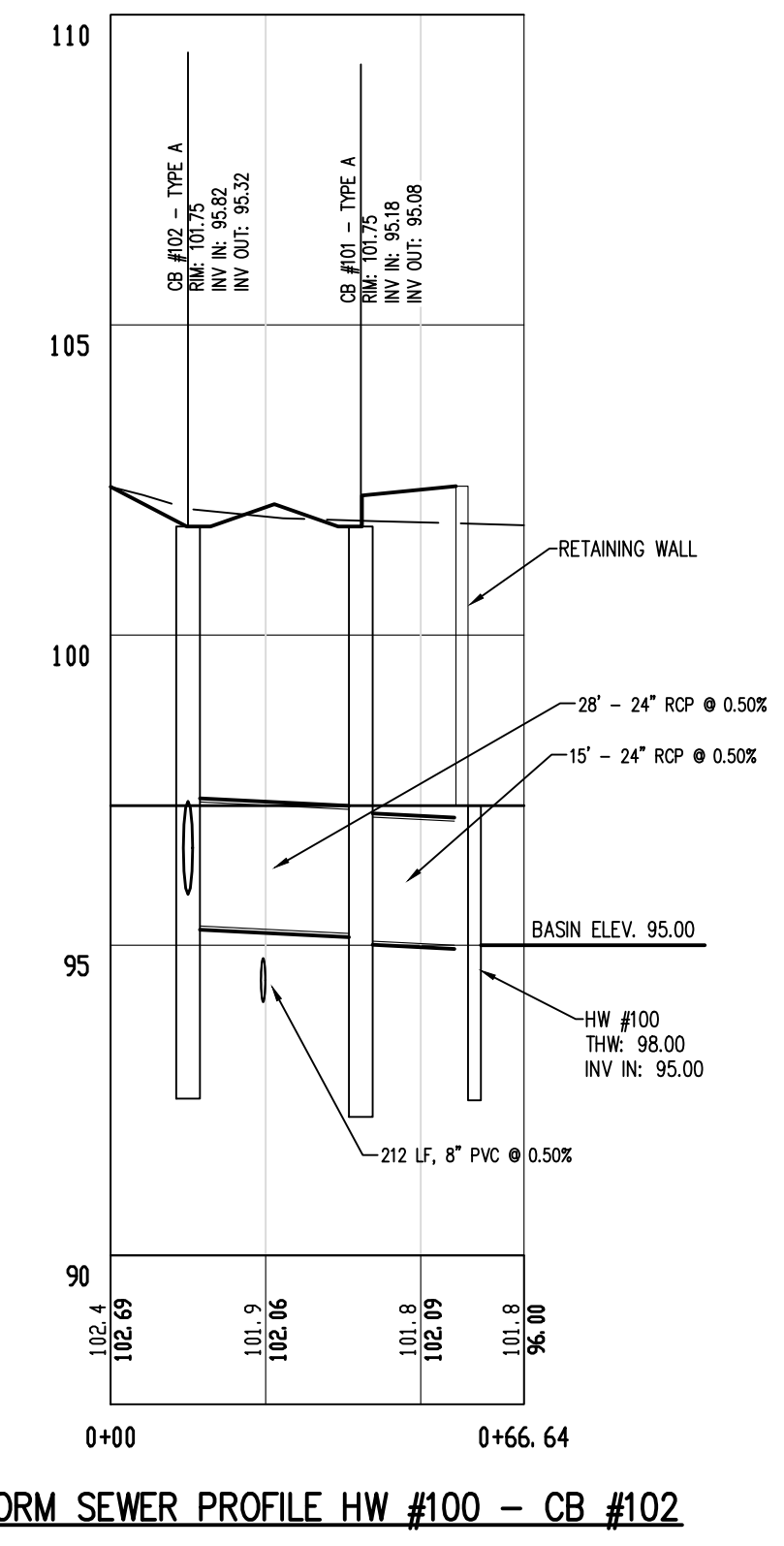
STORM SEWER PROFILE HW #300 - CB #6



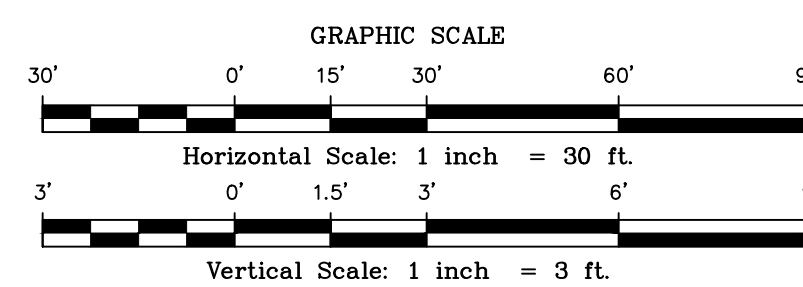
STORM SEWER PROFILE OCS - STM MH #7



STORM SEWER PROFILE HW #200 - CB #202



STORM SEWER PROFILE HW #100 - CB #102



DATE:	DECEMBER 15, 2017
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DESIGNED BY:	M.K.F./M.R.
DRAWN BY:	A.B.
CHECKED BY:	M.K.F.
REVISIONS	AUTH. DATE JOB No. 15-09-FS

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CERT. OF AUTHORIZATION NO. 246A28132390

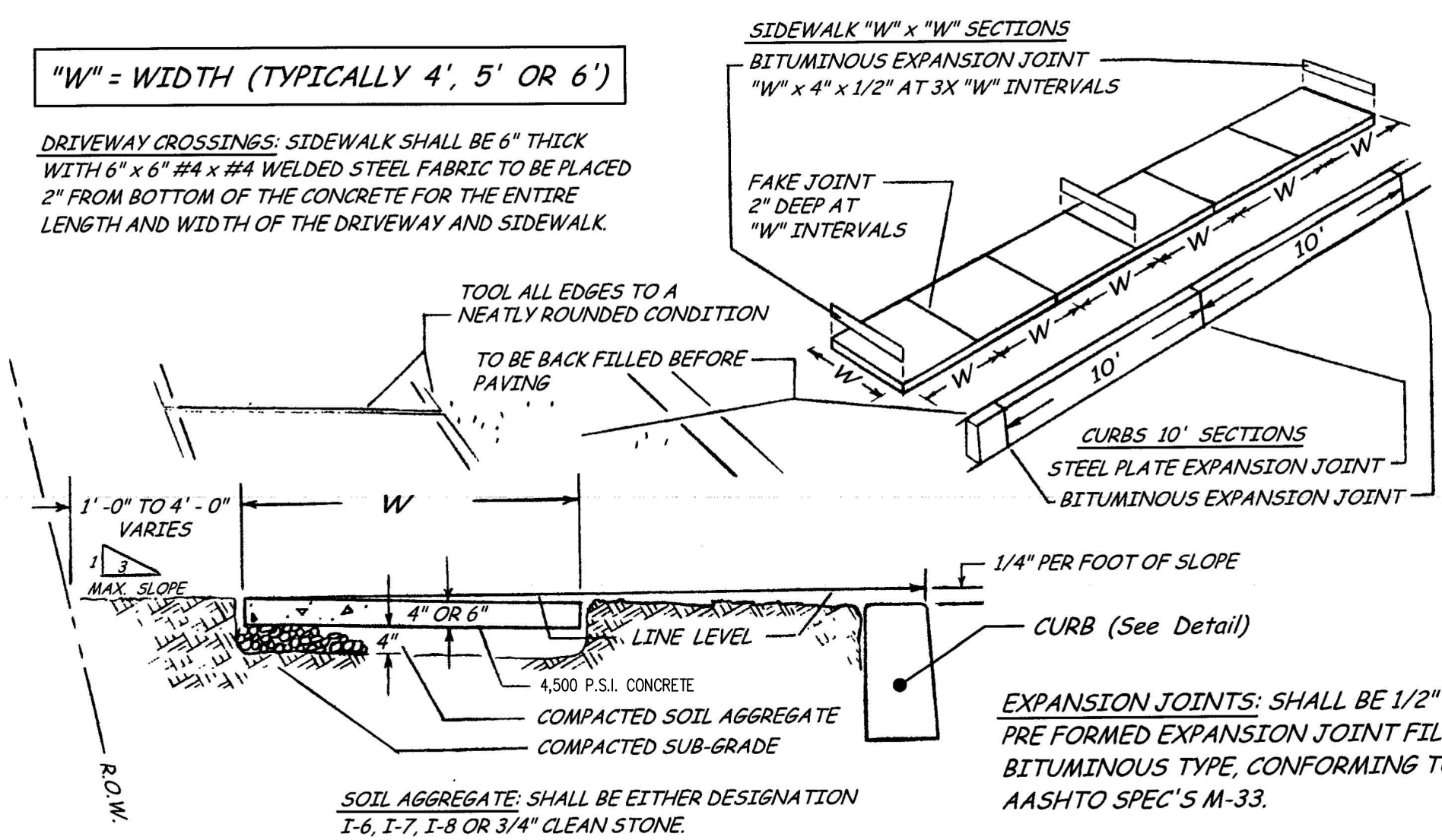
Bridges/Highways  
Construction Inspection  
Environmental  
Geotechnical/Dams  
Landscape Architecture  
Local/Regional Planning  
Municipal Engineering  
Site Development  
Surveying/Aerial Drones/GIS  
Water/Wastewater

STORM SEWER MISCELLANEOUS PROFILES  
FOR  
LOT 14.02 IN BLOCK 286  
SITUATED IN  
FRANKLIN TOWNSHIP,  
SOMERSET COUNTY, NEW JERSEY



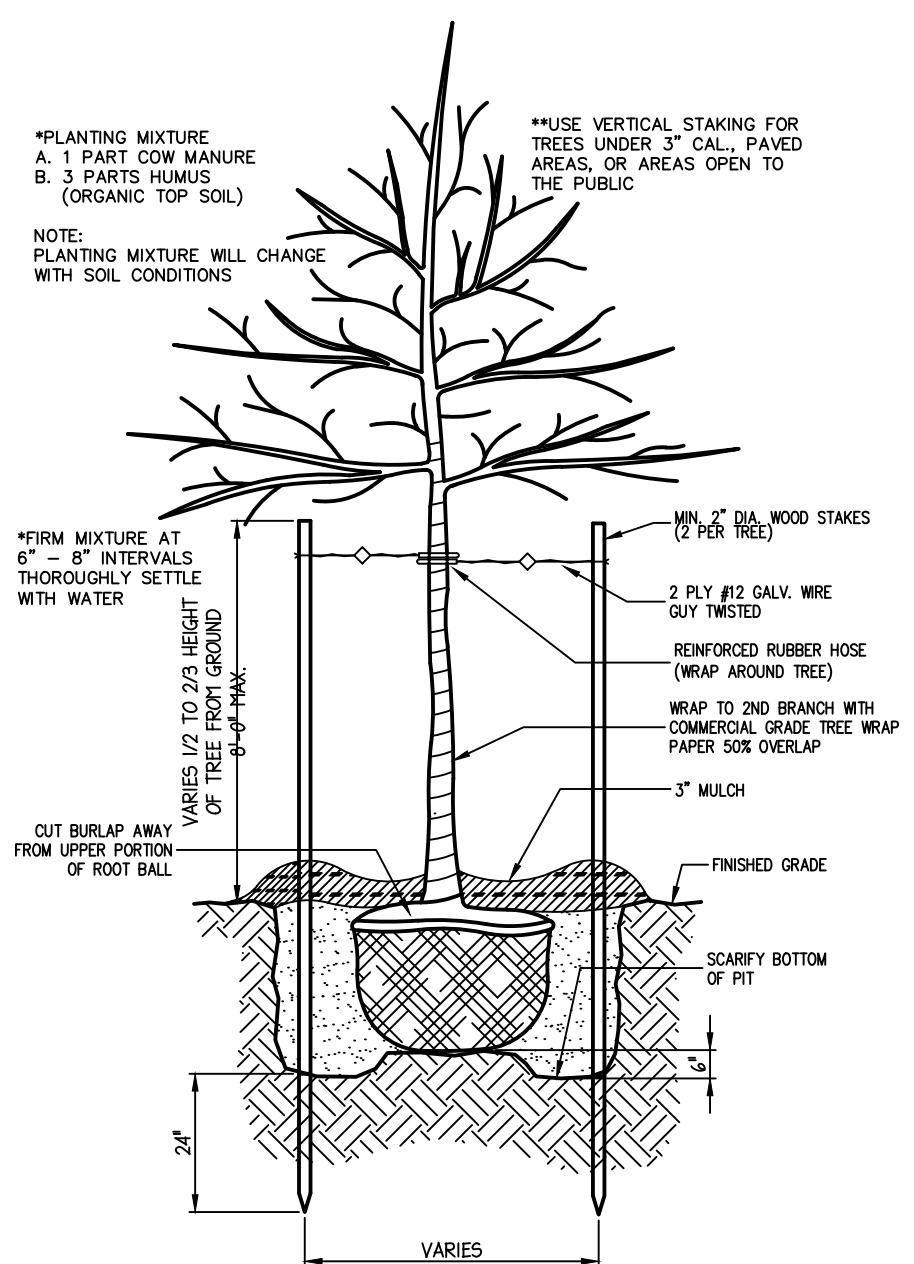
"W" = WIDTH (TYPICALLY 4', 5' OR 6')

DRIVEWAY CROSSINGS: SIDEWALK SHALL BE 6" THICK WITH 6" x 6" #4 x #4 WELDED STEEL FABRIC TO BE PLACED 2" FROM BOTTOM OF THE CONCRETE FOR THE ENTIRE LENGTH AND WIDTH OF THE DRIVEWAY AND SIDEWALK.



TOWNSHIP CONCRETE SIDEWALK DETAIL

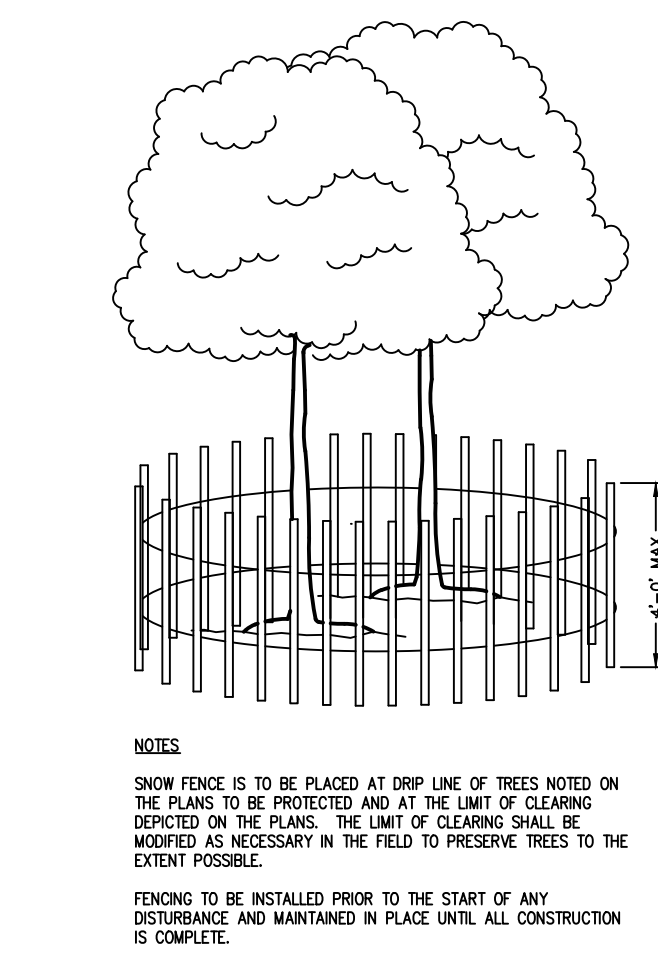
N.T.S.



DECIDUOUS TREE PLANTING AND GUYING DETAIL

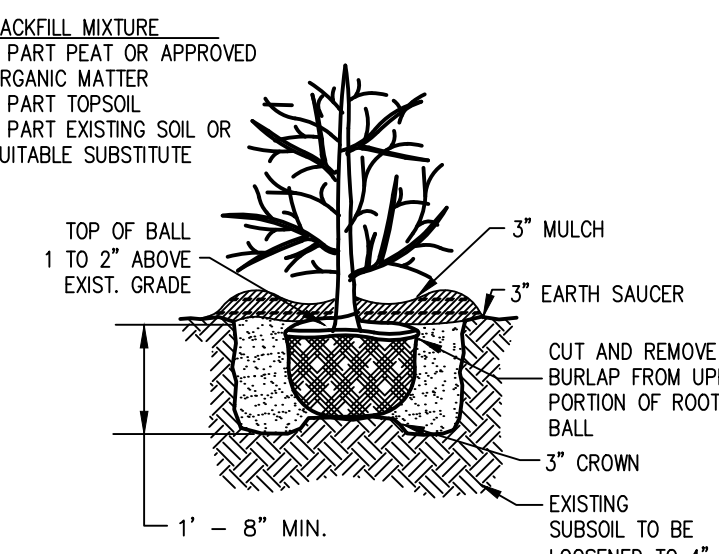
NOT TO SCALE

NOTE: THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL STAKES AND WIRES FROM TREES AFTER THE FIRST GROWING SEASON.



SNOW FENCE TREE PRESERVATION DETAIL

NOT TO SCALE

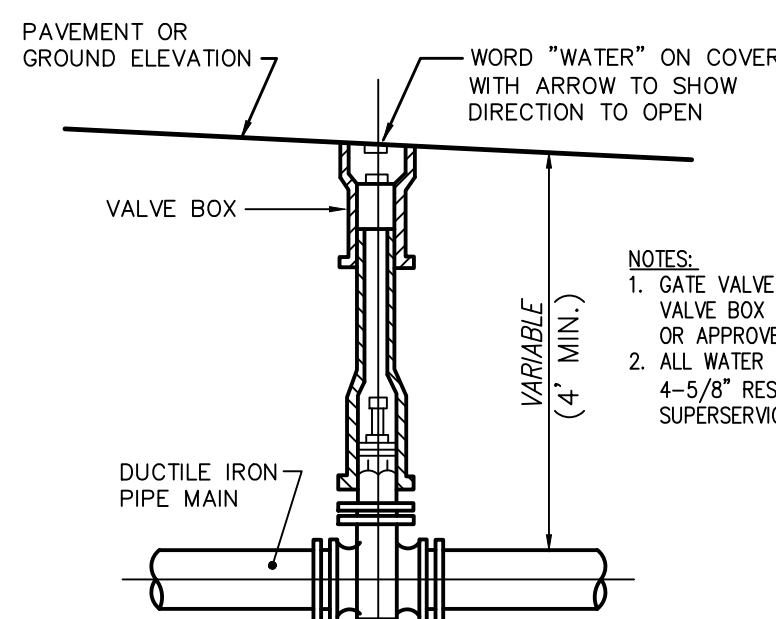


SHRUB PLANTING DETAIL

N.T.S.

TOWNSHIP STREET NAME SIGN DETAIL

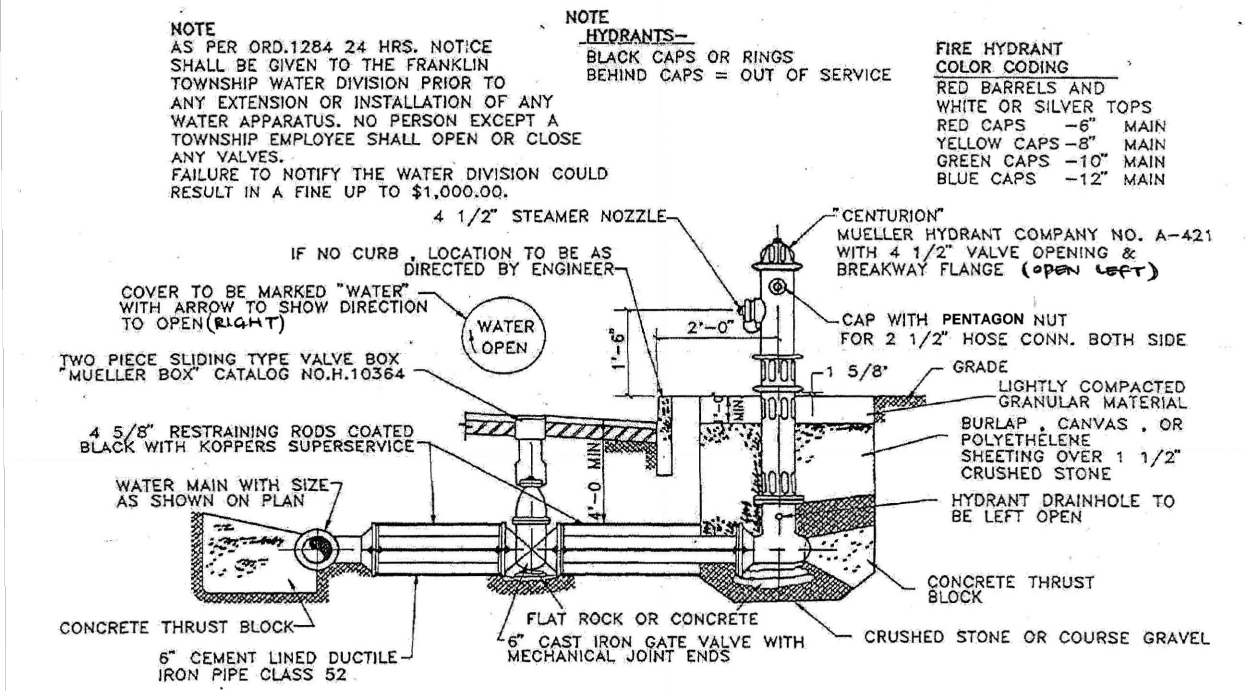
N.T.S.



GATE VALVE DETAIL

N.T.S.

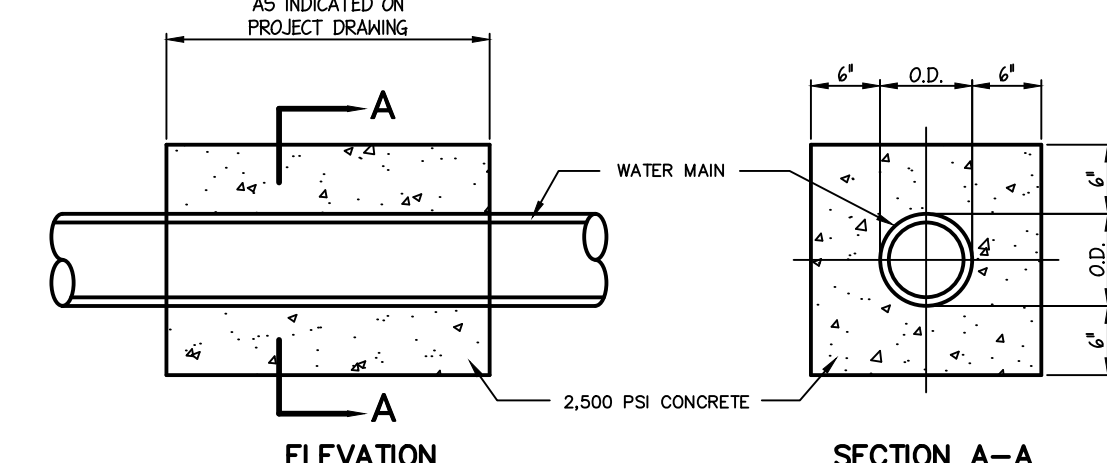
- NOTES:
- GATE VALVE TO BE TWO PIECE SLIDING TYPE VALVE BOX MUELLER CATALOG NO. H-10364 OR APPROVED EQUAL.
  - ALL WATER VALVES TO BE RODDED USING 4-5/8" RESTRAINING RODS WITH KOPPERS SUPERSERVICE BLACK.



TYPICAL HYDRANT & VALVE INSTALLATION

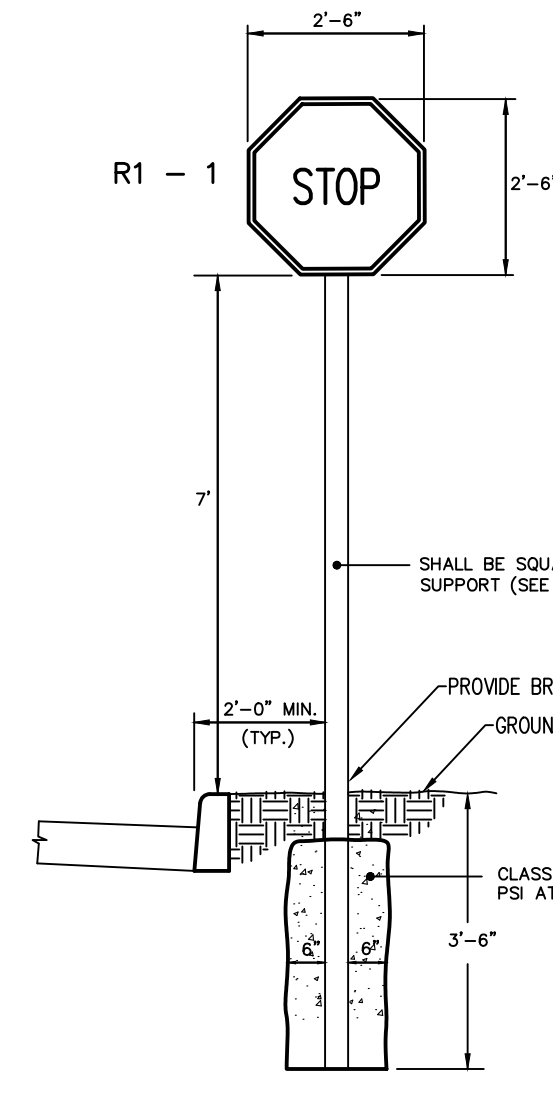
N.T.S.

Fire hydrants must be flow tested by the Fire Prevention Department. Written request and approval must be obtained. Fire hydrants must comply with details, all hydrants must be bid, and all valves must be fully open prior to testing. FRANKLIN TOWNSHIP SOMERSET COUNTY.



CONCRETE ENCASUREMENT DETAIL

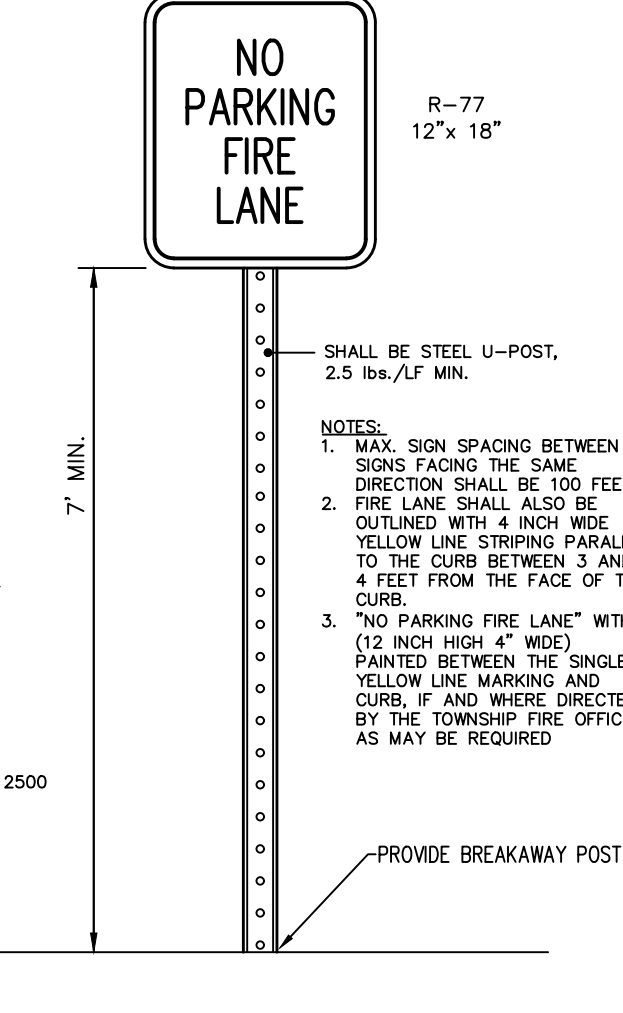
NOT TO SCALE



STOP SIGN DETAIL

N.T.S.

STOP SIGN SHALL BE INSTALLED AT LOCATION DESIGNATED ON THE APPROVED CONSTRUCTION PLANS AND/OR AS PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



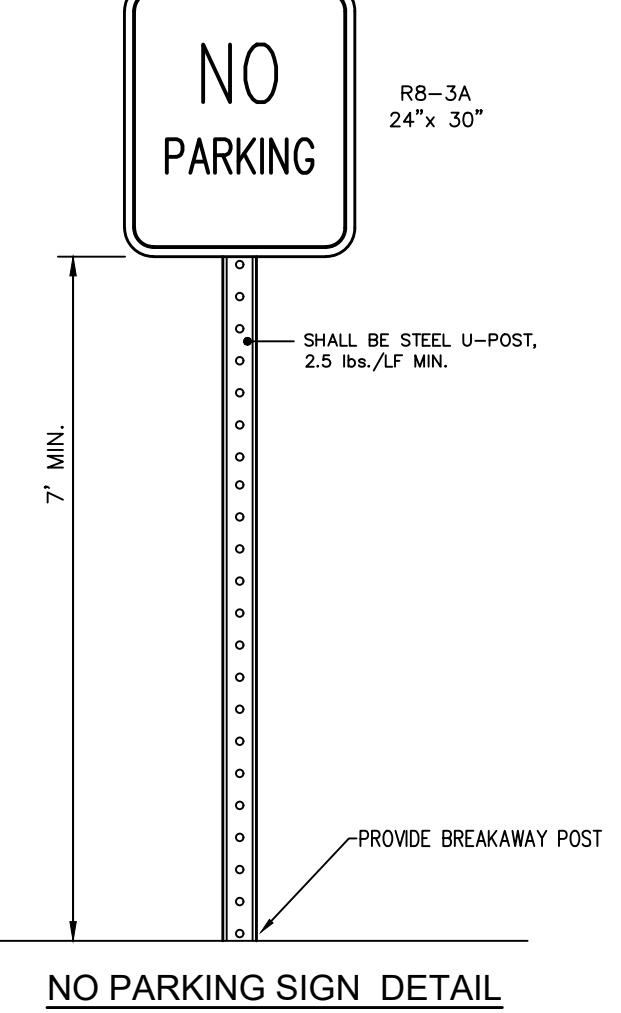
NO PARKING FIRE LANE DETAIL

N.T.S.

NOTE: ALL TRAFFIC CONTROL SIGNS MUST BE DESIGNED, MOUNTED AND DISPLAYED IN COMPLIANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D.

TRAFFIC CONTROL SIGNS

N.T.S.



NO PARKING SIGN DETAIL

N.T.S.

NOTE: ALL TRAFFIC CONTROL SIGNS MUST BE DESIGNED, MOUNTED AND DISPLAYED IN COMPLIANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D.

TRAFFIC CONTROL SIGNS

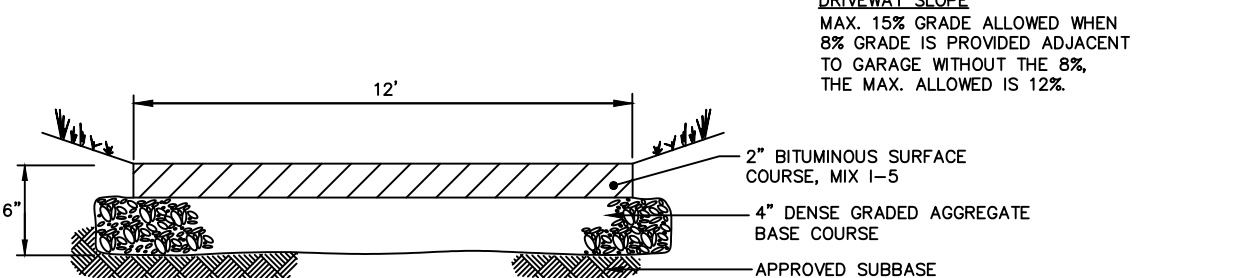
N.T.S.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FRANKLIN TOWNSHIP STANDARD DETAILS AND IF DISCREPANCIES EXIST BETWEEN THESE DETAILS SHOWN HEREON AND THE TOWNSHIP STANDARDS, THE TOWNSHIP STANDARD DETAILS SHALL PREVAIL.
- ALL UTILITY BACKFILL MATERIALS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.
- ALL TRAFFIC CONTROL SIGNS MUST COMPLY WITH CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

DATE:	DECEMBER 15, 2017
SCALE:	AS SHOWN
DESIGNED BY:	M.R.
DRAWN BY:	A.B.
CHECKED BY:	M.K.F.
PER TOWNSHIP	M.K.F. 3/24/22
REVISIONS	AUTH. DATE JOB No. 15-09-FS

BY: *Michael K. Ford*  
Michael K. Ford  
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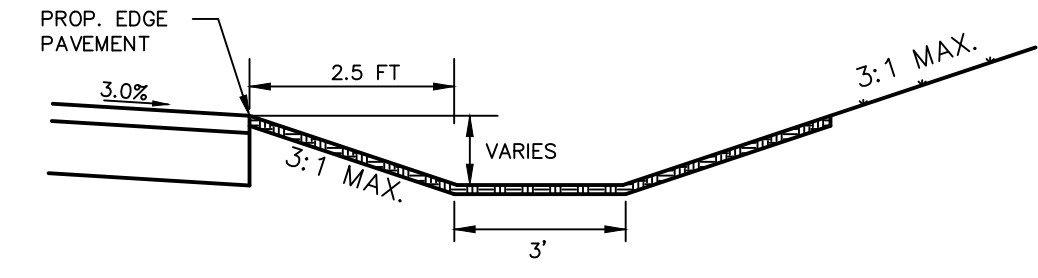


BITUMINOUS DRIVEWAY TYPICAL SECTION

(FIRST 20 FT. MIN. @ ALL DRIVEWAYS)

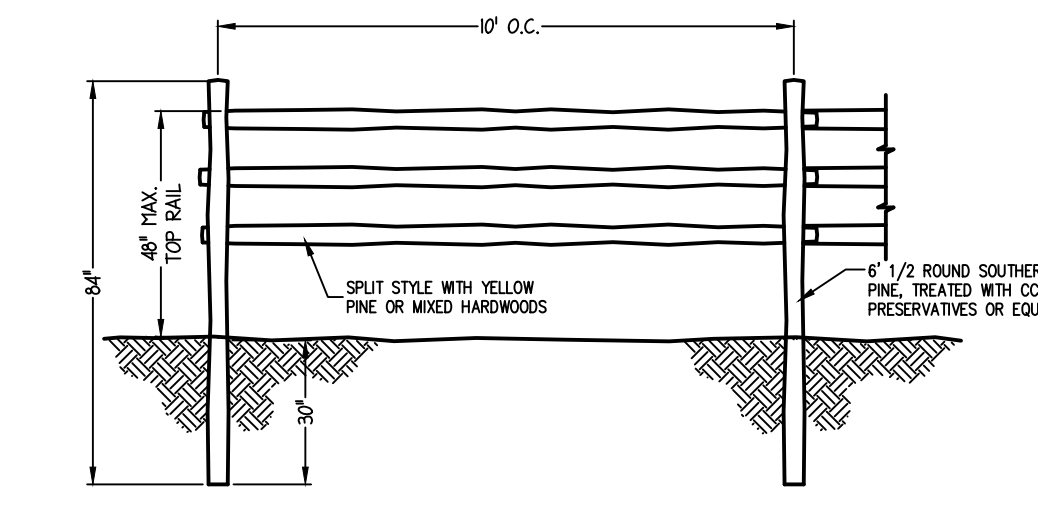
DRIVEWAY DETAILS

N.T.S.



TYPICAL ROADSIDE SWALE

NOT TO SCALE



POST AND RAIL FENCE DETAIL

NOT TO SCALE

FRANKLIN TOWNSHIP ENGINEERING DEPARTMENT

STANDARD NOTES APPLICABLE TO ALL PROJECTS

- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING, AS APPLICABLE:
- NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION"
  - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
  - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS STANDARDS AND REQUIREMENTS.
  - STATE OF NEW JERSEY B.O.C.A. CODE AND BARRIER-FREE DESIGN REGULATIONS AS CURRENTLY AMENDED.
  - CURRENT ANS/AWWA STANDARDS, SPECIFICATIONS AND REQUIREMENTS FOR THE WATER SUPPLY SYSTEM.
  - NFPA 24-92 FOR FIRE SPRINKLER LINES THAT APPLY FOR INSTALLATION AND TESTING.
- AS-BUILT PLANS OF THE ENTIRE SITE, PREPARED BY A NEW JERSEY LICENSED LAND SURVEYOR IN ACCORDANCE WITH TOWNSHIP REQUIREMENTS, ARE TO BE PROVIDED TO THE TOWNSHIP PRIOR TO A CERTIFICATE OF OCCUPANCY INSPECTION OR RELEASE OF THE PERFORMANCE BOND.
- NO SOIL CAN BE IMPORTED TO OR REMOVED FROM THE SITE UNTIL A SOIL IMPORTATION OR EXPORTATION PERMIT IS OBTAINED FROM THE ENGINEERING DEPARTMENT.

CONSTRUCTION CASTINGS:

NOTE THAT ALL CASTINGS SHALL BE OF UNITED STATES MANUFACTURE AND UNDOT APPROVED. IF OTHER THAN CAMPBELL, NEMAH, BRIDGESTONE, EMPORIA, QUORN OR EAST JORDAN IRONWORKS CASTINGS ARE PLANNED TO BE USED, COMPLETE DATA MUST BE SUBMITTED INCLUDING, BUT NOT NECESSARILY LIMITED TO, AN AFFIDAVIT CERTIFYING THAT THE CASTINGS WERE MADE IN THE U.S.; LOAD CAPACITY BASED ON THE STANDARD HIGHWAY LOADING; WEIGHTS AND CONFIGURATIONS OF THE CASTINGS AND METALLURGICAL ANALYSIS. ALL GRATES ARE TO BE "BICYCLE SAFE".



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CERT. OF AUTHORIZATION NO. 24648933300

CONSTRUCTION DETAILS

FOR LOT 14.02 IN BLOCK 286

SITUATED IN FRANKLIN TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

- Bridges/Highways
- Construction Inspection
- Environmental
- Geotechnical/Dams
- Landscape Architecture
- Local/Regional Planning
- Municipal Engineering
- Site Development
- Surveying/Aerial Drones/GIS
- Water/Wastewater